



**PLANNING AND ZONING COMMISSION AGENDA**  
**Monday, March 14, 2016**

1. **5:00 PM- SITE VISIT: 420 East River Street (Ketchum Townsite, FR of Block 84, Tax Lot 8365)**
2. **5:15 PM- SITE VISIT: 303 Broadway Boulevard (Sun Valley Sub 1st Add Rev, AM Lot 21A, Blk 5)**
3. **5:30 PM- CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**
4. CONSENT CALENDAR
5. PUBLIC COMMENT - Communications from the public for items not on the agenda.
6. COMMUNICATIONS FROM STAFF
  - a. The Spot: The Commission will hold a public hearing and take action on an application by The Spot, LLC, represented by Brett Mollenberg, for a text amendment to the Municipal Code.
  - b. Constant Waterways Design Review: The Commission will consider and take action on an application by Mary Constant, represented by Olson Kundig architects for Waterways Design Review. The subject property is located at 303 Broadway Boulevard, Ketchum, Idaho (Sun Valley Sub 1st Add Rev, AM Lot 21A, Block 5).
  - c. McCallum Waterways Design Review/Floodplain Development Permit: The Commission will consider and take action on an application by Robert and Deborah McCallum, represented by Michael Mattias, for a Waterways Design Review and Floodplain Development Permit. The subject property is located at 420 East River Street (Ketchum Townsite, FR of Block 84, Tax Lot 8365)
  - d. Kneebone Mixed Use Design Review: The Commission will consider and take action on an application for Design Review by Kneebone, LLC, represented by Stephen T. Kearns, located at 500 N. Washington Ave, Ketchum, ID (Ketchum Townsite, Lot 8, Block 15).
  - e. Alfs Design Review: The Commission will consider and take action on an application for Design Review by Susan Alfs, represented by Blincoe Architecture, located at 311 7<sup>th</sup> Street, Ketchum, ID (Ketchum Townsite, Lots 2, 3, and 4, Block 72).
  - f. Zoning Ordinance Update - Phase II: The Commission will discuss the status of the Zoning Ordinance update.
7. FINDINGS OF FACT AND APPROVAL OF MINUTES
  - a. Elevation 6000 Final Plat - Findings of Fact
  - b. January 11, 2016 Dartnell - Site Visit Minutes
  - c. February 8, 2016 - Site Visit Minutes
  - d. February 8, 2016 - Minutes
  - e. February 22, 2016 - Minutes
8. FUTURE PROJECTS AND NOTICING REQUIREMENTS
9. STAFF REPORTS & CITY COUNCIL MEETING UPDATE
10. COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE
11. ADJOURNMENT



City of Ketchum  
City Hall

March 14, 2016

Planning and Zoning Commission  
City of Ketchum  
Ketchum, Idaho

**STAFF REPORT  
PLANNING AND ZONING COMMISSION**

**PROJECT:** Text Amendment to allow for Commercial Studios Events.

**FILE NUMBER:** #15-075

**REPRESENTATIVE:** Brett Moellenberg, the Spot LLC

**REQUEST:** Applicant originally requested a text amendment to the LI-2 District to allow for assembly uses, however due to feedback from the City Council, staff is proposing an amendment to the "Studio, Commercial" definition of the zoning ordinance to include an allowance for events associated with the principle use of the business. Additionally, development standards are proposed which provide added criteria for events being held as part of a commercial studio use.

**NOTICE:** A public notice was posted in three locations in the city, mailed to political subdivisions and outside agencies on February 16, 2016. A notice was published in the Idaho Mountain Express on February 24, 2016.

Prior to this hearing, two public hearings were noticed for the Planning and Zoning Commission (September 16 & October 12 of 2015) and three public hearings before the City Council (November 16, 2015, February 1 & 16, 2016).

**STAFF RECOMMENDATION:**

Staff recommends approval of Ordinance 1151 to approve amendments to Title 17, Zoning Regulations, Section 17.08.020, Definitions by adding a new definition "Event" and amending the definition "Studio, Commercial" to allow for occasional events; and amending Chapter 17.124, Development Standards to add a new section 17.124.150, Commercial Studio Events.

**PAST PUBLIC MEETINGS:**

The Spot LLC applied for the text amendment on July 10, 2015, and has met with the Planning and Zoning Commission on four occasions and with the City Council on three occasions for consideration and public hearings. In all, this application has received consideration and discussion in seven public meetings listed below.

- August 10, 2015, PZ Commission Work Session
- August 25, 2015, PZ Commission Work Session
- September 28, 2015, PZ Commission Public Hearing

- October 12, 2015, PZ Commission Public Hearing
- November 16, 2015, City Council Public Hearing
- February 1, 2016, City Council Public Hearing
- February 16, 2016, City Council Public Hearing

### **DESCRIPTION OF TEXT AMENDMENTS:**

This text amendment request affects two sections of Title 17, Zoning Regulations: Section 17.08.020, Definitions and Chapter 17.124, Development Standards.

#### 1. Section 17.08.020, Definitions:

Staff is recommending that the definition for “Studio, Commercial” be amended to allow for occasional events related to the principle use of the business. Through this amendment, uses such as art studios, performing arts studios and the like, can hold events as an extension to their primary business. A new definition for “Event” is also proposed. Both definitions are shown below and attached to Ordinance 1151.

*EVENT: A planned, public, social gathering or activity.*

*STUDIO, COMMERCIAL: Work space within an enclosed structure for artists and artisans, including individuals practicing, teaching, or demonstration in one of the fine arts or performing arts, or skilled in an applied art or craft. Also includes recording studios. Incidental retail sales of items produced on the premises is allowed. A Commercial Studio may hold occasional events solely and exclusively in connection with the permitted uses conducted by the Commercial Studio. The events shall be subordinate in nature to the Commercial Studio and subject to the standards of 17.124.150.*

#### 2. Chapter 17.124, Development Standards:

Commercial studios are a permitted use in the Community Core District, Sub-districts A, B and C and permitted in the LI-1, 2 and 3 Districts. Permitted uses are by-right and do not require the level of scrutiny that conditional use permits experience. In order to closely regulate events for commercial studios, staff is proposing the addition of Section 17.124.150, Commercial Studio Events. These standards provide a framework which will help mitigate potential externalities caused by events. Among other requirements, hours of operation are limited to not conflict with normal business hours, food and beverage service is restricted to each event’s specific timeframe and event frequency is capped at 30 days per calendar year. Staff’s direction from the City Council was to ensure commercial studio events are an accessory use and do not compete with traditional assembly uses, such as theaters, located in the downtown core.

#### *17.124.150 Commercial Studio Events*

*Events conducted by a Commercial Studio shall comply with the following standards:*

- A. *Events shall be limited to no more than 30 days per calendar year*
- B. *Maximum occupancy at any given event shall be limited to less than 100 persons*
- C. *Restrooms for patrons shall be available on site and comply with all building and fire code requirements*
- D. *Food and Beverage may be served only during the operational hours of an actual event, and all necessary permits shall be obtained prior to the event*
- E. *Events shall only occur according to the following times:*
  1. *Monday thru Friday: 5:30 pm to 12:00 am*

2. Saturday and Sunday: 12:00 pm to 12:00 am  
 F. All building and fire code requirements shall be met prior to holding any event  
 G. No subleasing shall be allowed for events

**COMPREHENSIVE PLAN ANALYSIS:**

Comprehensive Plan Statement	Analysis of Amendment Regarding Goals/Policies	Yes/No
Goal ART-1 Create cultural facilities that meet the needs of the community and make Ketchum a destination attraction.	Provides greater flexibility for commercial studios to expand their standard programming to incorporate live productions or arts showings.	Yes
Policy ART 1.1 - Diverse Range of Cultural Facilities and Programs: Encourage the development of accessible cultural facilities (indoor and outdoor) and programs that will provide a diverse range of performing and visual arts activities.	See comment above.	Yes
Goal ART-2 Building Ketchum's identity as a cultural center and destination by increasing the visibility of the arts and cultural activities in the community.	Increases the visibility of arts inside and outside of the city's downtown core.	Yes
Policy ART 2.1 - Sustainable Arts and Cultural Opportunities: Promoted, encourage and stimulate the growth of arts and cultural opportunities, recognizing that they are essential to a vital, sustainable and active community.	Allowing events with commercial studios could encourage additional art centered businesses and organizations to expand. Currently, commercial studios are only allowed to host events within the Community Core, Sub-District A, B and C.	Yes
Goal ART -3 Develop sustainable funding - public and private - to support arts and cultural programs.	Private art-centered businesses, like the Spot, provide private investments toward arts in the city.	Yes
Core Community Value - 2. Vibrant Downtown: We will continue to reinforce the downtown as the City's primary business district, retail core, and key gathering place for residents and visitors for shopping, dining, and entertainment. Enhancements and efforts to support events, the arts, and Ketchum's history and culture will make downtown an even greater community asset.	Allowing events for studio commercial uses could have a negative impact to downtown by incentivizing art-centered businesses and organizations to relocate to the LI District in hopes of cheaper real estate.	No

Chapter 8: Space Challenges: There is little to no inexpensive studio space available for working artists.	Addresses this obstacle by providing more flexibility in the range of activities that can be conducted through a commercial studio use, thus creating more viable locations for studio uses.	Yes
<i>Mixed-Use Industrial - Future Land Use Map: Secondary Uses: A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i>	Events generate traffic and tourists. However, the development standards provide significant limitations on events.	No

**MOTION LANGUAGE:**

“I move to approve Ordinance 1151 regarding amendments to Title 17, Zoning Regulations, Section 17.08.020, Definitions by adding a new definition “Event” and amending the definition “Studio, Commercial” to allow for occasional events; and amending Chapter 17.124, Development Standards to add a new section 17.124.150, Commercial Studio Events; or

“I move to deny Ordinance 1151 because of the following reasons (Commission to insert reasons for denial).”

**ATTACHMENTS:**

- A. Application Form and Narrative
- B. Ordinance 1151
- C. Public Comment

Attachment A: Application Form and Narrative

APPLICATION FOR AMENDMENT TO ZONING CODE TITLE 17 OR SUBDIVISION CODE TITLE 16

Applicant: THE SPOT LLC Phone Number: 208-928-6241

Mailing Address: P.O. Box 4227, KETCHUM (C/O BRETT MOELLENBERG)

Representative: BRETT MOELLENBERG Phone Number: 602-214-0048

Mailing Address: P.O. Box 4227, KETCHUM

Section of Code to be amended: 17.12.020, TITLE 17

Please describe the proposed change, or provide proposed amended language (attach separate sheet if necessary).

ATTACHED

OTHER INFORMATION may be reasonably required by the Administrator in order to process this application.

I hereby acknowledge I have filled in this application accurately and provided the required information to the best of my knowledge.

[Handwritten signature of Brett Moellenberg]

Date 7-10-15

Signature of Owner or Authorized Representative

PETER BURKE

BRETT MOELLENBERG

Pursuant to Resolution No. 08-123, any direct costs incurred by the City of Ketchum to review this application will be the responsibility of the applicant. Costs include but are not limited to: engineer review, attorney review, legal noticing, and copying costs associated with the application. The City will require a retainer to be paid by the applicant at the time of application submittal to cover said costs. Following a decision or other closure of an application, the applicant will



*Ketchum is a community where arts and culture are vitally important to our economy and quality of life – they tell our story. Arts and culture foster new perspectives and appreciation while making the community more attractive and appealing. Our local social gatherings and opportunities are heightened by events that celebrate our arts and culture and bring people together in Ketchum. Arts and culture also contribute to the larger “creative economy” which creates jobs, attracts investments, generates tax revenues, and stimulates the economy through tourism and consumer purchases. A thriving arts and cultural scene attracts visitors and has economic “spinoff” benefits for local restaurants, lodging and retailers. Because they enhance our quality of life, arts and culture are an important complement to community development, enriching local amenities and attracting young workers to our town.*

*-Ketchum Comprehensive Plan, 2014*

The Spot opened In September, 2014 as a way of supplementing the incredible summer theatrical programs that the Wood River Valley has to offer. Having worked with companies like St. Thomas Playhouse and nexStage Theatre every summer for 6 years, we wanted to make Ketchum our permanent home; and, our students were clamoring for a year-round option to continue working on their art. Starting with group and private classes, we realized that our studio had the capability to involve even more of the community by producing shows that none of the other companies were doing. We were also excited by the idea of creating a venue that showcased theatre in a more intimate and diverse way. When we produced our first show *Next to Normal*, we realized that the community was just as excited about our idea as we were. We originally planned for six shows, and when they quickly sold out in January, we added one more evening that sold out in 24 hours.

The change we propose is simple. We want to add a permitted “assembly use” to our space in the LI2 district. While busy during the day, the district sees little action at night; and, while we plan to bring more families and children to the area during the day for our classes (and partnering dance classes in our space), we are able to bring some vibrancy to the area in the evening, where it is currently a ghost town.

*Ketchum will encourage partnerships with and among existing arts organizations, on its own and through the Ketchum Arts Commission and Ketchum Events Commission (Ketchum Comprehensive Plan). The KAC is very interested in our space. With the lack of usable, convertible spaces in the core, the KAC has singled us out as place to hold a number of different arts related events.*



*Goal ART-1*

*Create cultural facilities that meet the needs of the community and make Ketchum a destination attraction.*

*Goal ART-2 Build Ketchum's identity as a cultural center and destination by increasing the visibility of the arts and cultural activities.*

*-Ketchum Comprehensive Plan*

There are a myriad of passages in the KCP that support what we are doing, from restoring a young adult culture to generating income for the city, but no goals are more poignant than Goal Art-1 and Goal Art-2 because they speak to what we do and have done for this city for many years. We are the future of the arts in this town. We have the talent, connections, and don't require any city funding to be successful. We are successful on our own and will continue to be. We've all moved here from around the country to build something here, in this town, and, we promise, you do not want to lose us.

Sincerely,  
The Spot

Attachment B: Ordinance 1151

**ORDINANCE NO. 1151**

**AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, AMENDING TITLE 17, CHAPTER 17.08, DEFINITIONS, SECTION 17.08.020, DEFINITIONS, BY ADDING THE DEFINITION “EVENT” AND AMENDING THE DEFINITION OF “STUDIO, COMMERCIAL” TO ADD LANGUAGE ALLOWING OCCASIONAL EVENTS; AND AMENDING CHAPTER 17.124, DEVELOPMENT STANDARDS TO ADD A NEW SECTION 17.124.150 “COMMERCIAL STUDIO EVENTS”; PROVIDING A REPEALER CLAUSE; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE, AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, the City of Ketchum is authorized to amend the city zoning ordinance pursuant to Idaho Code § 67-6511; and

WHEREAS, the Spot LLC, requested a text amendment to allow for assembly uses in the Light Industrial Number Two District (LI-2); and

WHEREAS, the Planning and Zoning Commission after fully considering this request held a public hearing on September 28, 2015 and recommended approval to the City Council finding that the request, on the whole, was in compliance with the 2014 Comprehensive Plan; and

WHEREAS, the Ketchum City Council, having reviewed the proposed text amendment, held a public hearing on November 16, 2015; and

WHEREAS, the Ketchum City Council having considered the recommendation of the Planning and Zoning Commission and submitted comments and testimony from the public, having determined that it is in the best interests of the public and adopt the proposed text amendments to Title 17, Zoning Ordinance;

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF KETCHUM:**

**Section 1:** That Chapter 17.08 of the Ketchum Municipal Code, Section 17.08.020 “Event” and “Studio, Commercial” be amended as follows by adding the underlined language herein below:

17.08.020: EVENT: A planned, public, social gathering or activity.

17.08.020: STUDIO, COMMERCIAL: Work space within an enclosed structure for artists and artisans, including individuals practicing, teaching, or demonstration in one of the fine arts or performing arts, or skilled in an applied art or craft. Also includes recording studios. Incidental retail sales of items produced on the premises is allowed. A

Commercial Studio may hold occasional events solely and exclusively in connection with the permitted uses conducted by the Commercial Studio. The events shall be subordinate in nature to the Commercial Studio and subject to the standards of 17.124.150.

**Section 2.** That Chapter 17.124 of the Ketchum Municipal Code, be amended with the addition of Section 17.124.150 “Commercial Studio Events”, as follows by adding the underlined language herein below:

17.124.150 Commercial Studio Events

Events conducted by a Commercial Studio shall comply with the following standards:

- A. Events shall be limited to no more than 30 days per calendar year
- B. Maximum occupancy at any given event shall be limited to less than 100 persons
- C. Restrooms for patrons shall be available on site and comply with all building and fire code requirements
- D. Food and Beverage may be served only during the operational hours of an actual event, and all necessary permits shall be obtained prior to the event
- E. Events shall only occur according to the following times:
  - 1. Monday thru Friday: 5:30 pm to 12:00 am
  - 2. Saturday and Sunday: 12:00 pm to 12:00 am
- F. All building and fire code requirements shall be met prior to holding any event
- G. No subleasing shall be allowed for events

**Section 3. REPEALER CLAUSE.** All City of Ketchum Ordinances or parts thereof which are in conflict herewith are hereby repealed.

**Section 4. SAVINGS AND SEVERABILITY CLAUSE.** It is hereby declared to be the legislative intent that the provisions and parts of this Ordinance shall be severable. If any paragraph, part, section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid for any reason by a Court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance.

**Section 5. EFFECTIVE DATE.** This Ordinance shall be in full force and effect after its passage, approval and publication according to law.

PASSED by the CITY COUNCIL and APPROVED by the MAYOR of Ketchum, Idaho on this \_\_\_\_ day of \_\_\_\_, 2016.

APPROVED:

---

Nina Jonas, Mayor

ATTEST:

---

Robin Crotty, Interim City Clerk

Attachment C: Public Comments

Planning and Zoning Commission Meeting Public Sign-In

Meeting Date 9/28/2015

Name	Summarize Comments
Peter Sancer	_____
PETER HENDRICKS	
Lisa-Marie Allen	
Dennis Hanggi	GRH ZONING DISTRICT
Yanna Lantz	Pro The Spot
Peter Bueke	Pro THE SPOT
Judy Steinbeck	Pro the Spot.
Natalie Battistone	Pro the Spot
Paul DiRuggiero	PRO the SPOT
SARA BRADSHAW GURBY	PRO The SPOT
Kristen Allen	PRO - The spot
SARAH HEARIC	PRO - THE SPOT
Emily Granville	PRO - The SPOT
Bob Crush	_____
Karin Reichow	Pro - the spot
Teddy Penna	a " "
Anna Geist	_____ a _____
Brooke Allen	Pro the Spot

Ketchum City Council  
 P.O. Box 2315  
 Ketchum, Idaho

November 20, 2015

Dear Council Members:

We have observed the debate over the zoning request to approve a conditional use permit for The Spot in the light industrial area.

Understandably, the council has concern over whether approval for assembly in the area would siphon off business from the downtown area.

Tonight we are a group of six friends who are planning to attend the 8pm performance at The Spot. We are having dinner in Ketchum prior to the show. The simple fact is that if we were not going to the show, we would all be at home watching a movie; not having dinner in Ketchum.

Everyone wins in this situation, especially the restaurant owner.

We hope you will strongly consider approval of the zoning permit to allow The Spot to continue to function.

Sincerely,

Barb Hurlbutt

Barb Hurlbutt

Dan Hurlbutt

Dan Hurlbutt

Sherry Aanestad

Sherry Aanestad

Doug Aanestad

Doug Aanestad

Carol Wade

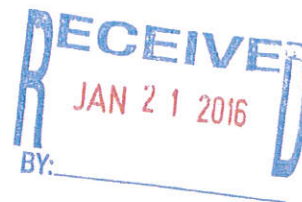
Carol Wade

Mike Wade

Mike Wade



Ketchum City Council  
 P.O. Box 2315  
 Ketchum, Idaho



January 17, 2016

Dear Council Members:

We have observed the debate over the zoning request to approve a conditional use permit for The Spot in the light industrial area.

Understandably, the council has concern over whether approval for assembly in the area would siphon off business from the downtown area.

Tonight we are a group of six friends who are planning to attend the 7pm performance of Angels in America at The Spot. We are having dinner at The Cornerstone Bar and Grill prior to the show. The simple fact is that if we were not going to the show, we would all be at home watching a movie; not having dinner in Ketchum.

Everyone wins in this situation, especially the restaurant owner.

We hope you will strongly consider approval of the zoning permit to allow The Spot to continue to function.

Sincerely,

Barb Hurlbutt

*Barb Hurlbutt*

Dan Hurlbutt

*Dan Hurlbutt*

Rich Bray

*Rich Bray*

Verlin Campbell

*Verlin Campbell*

Carol Wade

*Carol Wade*

Mike Wade

*Mike Wade*

Thursday, November 19, 2015

Tonight I have attended "Venus in Fur" at The Spot.

My signature below indicates that I have had dinner or drinks in Ketchum prior to the show or plan to do so after the show.

I hope you will strongly consider approval of the zoning permit to allow the Spot to continue to function and grow in it's current location.

T. Swick  
 Becky Klassen  
 [Signature]  
 Kim Peterson  
 Samuel Miller  
 James Mayes  
 Milce Hoover  
 Steph Carlson  
 Kathleen & Karl Kretlow  
 Kyrle Proulx  
 William Wise  
 Kerry Brokens  
 Pine Hill  
 Pam Doncetto  
 Kathy Jones  
 Sam Perlow  
 Gerri Pesch

[Signature]  
 [Signature]  
 ENOTECA  
 Cellerpat  
 Warfield  
 Sawtooth Brewery  
 "  
 Warfield  
 Pioneer - Warfield  
 dinner @ Warfield  
 Wise guys  
 Town Square Tavern  
 Town Square Tavern  
 " " " ☺  
 Desperados

Thursday, November 19, 2015

Tonight I have attended "Venus in Fur" at The Spot.

My signature below indicates that I have had dinner or drinks in Ketchum prior to the show or plan to do so after the show.

I hope you will strongly consider approval of the zoning permit to allow the Spot to continue to function and grow in it's current location.

Katie Santos  
Pat Duggan  
Steve Rice  
Mark Bulif

~~Pat Duggan~~  
~~Steve Rice~~  
~~Mark Bulif~~

Christine Toher  
Katie Ballisterne (actor)

Multiple horizontal lines for additional signatures, with some lines crossed out on the right side.

Friday, November 20, 2015

Tonight I have attended "Venus in Fur" at The Spot.

My signature below indicates that I have had dinner or drinks in Ketchum prior to the show or plan to do so after the show.

I hope you will strongly consider approval of the zoning permit to allow the Spot to continue to function and grow in it's current location.

Rebecca Drake

Lyman Drake

Melanie Hanson

John McGraw

duwn King

dubleads

Jennifer Deneil-Sushion

Brent Deneil → end

EMILY LARSON

Gavin McClurg

Mattie Malick

Tracy Munk

the pony

John King

Michael Smith

Mr. Russo

Callan Miranda

Connor Wade

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Saturday, November 21, 2015

Tonight I have attended "Venus in Fur" at The Spot.

My signature below indicates that I have had dinner or drinks in Ketchum prior to the show or plan to do so after the show.

I hope you will strongly consider approval of the zoning permit to allow the Spot to continue to function and grow in it's current location.

Judy Blaney

Paul All

Sybil

GINNA LAGERGREN

KEN LAGERGREN

Kyle NIS Clark

Gusan DeChavrieux - Had dinner at Corner Stone

Multiple sets of horizontal lines for additional signatures.



City of Ketchum  
Planning & Building

March 14, 2016

Planning and Zoning Commission  
City of Ketchum  
Ketchum, Idaho

Commissioners:

**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**REGULAR MEETING OF MARCH 14, 2016**

**PROJECT:** Constant Residence Waterways Design Review

**FILE NUMBER:** 16-007

**OWNERS:** Mary Constant

**REQUEST:** Waterways Design Review (WWDR) for a remodel/addition to an existing home

**LOCATION:** 303 Broadway Boulevard (Amended Lot 21A, Block 5, Sun Valley Subdivision First Addition Revised)

**NOTICE:** The following notice was mailed to adjacent property owners, including the owners across the creek, were mailed notice on Tuesday, March 1, 2016:

**NOTICE OF SITE VISIT AND CONSIDERATION BEFORE THE PLANNING AND ZONING COMMISSION**

<b>Site Visit Date:</b>	March 14, 2016
<b>Site Visit Time:</b>	5:15 PM
<b>Site Visit Location:</b>	303 Broadway Boulevard
<b>Meeting Date:</b>	March 14, 2016
<b>Meeting Time:</b>	5:30 PM, or thereafter as the matter can be heard.
<b>Meeting Location:</b>	City Hall Council Chambers, 480 East Avenue North, Ketchum, Idaho
<b>Project Name:</b>	Constant Residence
<b>Project Location:</b>	303 Broadway Boulevard (Sun Valley Sub 1st Add Rev, AM Lot 21A, Block 5)
<b>Applicant:</b>	Mary Constant
<b>Representative:</b>	Olson Kundig Architects
<b>Application Type:</b>	Waterways Design Review

**Project Description:** The Commission will consider and take action on an application by Mary Constant, represented by Olson Kundig architects for Waterways Design Review for an addition/remodel to the existing residence on the property.

**ZONING:** Limited Residential (LR)

**OVERLAYS:** Floodplain (FP)

**REVIEWER:** Rebecca F. Bundy, Senior Planner / Building and Development Manager

**ATTACHMENTS:**

- A. Applicant Submittals
  - Application form, dated January 29, 2016
  - Riparian Management and Mitigation Plan, Sawtooth Environmental Consulting, LLC, dated March 2016
  - Landscaping Plans, Eggars Associates, PA, dated March 4, 2016
    - Existing Conditions
    - Landscape Plan
  - Grading/Drainage Plan, Galena Engineering, Inc., dated March 4, 2016
  - Architectural Plans
    - Rendering, received March 9, 2016
    - Main Level Plan, dated March 9, 2016
    - Upper Level Plan, dated March 9, 2016
    - Roof Plan, dated March 9, 2016
    - North and East Elevations, dated March 9, 2016
    - South and West Elevations, dated March 9, 2016
    - Code Review, dated December 31, 2015
    - Site Photography, dated December 31, 2015
    - Site Survey, dated December 31, 2015
  - Assessment of Existing Residential Structure, Morell Engineering, P.C., dated February 10, 2016
- B. Public Tree Removal Request Report, Jennifer Smith, City Arborist, dated March 9, 2016.
- C. Public Comment – None to date

**STAFF RECOMMENDATION**

Based on the items submitted to date, staff recommends approval of the Constant Residence Waterways Design Review application, subject to conditions 1– 8 below.

**STAFF ANALYSIS**

1. The applicant is requesting Waterways Design Review approval for a remodel/addition to an existing home on the subject property. The property is located on the Big Wood River and contains riparian setback as well as regulatory floodplain. No construction is proposed in the floodplain.
2. The existing home on the subject property was built in 1963 and predates the City's riparian setback requirements, which were enacted in 1989. The southwest portion of the home encroaches into the riparian setback, resulting in an existing nonconforming building with respect to the riparian setback.

3. The applicant has submitted a structural analysis determining that the foundation and concrete walls in the existing building do not contain adequate rebar. In addition, the roof structure, the carport and the existing second story deck are structurally inadequate and exhibit a great deal of rot. The building official has made a determination that the existing structure is unsafe and may therefore be “strengthened or restored to a safe condition” per the provisions of KMC, Section 17.136.070, Structural Changes, including a new foundation, floors, walls and roof.

4. The applicant is proposing to remove the southernmost portion of the existing building in the riparian setback and to add the same 715 cubic feet of volume on the second floor level. Staff finds that this improves the degree of encroachment on the ground in the riparian setback and does not increase the degree of nonconformity. In addition, the applicant proposes to demolish the inadequate existing second story deck and to rebuild it higher at the new second story level, again not increasing the degree of nonconformity at ground level.

5. The Grading and Drainage Plan shows that the property contains a well on its western edge. Per the Public Works Director’s comments below, the following conditions of approval shall apply:

- Connection to the municipal water system is required per city code.
- Private well must be abandoned in a manner complaint with IDAPA 37.03.09.
- An Application for Authorization to Abandon a Well must be filed with IDWR.

General Requirements for all FPDP Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.C	<p><b>Complete Application</b></p> <p><b>Fire Department</b></p> <ul style="list-style-type: none"> <li>○ <i>The above project shall meet 2012 International Fire Code in addition to specific City Building and Fire Ordinances.</i></li> <li>○ <i>Approved address numbers shall be placed in such a position to be plainly visible and legible from Broadway BLVD.</i></li> <li>○ <i>Fire extinguishers shall be installed and maintained per 2012 IFC both during construction and upon occupancy of the building.</i></li> </ul> <p><b>Public Works</b></p> <ul style="list-style-type: none"> <li>○ <i>We would like to see minimum % of slopes detailed in the ROW.</i></li> <li>○ <i>The driveway appears to be draining into the street- code violation. Driveway should follow ROW slope.</i></li> <li>○ <i>Private property is dewatering into the ROW, project will need to help with drainage in the ROW.</i></li> <li>○ <i>There are no comments from the Wastewater Dept. The house is hooked to sewer, and needs no changes.</i></li> <li>○ <i>Connection to the municipal water system is required per city code.</i></li> <li>○ <i>Private well must be abandoned in a manner complaint with IDAPA 37.03.09.</i></li> <li>○ <i>An Application for Authorization to Abandon a Well must be filed with IDWR.</i></li> </ul>



			<b>City Arborist</b> ○ See Attachment B, Public Tree Removal Request Report, Jennifer Smith, City Arborist, dated March 9, 2016.
			<b>Building Official</b> ○ No comment.
			<b>Police</b> ○ No comment.

Compliance with Zoning District and Overlay Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Setbacks</b>
			<i>Staff Comments</i>	<i>Proposed:</i> <i>Front: 15' Rear: 20' Side: 12' Side: 18'</i> <i>Allowed:</i> <i>Front: 15' Rear: 20' Side: 12' Side: 12'</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Building Height</b>
			<i>Staff Comments</i>	<i>Proposed: 24' Allowed: 35'</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Maximum Building Coverage</b>
			<i>Staff Comments</i>	<i>Proposed: 20% Allowed: 35%</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090.M	<b>Curb Cut</b>
			<i>Staff Comments</i>	<i>Proposed: 12' or 13% Allowed: 35%</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090.A.1	<b>Parking Spaces</b>
			<i>Staff Comments</i>	<i>Proposed: 2 Required: 2</i>

Floodplain Design Review Requirements				
1. EVALUATION STANDARDS: 17.88.060(E)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)1 FLOODPLAIN DEVELOPMENT /WATERWAYS DESIGN REVIEW	Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.
			<i>Staff Comments</i>	<i>No development is proposed within the floodplain or the within the river channel.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)2	Preservation or enhancement of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty-five (25) foot setback or riparian zone. No construction activities, encroachment or other disturbance into the twenty five foot (25') riparian zone shall be allowed at any time without written City approval per the terms of this ordinance.
			<i>Staff Comments</i>	<i>Please see Attachment A, Riparian Management and Mitigation Plan, dated March 2016, conducted by Sawtooth Environmental Consulting, LLC. Native existing riparian vegetation is limited to a narrow margin lower than the rest of the lot and in the floodplain, directly adjacent to the river channel. This area is proposed to be preserved and enhanced with additional twenty (20) willow and dogwood shrubs. The rest of the</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				<p>riparian setback has been altered by past land use applications including land clearing, bank stabilization projects, a dock structure, fence, pump house, concrete retaining wall and construction debris. The applicant is proposing to remove most of these items from the riparian setback (totaling about 100 square feet in size), but plans to leave undisturbed the existing concrete retaining wall and rip-rap on the bank that has served to stabilize the bank over the years. The applicant is requesting that mechanical equipment be allowed in the riparian setback during construction and that a one hundred and sixty (160) square foot decomposed granite area be allowed adjacent to the house within the riparian setback. In addition, the existing fireplace is proposed to be rebuilt so that it becomes an outdoor fireplace facing into the riparian setback. The existing upland portion of the yard in the riparian setback is proposed to be planted with fescue grasses. In addition, to mitigate for the proposed decomposed granite area adjacent to the house, the applicant is also proposing to reclaim seven hundred and fifteen (715) square feet of land outside the riparian setback with fifty (50) riparian shrubs and two Douglas fir trees. Natural recruitment of native riparian will be encouraged by not mowing in the riparian setback and the proposed reclamation area. Removal of four (4) dead and/or hazardous trees is also proposed. The City's Floodplain Manager and City Arborist have inspected the trees proposed for removal and have found that the requested trees may be removed due to poor health, damage due to proximity to the construction and overcrowding. The proposed riparian shrubs will mitigate for the tree removal. As a condition of approval, the root balls of any removed tree shall be retained in place in order to continue to provide bank stabilization.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060E3	<p>No development other than development by the City of Ketchum or development required for emergency access shall occur within the twenty-five (25) foot riparian zone with the exception of approved stream stabilization work. The Planning and Zoning Commission may approve access to property where no other primary access is available. Private pathways and staircases shall not lead into or through the riparian zone unless deemed necessary by the Planning and Zoning Commission.</p>
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060E4	<p>Plan and time frame are provided for restoration of riparian vegetation damaged as a result of the work done.</p>
			<i>Staff Comments</i>	<i>A plan and schedule has been provided in the form of Sawtooth Environmental Consulting's report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)5	<p>New or replacement planting and vegetation includes plantings that are low-growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings include: red osier dogwood, common choke cherry, service berry, elder berry, river birch, skunk bush sumac, beb's willow, drummond's willow, little wild rose, gooseberry, and honeysuckle.</p>
			<i>Staff Comments</i>	<i>Proposed riparian plantings consist of a total of twenty (20) willow and dogwood shrubs in the riparian setback and fifty (50) additional riparian shrubs in the proposed reclamation area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)6	<p>Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Flood water carrying capacity is not diminished by the proposal. Surface drainage is controlled and does not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under</p>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				driveways may be required. Landscaping berms are designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.
			<i>Staff Comments</i>	<i>The subject property does not contain floodplain. The applicant has submitted a grading and drainage plan that calls for removal of a portion of the existing concrete wall closest to the house and minor grade recontouring along the street, all of which is outside the floodplain and the riparian setback. This standard may be met with the following conditions of approval: Prior to issuance of a building permit, the applicant shall provide civil engineered plans, for evaluation by city staff, showing the following:</i> <ul style="list-style-type: none"> <li>• <i>Minimum % of slopes detailed in the ROW.</i></li> <li>• <i>Driveway should follow ROW slope and shall not drain into the street.</i></li> <li>• <i>Private property shall not dewater into the ROW, and the project will need to provide drainage in the ROW.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)7	<b>Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.</b>
			<i>Staff Comments</i>	<i>No development is proposed in the floodplain or adjacent to the river. There will be no adverse impact from the development on aquatic life, recreation or water quality.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)8	<b>Building setback in excess of minimum required along waterways is encouraged.</b>
			<i>Staff Comments</i>	<i>The footprint of the existing encroachment into the riparian setback is being reduced, and all additions to the building outside of the riparian setback.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)9	<b>The top of the lowest floor of a building located in the 1% annual chance floodplain shall be a minimum of twenty-four inches (24") above the base flood elevation of the subject property.</b>
			<i>Staff Comments</i>	<i>No development is proposed in the regulatory floodplain.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)10	<b>The back fill used around the foundation in the floodplain provides a reasonable transition to existing grade, but is not used to fill the parcel to any greater extent. Compensatory storage shall be required for any fill placed within the floodplain. A LOMA-F shall be obtained prior to placement of any additional fill in the floodplain.</b>
			<i>Staff Comments</i>	<i>No development is proposed in the regulatory floodplain.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)11	<b>All new buildings shall be constructed on foundations that are approved by a licensed professional engineer.</b>
			<i>Staff Comments</i>	<i>As a condition of approval, at application for a building permit, stamped, engineered structural plans for the engineered foundation shall be submitted as part of the building permit application.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)12	<b>Driveways comply with effective Street Standards; access for emergency vehicles has been adequately provided for.</b>
			<i>Staff Comments</i>	<i>Street and Fire Departments have commented on this application. As a condition of approval, the building permit application shall address all of the Street and Fire Department comments as listed in the conditions below.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)13	<b>Landscaping or revegetation conceals cuts and fills required for driveways and other elements of the development.</b>
			<i>Staff Comments</i>	<i>Minimal cut and fill will be required for the driveway and foundation. Landscaping and revegetation is proposed for all disturbed areas.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)14	<b>(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.</b>
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)15	(Stream Alteration) No increase to the 100-year floodplain upstream or downstream has been certified by a registered Idaho engineer.  <i>Staff Comments</i> No stream alteration is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)16	(Stream Alteration) The recreational use of the stream including access along any and all public pedestrian/fisherman's easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.  <i>Staff Comments</i> No stream alteration is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)17	Where development is proposed that impacts any wetland, first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with a comparable amount and/or quality of new wetland area or riparian habitat improvement.  <i>Staff Comments</i> The property contains no identified wetlands, and no work is being proposed in the floodplain or along the stream bank.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)18	(Stream Alteration) Fish habitat is maintained or improved as a result of the work proposed.  <i>Staff Comments</i> No stream alteration is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)19	(Stream Alteration) The proposed work is not in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.  <i>Staff Comments</i> No stream alteration is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)20	(Stream Alteration) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.  <i>Staff Comments</i> No stream alteration is proposed.

### STAFF RECOMMENDATION

Staff recommends approval of the proposed Waterways Design Review, finding that it meets all applicable floodplain management and zoning standards. The Commission should consider the full record of facts and evidence brought forward on this application based on staff reports, applicant information, public comments, and other relevant information. Based on the information presented and received, the following options should be determined:

1. On the whole, this application is in compliance with the floodplain management and zoning ordinances and other adopted or enforced city policies or codes and approve the floodplain development permit/waterways design review request with conditions 1-8 below.
2. On the whole, this application is not in compliance with the floodplain management and zoning ordinances and other adopted or enforced city policies or codes and deny the request for a townhouse final plat because the following standards (Commission to insert reasons for denial).
3. If the Commission is not opposed to the entire application but only with certain aspects of the proposal, the Commission may amend and revise the proposal and/or modify conditions to address their concerns and proceed with approving the t proposed Waterways Design Review application.
4. If the Commission does not feel they have all the information they need to make a decision they may require additional information to be brought forth at a future meeting.

5. The Commission may determine some other option based on the information presented at the meeting.

### FOR MOTION PURPOSES

“I move to approve the Constant Residence Waterways Design Review with conditions 1 – 8 below.”

“I move to deny the Constant Residence Waterways Design Review because the following standards (Commission to insert reasons for denial).”

### PROPOSED CONDITIONS

1. Waterways Design Review approval shall expire one (1) year from the date of signing of approved Findings of Fact per the terms of KMC, Section 17.88.060.G, Terms of Approval;
2. This Waterways Design Review approval is based on the plans, as dated in the list of attachments above, and information presented and approved at the meeting on the date noted herein. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
3. Pursuant to Chapter 17.88.050.C, no chemicals or soil sterilants are allowed within 100 feet of the mean high water mark. No pesticides, herbicides, or fertilizers are allowed within 25 feet of the mean high water mark unless approved by the City Arborist. All applications of herbicides and/or pesticides within one hundred feet (100') of the mean high water mark, but not within twenty five feet (25') of the mean high water mark, must be done by a licensed applicator and applied at the minimum application rates. Application times for herbicides and/or pesticides will be limited to two (2) times a year; once in the spring and once in the fall unless otherwise approved by the city arborist. The application of dormant oil sprays and insecticidal soap within the riparian zone may be used throughout the growing season as needed;
4. The above project shall meet 2012 International Fire Code in addition to specific City Building and Fire Ordinances. Approved address numbers shall be placed in such a position to be plainly visible and legible from Broadway BLVD. Fire extinguishers shall be installed and maintained per 2012 IFC both during construction and upon occupancy of the building;
5. Connection to the municipal water system is required per city code. Private well must be abandoned in a manner compliant with IDAPA 37.03.09. An Application for Authorization to Abandon a Well must be filed with IDWR;
6. The root balls of any removed tree shall be retained in place in order to continue to provide bank stabilization; and
7. Prior to issuance of a building permit, the applicant shall provide civil engineered plans, for evaluation by city staff, showing the following:
  - Minimum % of slopes detailed in the ROW.
  - Driveway should follow ROW slope and shall not drain into the street.
  - Private property shall not dewater into the ROW, and the project will need to provide drainage in the ROW.
8. At application for a building permit, stamped, engineered structural plans for the engineered foundation shall be submitted as part of the building permit application.

**Attachment A:  
Application form, dated January 29, 2016**

- Riparian Management and Mitigation Plan, Sawtooth Environmental Consulting, LLC, dated March 2016
- Landscaping Plans, Eggars Associates, PA, dated March 4, 2016
  - Existing Conditions
  - Landscape Plan
- Grading/Drainage Plan, Galena Engineering, Inc., dated March 4, 2016
- Architectural Plans
  - Rendering, received March 9, 2016
  - Main Level Plan, dated March 9, 2016
  - Upper Level Plan, dated March 9, 2016
  - Roof Plan, dated March 9, 2016
  - North and East Elevations, dated March 9, 2016
  - South and West Elevations, dated March 9, 2016
  - Code Review, dated December 31, 2015
  - Site Photography, dated December 31, 2015
  - Site Survey, dated December 31, 2015
- Assessment of Existing Residential Structure, Morell Engineering, P.C., dated February 10, 2016
- Site Photos

---

Sawtooth Environmental Consulting, LLC

P.O. Box 2707 Ketchum, ID. 83340  
208-727-9748

**Constant – Lot 21A, Block 5, Sun Valley Subdivision  
Riparian Management and Mitigation Plan  
March 2016**

**Landowner:** Mary Constant

**Location:** 303 Broadway Blvd., Section 13, Township 4 North, Range 17  
East, City of Ketchum, Blaine County, Idaho.

**Project:** Riparian Management and Mitigation Plan

The purpose of this report is to provide an overview of the proposed actions and environmental resources associated with the subject parcel and to outline the protection, management and mitigation strategies being proposed for the property as they relate to the parcel's riparian area.

The proposed development project is to remodel the existing single-family residence on Lot 21A, Block 5, of the Sun Valley Subdivision, located at 303 Broadway Blvd., City of Ketchum. The subject parcel is approximately 9,010 SF (0.21 acre), and is immediately adjacent to the Big Wood River, which is located to the east of the designated building site.

To meet landowner objectives and create a practical area to develop within the subject parcel the applicant seeks approval to conduct work within the riparian setback and to allow for permanent encroachment into a portion of the riparian setback with landscape design elements, decomposed granite (DG) to be placed directly adjacent to the proposed residential structure.

Due to the limits of the existing building envelope, the physical configuration of the lot and associated natural features we ask the Planning and Zoning Commission to allow for work to be conducted with mechanized equipment within the regulated twenty five foot (25') riparian setback during construction phases, and to allow for the installation of decomposed granite adjacent to the structure to improve drainage and provide a suitable groundcover for an area where existing vegetation is limited due to aspect and lack of associated solar inputs, application area approximately 160 sq. ft.

All proposed development applications will occur within areas impacted by past development applications, in areas already developed or where the natural site characteristics and vegetation have been altered by past land use applications. The proposed project has been designed to avoid jurisdictional waters of the

United States, including jurisdictional wetlands and minimize adverse impacts to floodplain and riparian habitat elements to the greatest extent practicable.

Understanding the importance of riparian habitats and their role in protecting water quality and providing valuable wildlife habitat the applicant proposes to protect undisturbed riparian elements located on the parcel and enhance associated riparian habitat elements altered by past land use applications.

Prescribed riparian management applications outlined in this plan are presented to protect water quality, improve floodplain function and enhance riparian habitat. As well as help mitigate for the proposed site development and past site alterations, which have altered the natural characteristics of the site.

### **Site Description**

The project site is located approximately 0.75 miles northwest of Ketchum, within Section 13, Township 4 North, Range 17 East, B.M., Blaine County, Idaho. The project area is located to the west, and directly adjacent to the Big Wood River.

Native riparian vegetation is limited to a narrow margin directly adjacent to the river channel. Native riparian vegetation associated with the site is comprised of a cottonwood tree (*Populus trichocarpa*) upper canopy, a woody shrub mid-canopy consisting of willows (*Salix spp.*), currant (*Ribes spp.*), and wild rose (*Rosa woodsii*) and herbaceous ground cover mix of various grasses and forbs.

The balance of the riparian area located within the 25-foot riparian management zone has been altered by past development applications and land use applications. Vegetation consists of a predominant herbaceous ground cover including mixed grasses and forbs, both introduced and native species being present.

### **Riparian Enhancement Plan**

The proposed project plans to protect, reclaim and enhance the natural riparian characteristics associated with the Big Wood River by addressing portions of the riparian buffer which have been altered by past land-use applications including land clearing and bank stabilization applications. Undisturbed riparian habitat elements and the reclaimed riparian areas will be considered natural zones, management and maintenance activities will be minimized to the necessary control of noxious weeds, the removal of dead and/or hazardous trees, and emergency stream bank stabilization activities (if necessary). No further development will be proposed for the designated natural zones within the 25-foot riparian management zone.

Designated natural zones within the riparian buffer will consist of perennial native vegetation (grasses, forbs, shrubs and trees) and be managed to enhance and



protect aquatic resources from potential adverse impacts associated with site development applications. Project objectives include:

- Promote riverbank stabilization
- Improve floodplain function
- Filter nutrients, herbicides and other chemicals from land-use applications
- Enhance wildlife habitat
- Restore native plant communities

### **Riparian Applications**

Development and mitigation applications will incorporate all applicable Best Management Practices (BMP's) to protect resource values and to ensure compliance with state and federal Water Quality Standards. The following project applications within the 25-foot riparian management zone are being proposed to meet landowner objectives, reclaim altered riparian habitat elements and to help mitigate for the proposed and past land-use applications.

- Conduct work with mechanized equipment within the regulated twenty five foot (25') riparian setback during construction phases in order to remove existing structural elements and non-native materials, and to re-grade areas adjacent to the structure to comply with City of Ketchum drainage requirements.
- Remove all non-native materials not associated with riverbank stability from the riparian management zone. Materials include:
  - Iron-grate fencing
  - Abandoned deck materials
  - All dimensional lumber and miscellaneous materials
  - Non-functional concrete materials

Existing rip-rap materials and concrete retaining wall within the designated 100-year floodplain will be left in place and not disturbed in order to maintain riverbank stability.

- Remove non-native, dead and/or hazardous trees (4), two Colorado spruce trees, one mountain ash and one birch.
- Preserve undisturbed riparian vegetation adjacent to all surface water resources. Construction and/or silt fence will be placed along this boundary to inhibit encroachment during site excavation and construction of the proposed project, and associated reclamation applications.
- Install DG adjacent to the structure to improve drainage and provide a suitable groundcover for an area where existing vegetation is limited due

to aspect and lack of associated solar inputs, application area approximately 160 sq. ft.

- Reclaim all disturbed areas not subject to proposed development applications with native riparian grass and shrub species.
- Reclaim/enhance altered riparian habitat elements within the riparian management zone. Undisturbed riparian habitat elements and reclaimed areas will be managed as a no maintenance riparian buffer to enhance riparian function and value.

Proposed reclamation applications include:

- Reclaim and expand riparian area outside of the 25-foot riparian management zone to mitigate for the proposed development applications. Proposed reclamation area approximately 715 sq. ft. vegetation will consist of native plant species and will be managed as a no maintenance natural area.
- Encourage natural recruitment of native riparian plant species by not mowing undisturbed riparian areas and the identified reclamation areas.
- Plant 70 native riparian shrubs, 5 gallon nursery stock (dogwood, native willow, serviceberry, wild rose and gooseberry) to restore and enhance riparian habitat elements within the designated reclamation areas.
- Incorporate native riparian grass species into the designated reclamation areas and all disturbed areas.

Reclamation plantings will be sited to enhance the natural beauty of the river corridor and to preserve views from the subject property. New plantings and seeded areas will be irrigated for a minimum of two (2) years to promote establishment and root development.

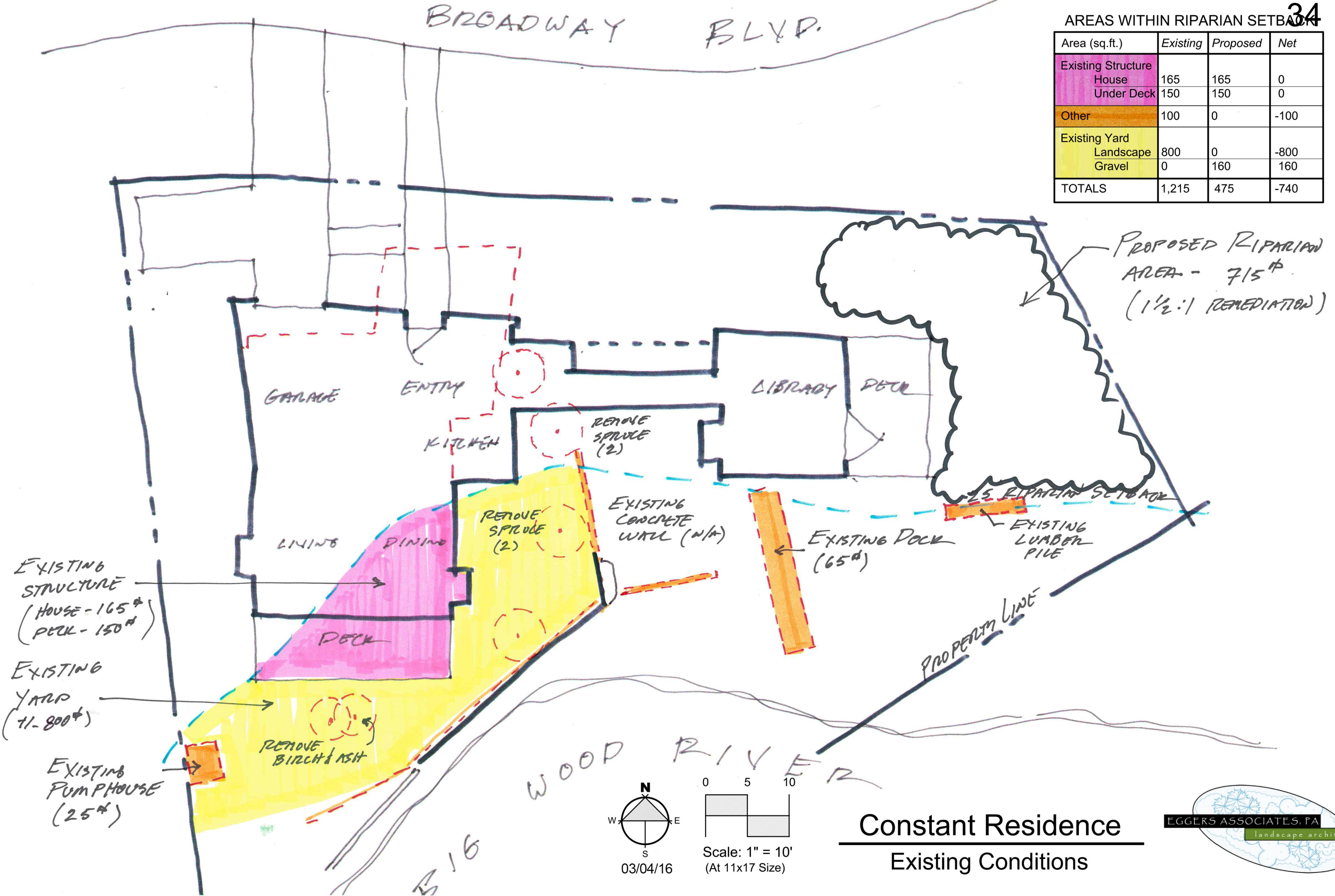
- Limit the area of disturbance in terms of both extent and duration by the use of practical construction sequencing and applied Best Management Practices.
- Control noxious weeds and invasive plant species throughout the parcel on an as need basis. The preferred method of hand pulling will be applied for weeds that are isolated and not widespread, while spot herbicide applications will be utilized to control widespread infestations.

## **Schedule**

Enhancement applications will be implemented once major construction activities have been completed (Fall 2016).

AREAS WITHIN RIPARIAN SETBACK

Area (sq.ft.)	Existing	Proposed	Net
Existing Structure			
House	165	165	0
Under Deck	150	150	0
Other	100	0	-100
Existing Yard			
Landscape	800	0	-800
Gravel	0	160	160
TOTALS	1,215	475	-740

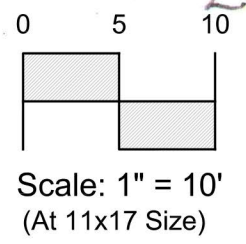
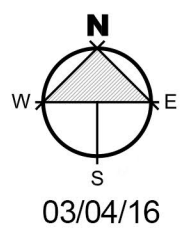


EXISTING STRUCTURE  
(HOUSE - 165'  
DECK - 150')

EXISTING YARD  
(11-800')

EXISTING PUMPHOUSE  
(25')

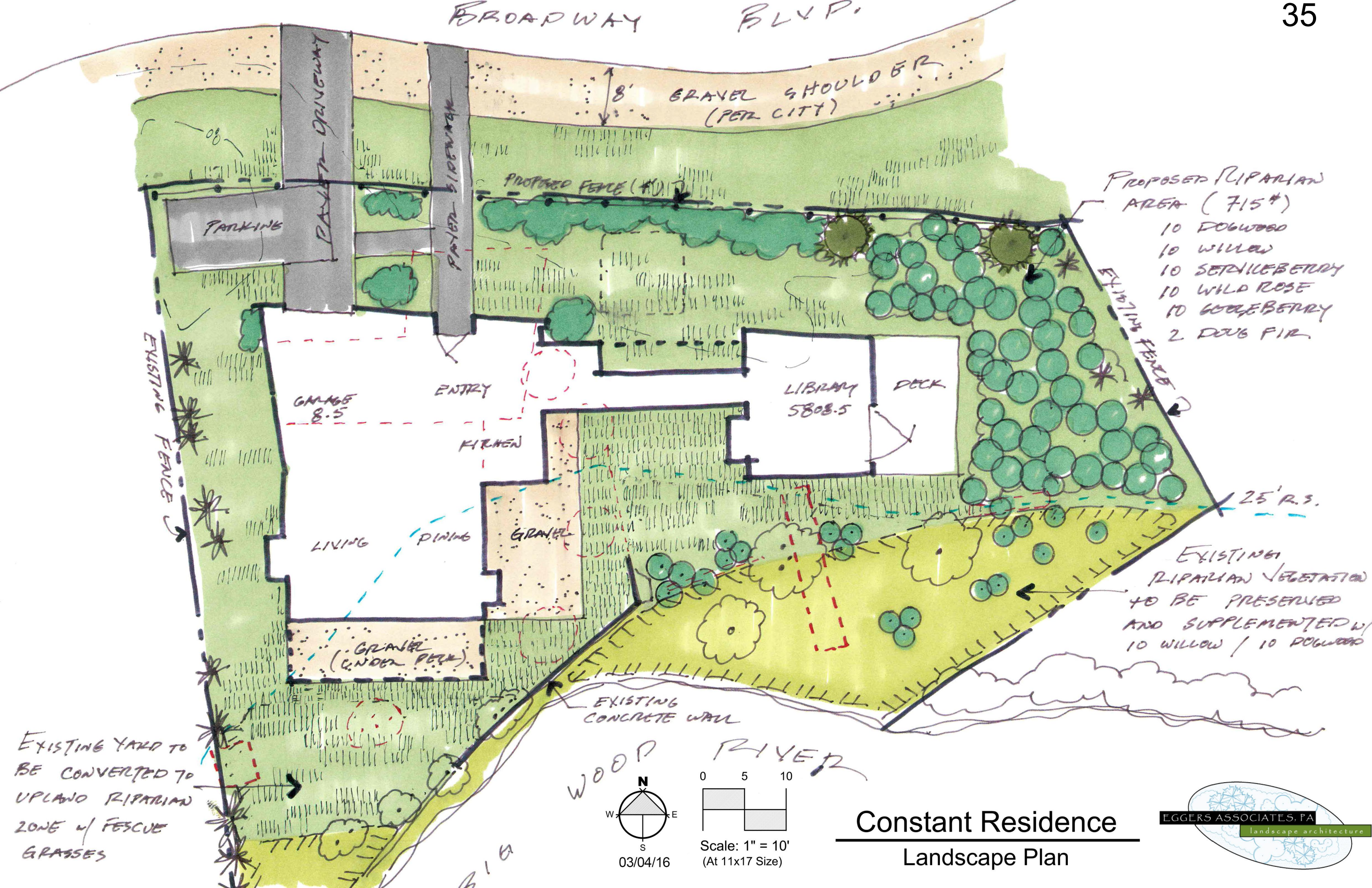
PROPOSED RIPARIAN AREA - 715'  
(1 1/2:1 REMEDIATION)



Constant Residence  
Existing Conditions



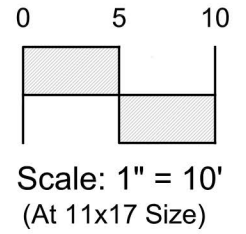
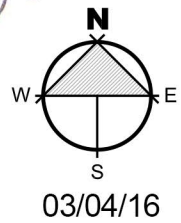
BROADWAY BLVD.



- PROPOSED RIPARIAN AREA (715<sup>sq</sup>)
- 10 DOGWOOD
  - 10 WILLOW
  - 10 SERRULEBERRY
  - 10 WILD ROSE
  - 10 GOOSEBERRY
  - 2 DOUG FIR

EXISTING RIPARIAN VEGETATION TO BE PRESERVED AND SUPPLEMENTED W/ 10 WILLOW / 10 DOGWOOD

EXISTING YARD TO BE CONVERTED TO UPLAND RIPARIAN ZONE w/ FESCUE GRASSES



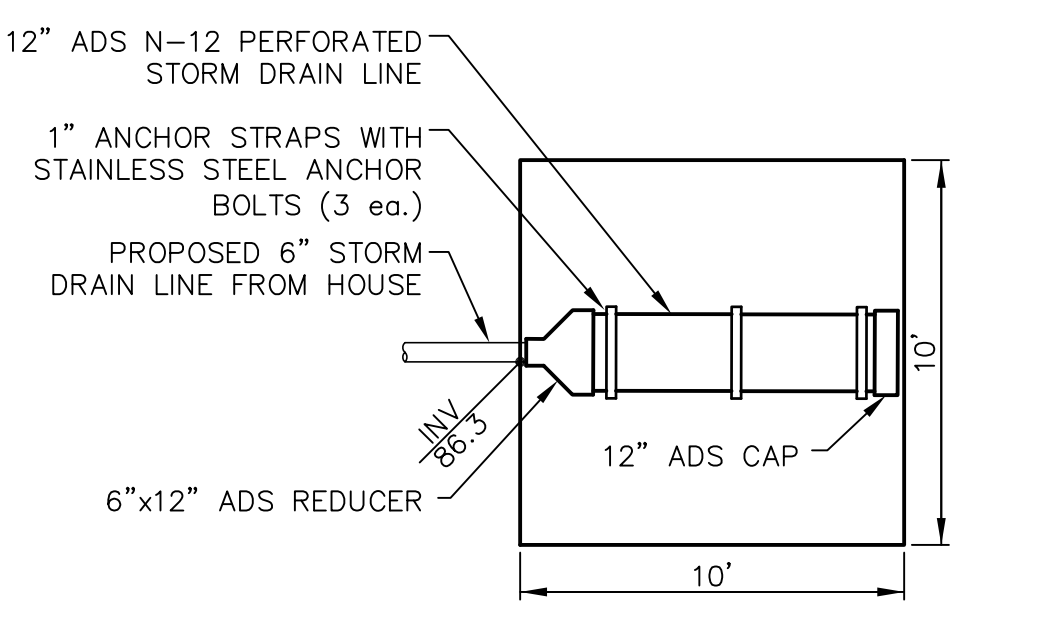
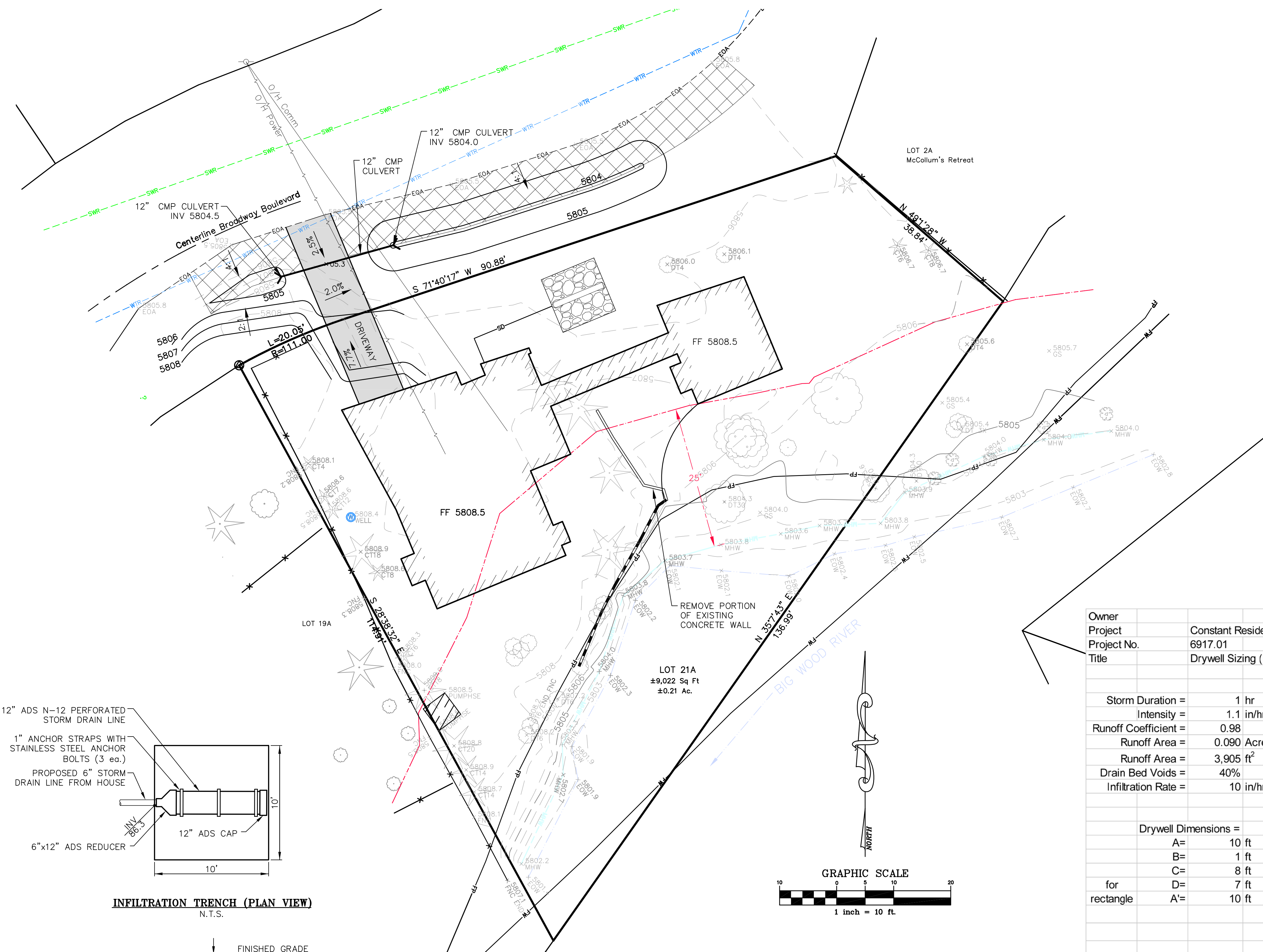
03/04/16

**Constant Residence**  
Landscape Plan

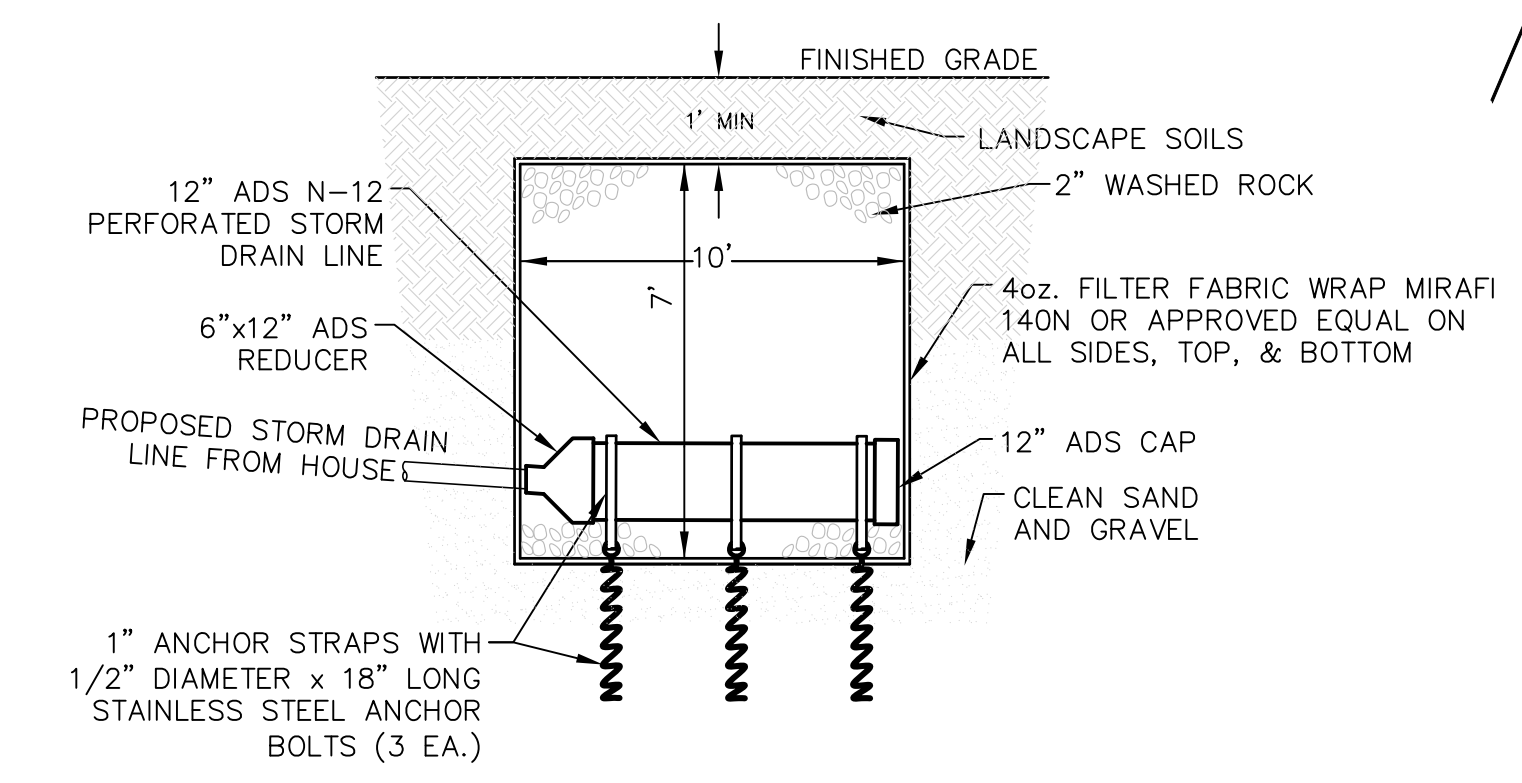


NOTES

- SURVEY PROVIDED BY ALPINE ENTERPRISES, INC., DATED AUGUST 19, 2015.
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC) AND THE CITY OF KETCHUM STANDARD DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE PREVIOUSLY MENTIONED STANDARDS ON SITE DURING CONSTRUCTION.
- ALL CONSTRUCTION WITHIN THE CITY OF KETCHUM RIGHT OF WAY SHALL COMPLY WITH CITY OF KETCHUM RIGHT-OF-WAY STANDARDS, RESIDENTIAL CATEGORY, INCLUDING:
  - MATERIAL WITHIN THE FIRST 8' OF EDGE OF ASPHALT SHALL BE DISTINCT FROM DRIVEWAY TO BE VISUALLY AVAILABLE FOR PARKING.
  - MATERIAL SHALL BE PERVIOUS/PERMEABLE TO ALLOW FOR DRAINAGE.
  - SURFACE MUST ALLOW FOR VEHICLE PARKING AND BE CONSISTENT ALONG ENTIRE PROPERTY FRONTAGE.
  - GRADING AND DRAINAGE AS INDICATED ON THIS PLAN.
  - NO OBSTRUCTIONS, SUCH AS BOULDERS & BERMS ARE ALLOWED.
  - NO BURIED IRRIGATION SYSTEM WITHIN FIRST 8' FROM EDGE OF ASPHALT AND NO POP-UP HEADS ANYWHERE IN RIGHT-OF-WAY.
  - NO LIVE PLANT MATERIAL WITHIN THE FIRST 8' FROM EDGE OF ASPHALT. LOW GROUND COVER IS PERMITTED OUTSIDE OF FIRST 8' FROM EDGE OF ASPHALT.
  - NO SNOW-MELT SYSTEM ANYWHERE IN THE RIGHT-OF-WAY, EXCEPT FOR DRIVEWAY.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) AND APPROPRIATE UTILITY OWNERS TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL THE NECESSARY PERMITS PRIOR TO CONSTRUCTION IF NOT ALREADY OBTAINED BY THE OWNER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER MUTCD STANDARDS.
- ALL TRENCH WORK SHALL CONFORM TO ISPC SECTION 300. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698, AT A UNIFORM MOISTURE CONTENT.
- ALL GRAVITY SEWER WORK SHALL CONFORM TO ISPC SECTION 500. SEWER SERVICE PIPE AND FITTINGS SHALL CONFORM TO ASTM D3034, SDR35 STANDARDS. THE SEWER SERVICE SHALL BE BEDDED WITH 1" MAXIMUM IMPORTED BEDDING MATERIAL TO A DEPTH OF 4" UNDER THE PIPE AND 6" OVER THE PIPE.



INFILTRATION TRENCH (PLAN VIEW)  
N.T.S.



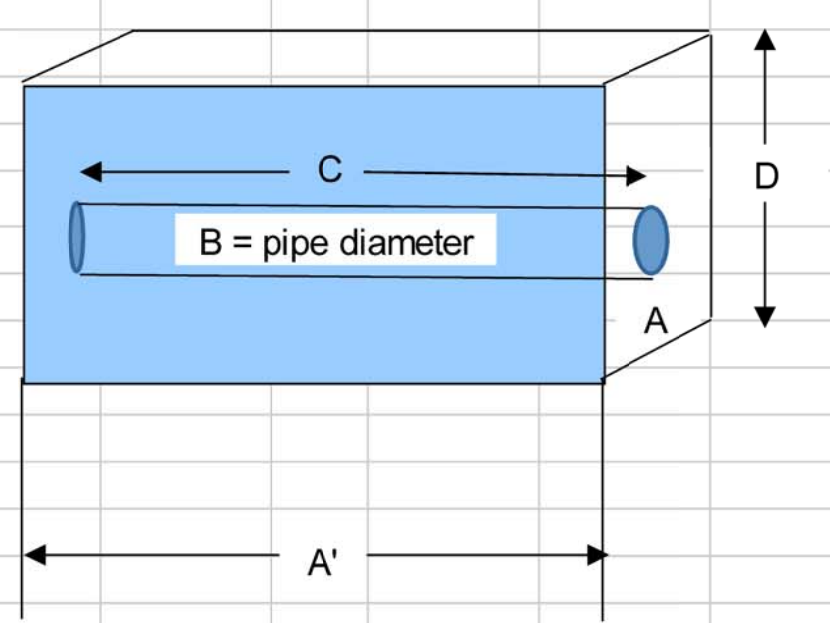
INFILTRATION TRENCH (SIDE VIEW)  
N.T.S.

NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>

INFILTRATION TRENCH SIZING METHODOLOGY

- THE DESIGN CALCULATIONS ARE SHOWN ON THE ADJACENT SPREADSHEET. THE SPREADSHEET IS SETUP AS AN ITERATIVE MODEL WHERE ONE INPUTS THE DIFFERENT PARAMETERS (DESIGN STORM, INFILTRATION RATE, DRYWELL DIMENSIONS, ETC.). THE SPREADSHEET THEN COMPUTES THE STORAGE REQUIRED (BEING THE RUNOFF VOLUME OF THE STORM MINUS THE VOLUME OF WATER THAT PERCOLATES INTO THE GROUND) AND COMPARES THAT TO THE STORAGE PROVIDED. IF THE STORAGE PROVIDED IS LARGER THAN THE STORAGE REQUIRED, THE LAST NUMBER IS LESS THAN ZERO, THE DESIGN PARAMETERS ARE SATISFIED AND THE DRYWELL IS SIZED ADEQUATELY.
- A 1-INCH, 1-HOUR STORM WAS USED FOR THE SIZING CALCULATIONS. DESIGNING TO THIS STORM IS A CONSERVATIVE APPROACH, EXCEEDING THE STANDARDS USED IN THIS GEOGRAPHICAL AREA.
- AN INFILTRATION RATE OF 10 IN/HR WAS USED TO CALCULATE THE AMOUNT OF WATER THAT PERCOLATES DURING THE 1 HOUR STORM.
- THE CALCULATIONS SHOW THAT A 10'x10', 7' DEEP INFILTRATION TRENCH IS SUFFICIENT TO INFILTRATE THE 3,905 SF DRAINAGE AREA.

Owner	Constant Residence (Ketchum)		Computed by	JCL
Project	6917.01		Date	2/11/2016
Project No.	6917.01			
Title	Drywell Sizing (rectangular with horizontal pipe)			
Storm Duration =	1 hr			
Intensity =	1.1 in/hr			
Runoff Coefficient =	0.98			
Runoff Area =	0.090 Acres			
Runoff Area =	3,905 ft <sup>2</sup>			
Drain Bed Voids =	40%			
Infiltration Rate =	10 in/hr			
Drywell Dimensions =				
A =	10 ft			
B =	1 ft			
C =	8 ft			
D =	7 ft			
for rectangle	A' = 10 ft			
	Bottom Area (A <sub>b</sub> ) =	100.00 ft <sup>2</sup>		
	Sidewall Area (A <sub>s</sub> ) =	280.00 ft <sup>2</sup>		
	Volume Rock =	693.72 ft <sup>3</sup>		
	Volume Pipe =	6.28 ft <sup>3</sup>		
	Q <sub>peak</sub> =	C * I * A = 0.10 cfs		
"Runoff" Volume =	Q <sub>peak</sub> * Time =	347.9 ft <sup>3</sup>		
Perc Area =	A <sub>b</sub> * x * A <sub>s</sub>	x = 10%		
Perc Area =	128.00 ft <sup>2</sup>			
Perc Volume =	106.67 ft <sup>3</sup>			
Storage Required = Runoff Volume - Perc Volume	241.23 ft <sup>3</sup>			
Storage Volume = (V <sub>v</sub> * Void Ratio) + V <sub>p</sub>	283.77 ft <sup>3</sup>			
Storage Needed = Storage Volume - Storage Required	42.54 ft <sup>3</sup>	must be greater than zero		



**LEGEND**

- Boundary Line
- Adjoiner's Lot Line
- Centerline Boulevard
- EW = Edge of Water Line
- EOA = Edge of Asphalt Line
- CONC - Concrete Line
- Building/Structure Line
- City Right-of-Way (See Note 3)
- Existing Concrete Wall
- Existing Concrete Wall to be Removed
- 1' Contour
- 5' Contour
- Mean High Water Line Aug. 2015
- Floodway Line - 2010
- Floodplain Line - 100 Year - 2010
- FW - Sewer Main
- FP - Sewer Main
- SWR - Sewer Main
- WTR - Water Main
- Well
- CNTRL = Survey Control
- FND 1/2" = Found 1/2" Rebar
- FND ALU = Found Aluminum Cap
- Deciduous Tree
- Conifer Tree
- WLW = Willow
- Utility Pole
- FF - Finish Floor
- TOC - Top of Concrete
- TOP - Top of Slope
- GS - Ground Shot
- Proposed Building
- Proposed Driveway Surface per Architecture Plans
- Proposed Contour
- Proposed Storm Drain
- Proposed Drywell

ORIGINAL SIGNED BY JEFF C. LOOMIS  
DATE ORIGINAL SIGNED: 03-04-2016

**PROFESSIONAL ENGINEER**  
REGISTERED  
**7986**  
STATE OF IDAHO  
JEFF C. LOOMIS

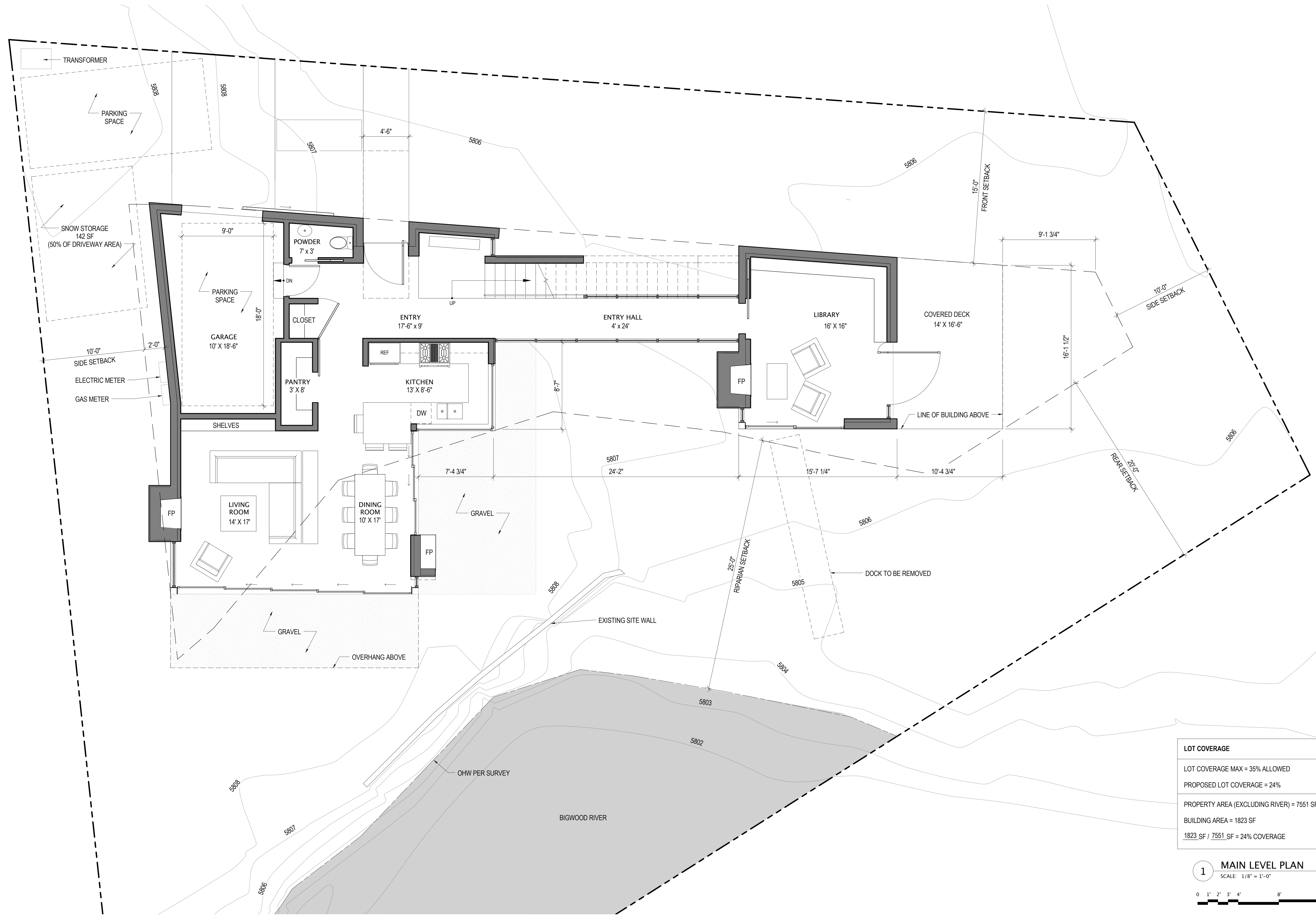
ORIGINAL ON FILE AT OFFICE OF  
GALENA ENGINEERING (HAILEY, ID)

REUSE OF DRAWINGS  
These drawings, or any portion thereof, shall not be used on any project or extension of this project except by permission of the engineer with Galena Engineering, Inc.

GALENA ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
1400 N. River  
Hailey, ID 83433  
(208) 788-1705  
(208) 788-4612 fax  
email galena@galena-engineering.com

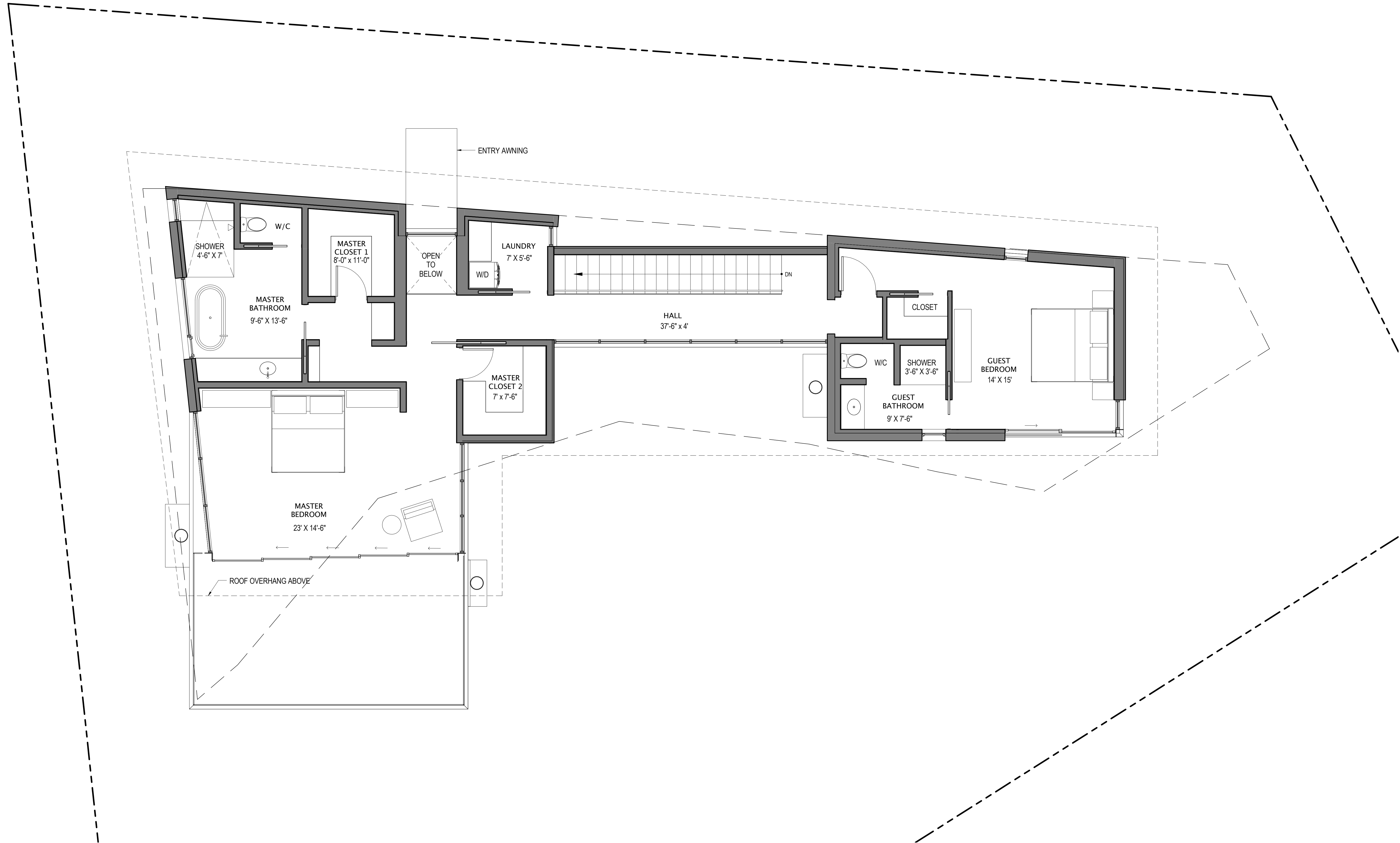
NO	DATE	BY	REVISIONS





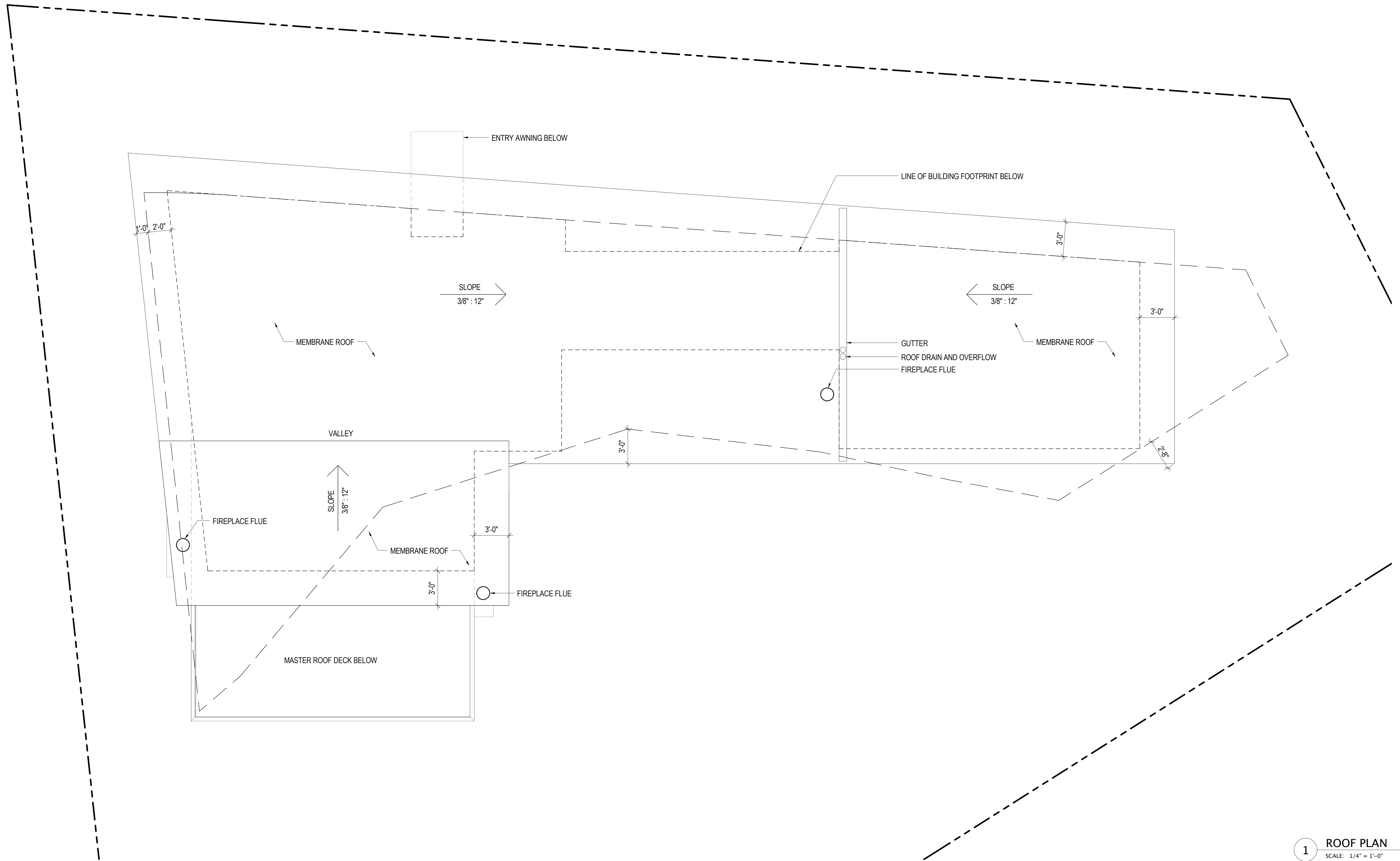
LOT COVERAGE	
LOT COVERAGE MAX =	35% ALLOWED
PROPOSED LOT COVERAGE =	24%
PROPERTY AREA (EXCLUDING RIVER) =	7551 SF
BUILDING AREA =	1823 SF
1823 SF / 7551 SF =	24% COVERAGE

**1 MAIN LEVEL PLAN**  
 SCALE: 1/8" = 1'-0"



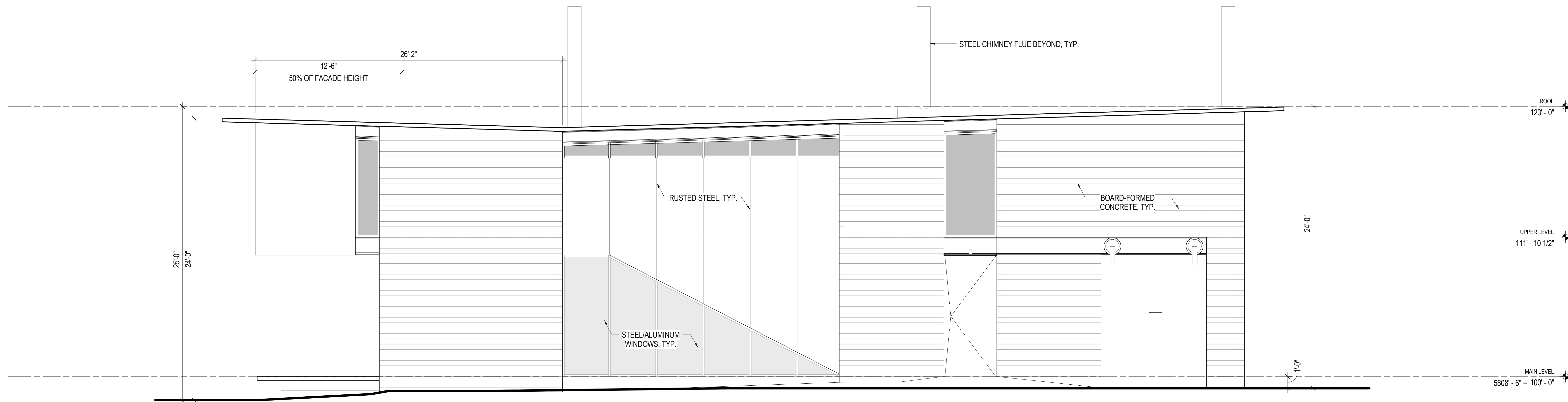
**1** UPPER LEVEL  
 SCALE: 1/4" = 1'-0"  
 0 1' 2' 3' 4' 8' 12'



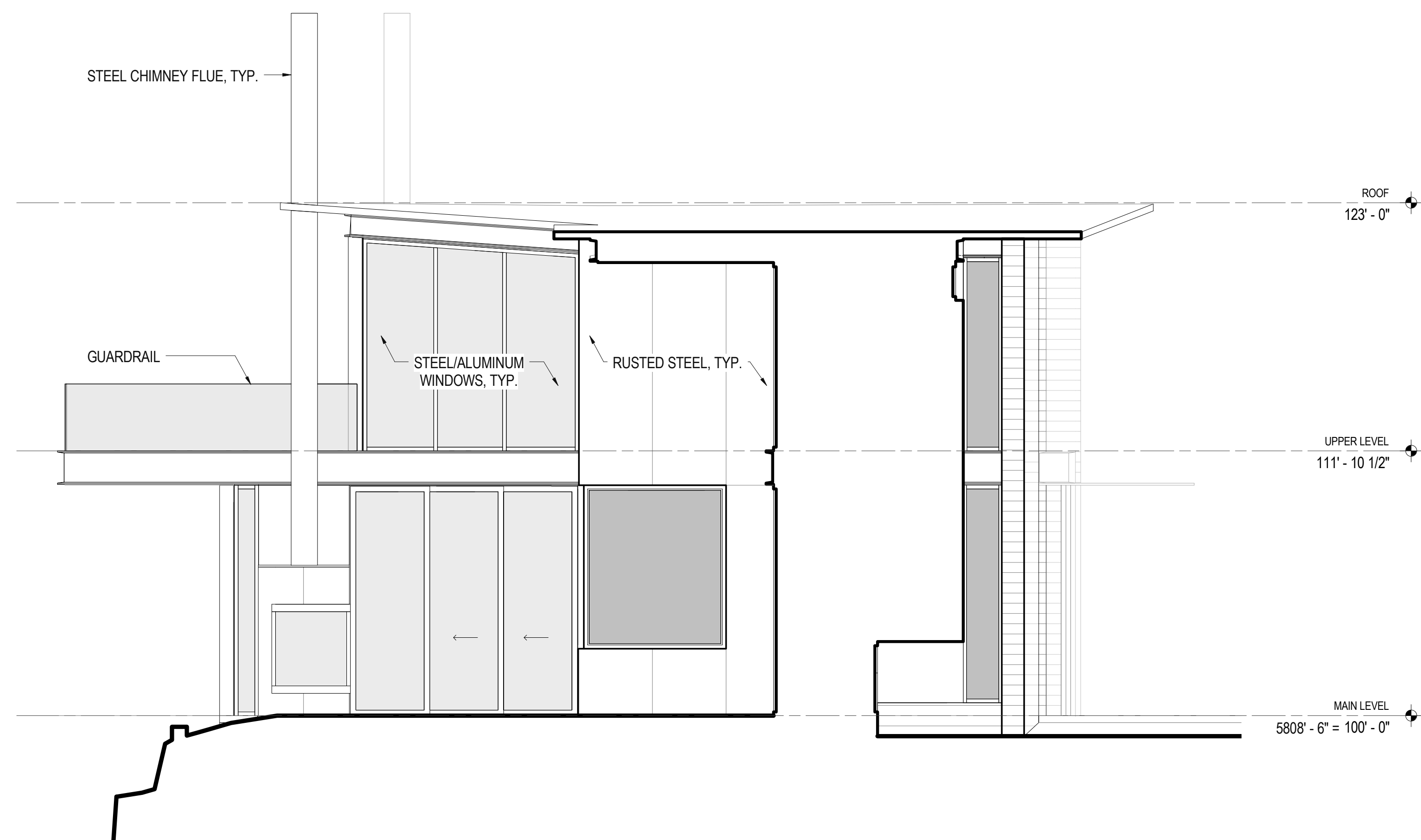


**1 ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

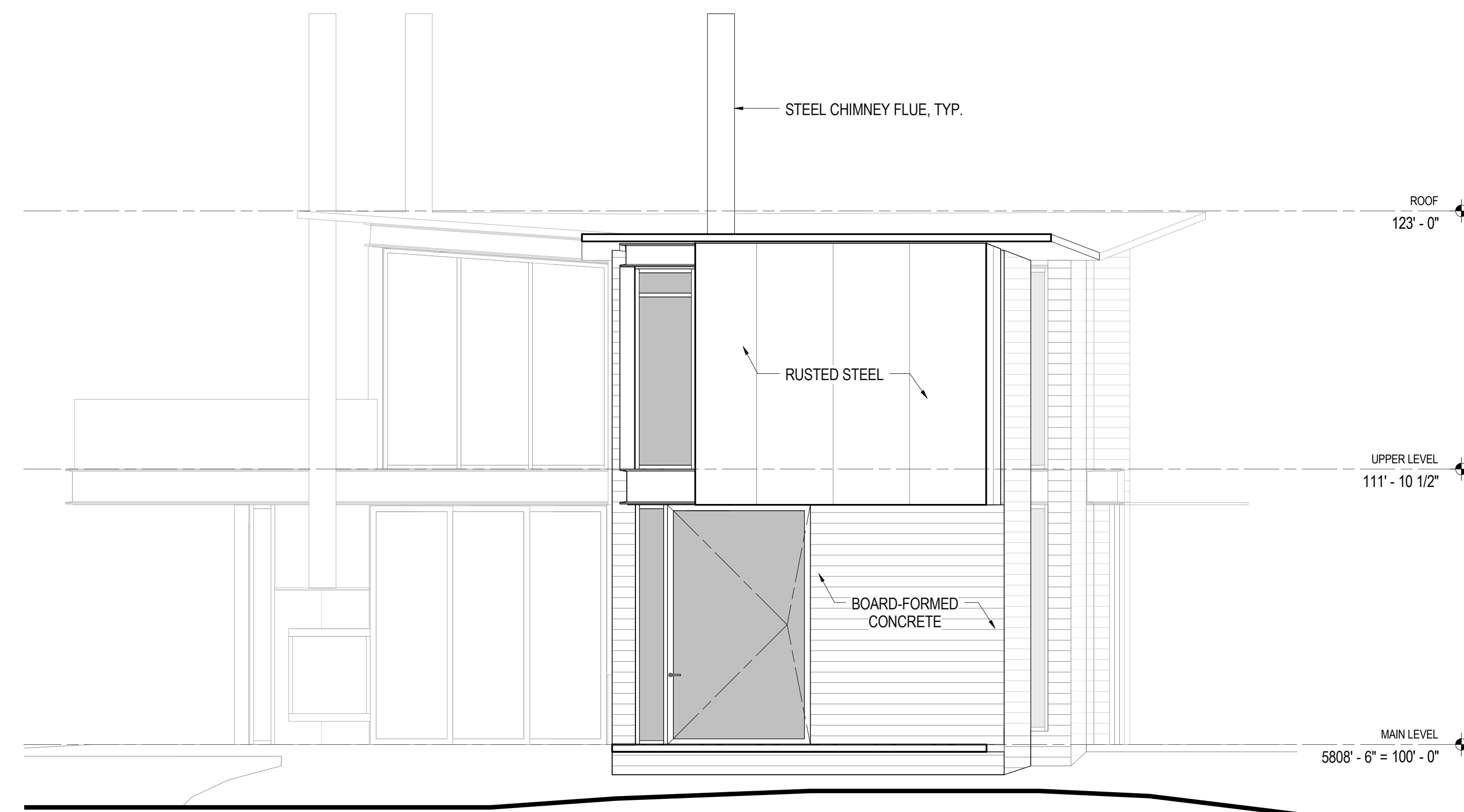




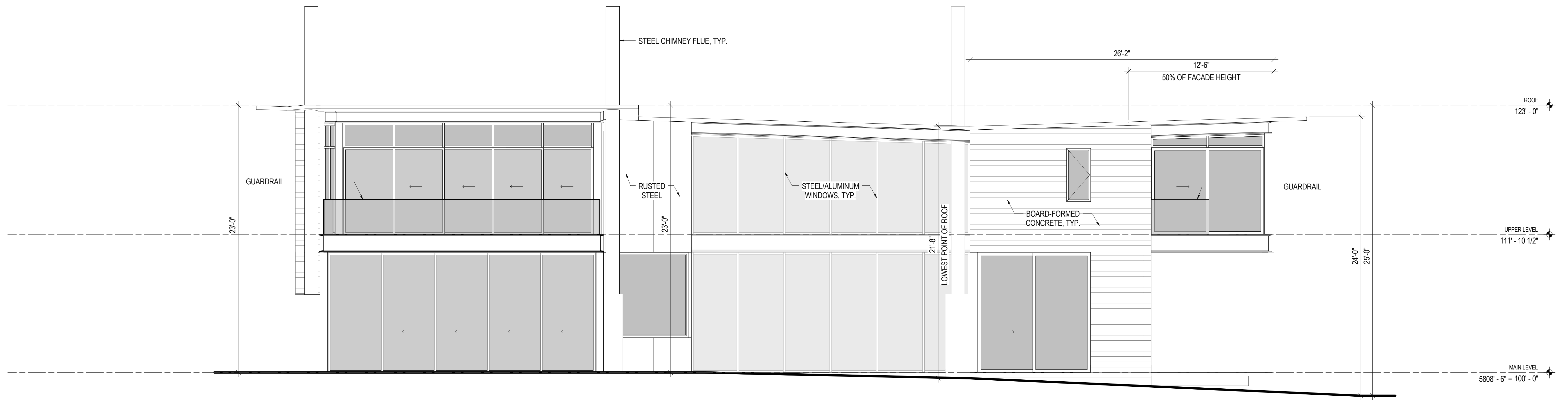
**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



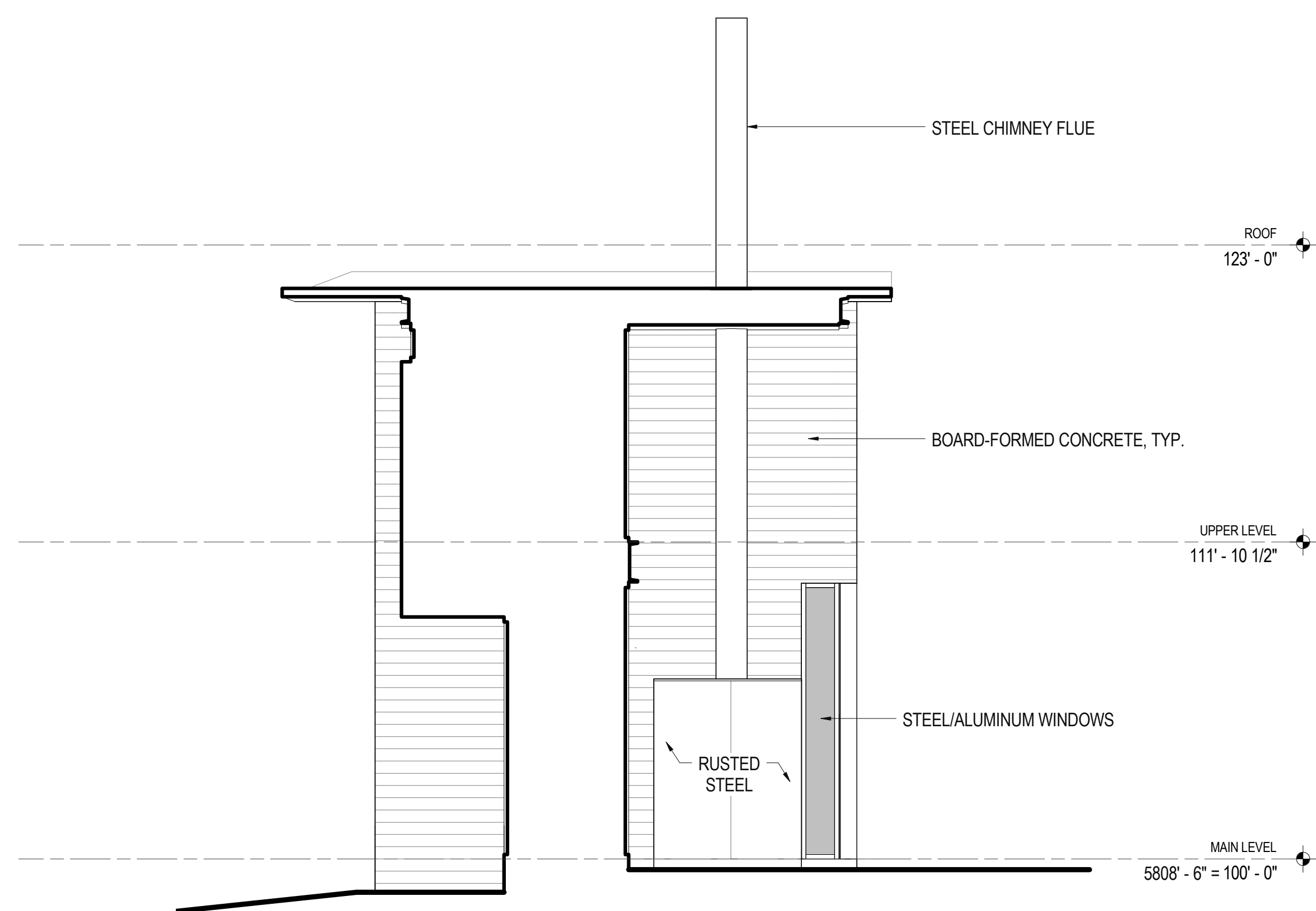
**4 EAST ELEVATION - PARTIAL**  
SCALE: 1/4" = 1'-0"



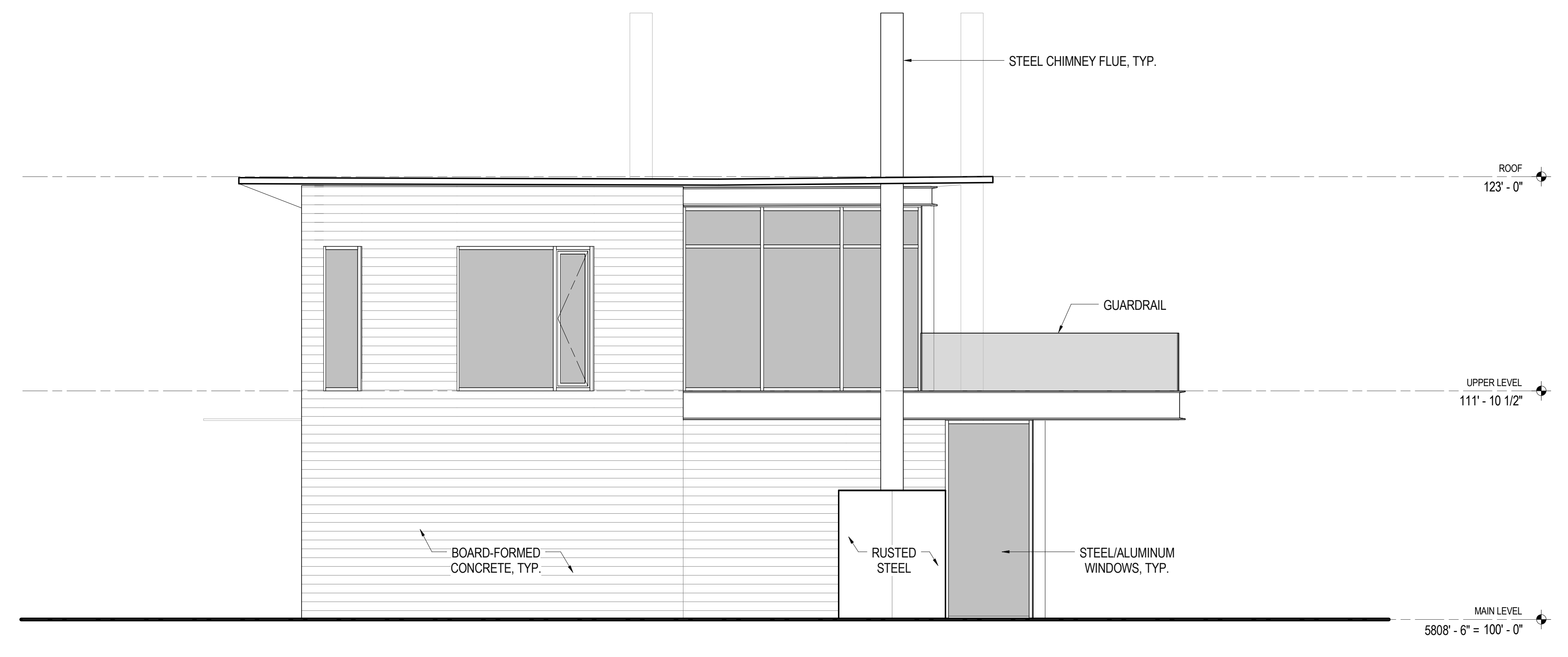
**3 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION - PARTIAL  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

PROPERTY ADDRESS 303 Broadway Blvd.  
Ketchum, ID, 83340

ASSESSOR'S PARCEL NUMBER RPK0550005021A

OWNER Mary Constant

COORDINATE POSITION 43° 41' 8.323" , 114° 22' 40.397"

LEGAL DESCRIPTION SUN VALLEY SUB 1ST ADD REV AM LOT 21A BLK 5 9,010SF

LOT/PARCEL AREA 9,022 sf - 0.21 acres

APPLICABLE BUILDING CODES 2012 International Building Code including appendices A, B, C, E, I and J  
2012 International Energy Conservation Code including appendix  
2012 International Existing Building Code  
2012 International Property Maintenance Code  
2012 International Residential Code parts I-IV and IX, Appendices D, E, F, G, H, J, K, and M included

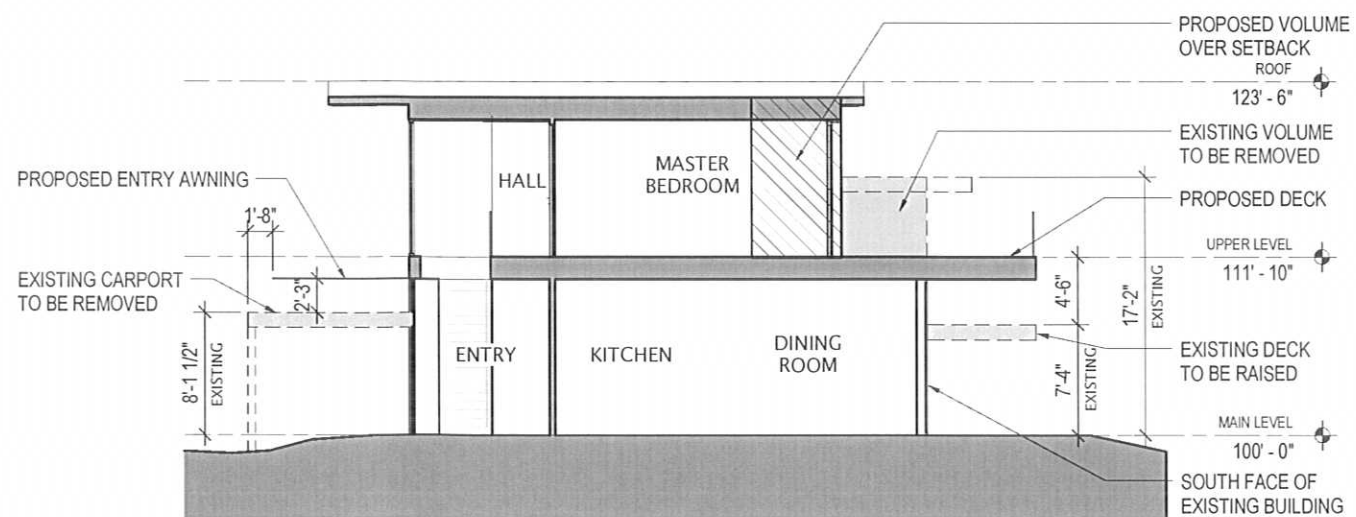
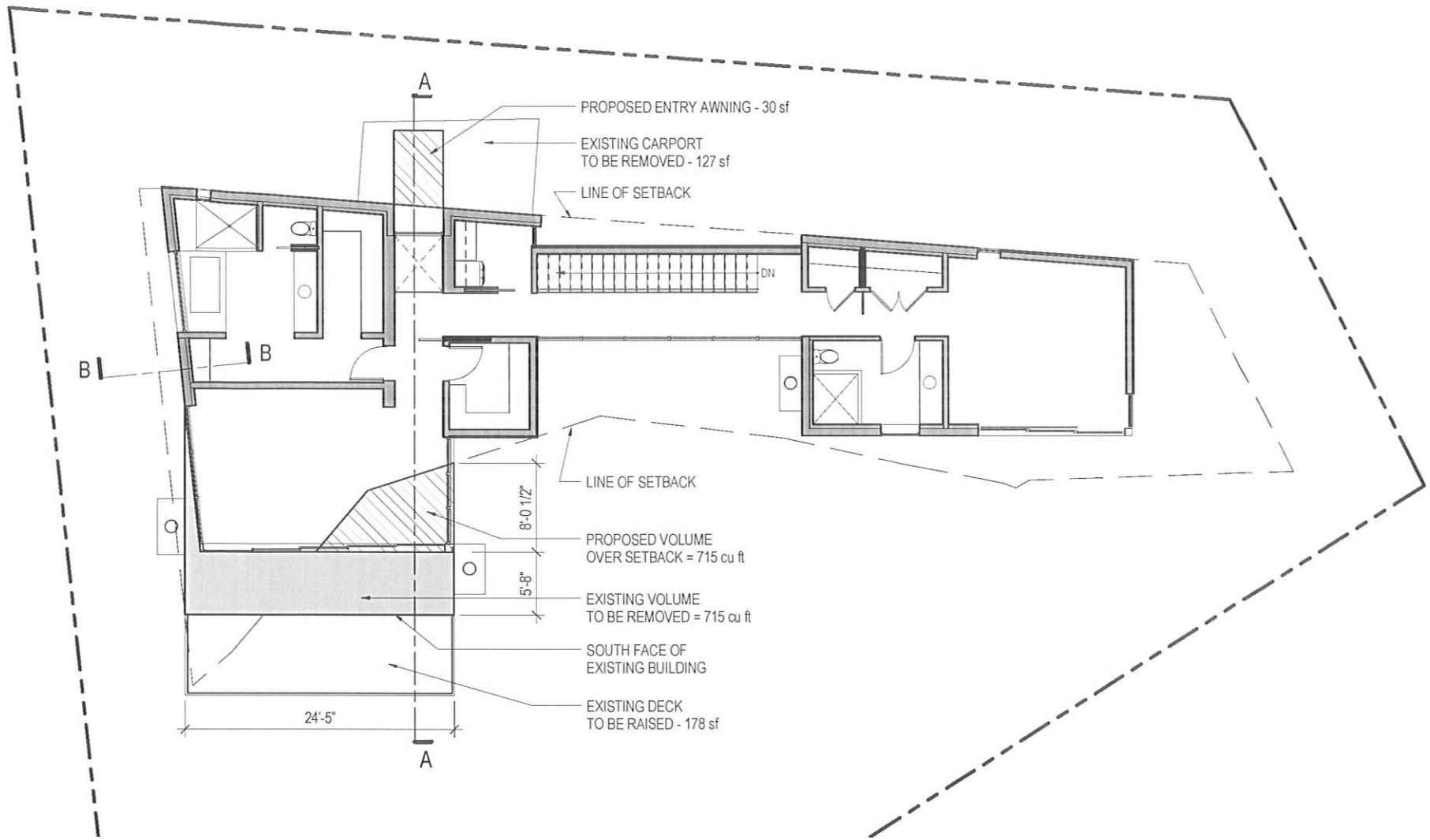
AUTHORITY HAVING JURISDICTION City of Ketchum, ID

ZONING LR  
Floodplain Management/Riparian Overlay  
50% of floor and walls of existing non-conforming structure shall remain unless condemned.

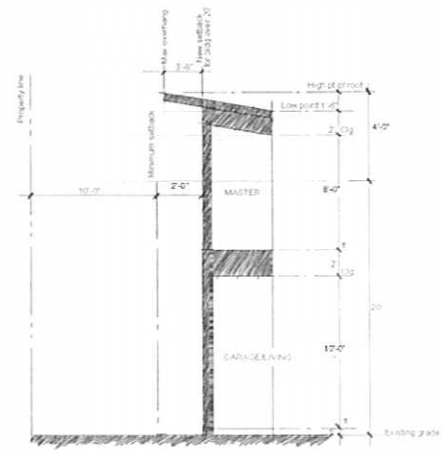
HEIGHT 20' from lowest grade. Additional height allowed if side setbacks are increased.

YARD SETBACKS Front: 15'  
Side: 10'  
The greater of 1' for every 2' in building height  
Rear: 25' from OHW (Riparian Zone)

LOT COVERAGE 35% of lot area



SECTION A



SECTION B

CODE REVIEW



1



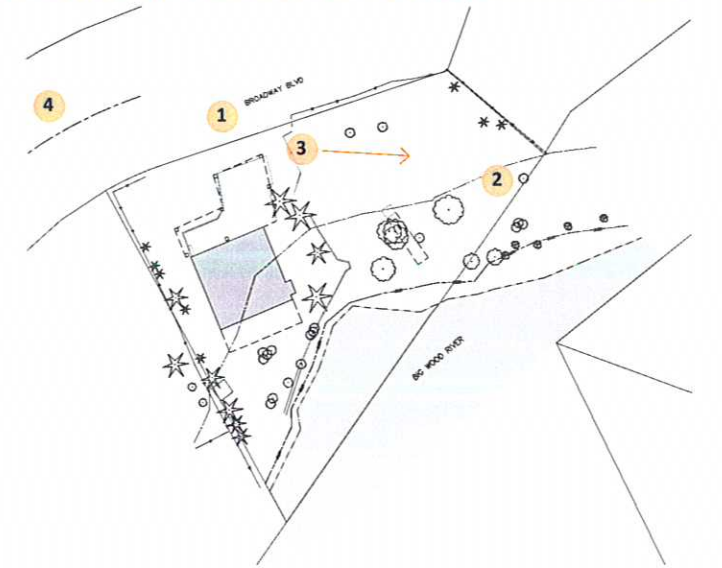
2



3

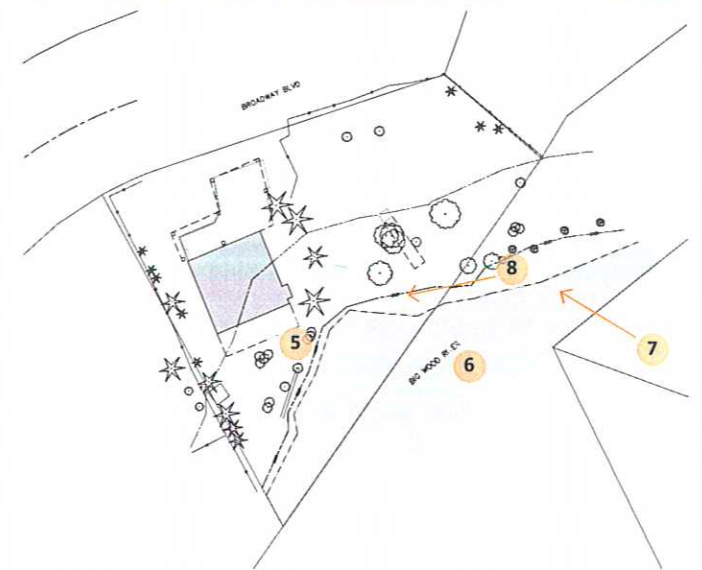
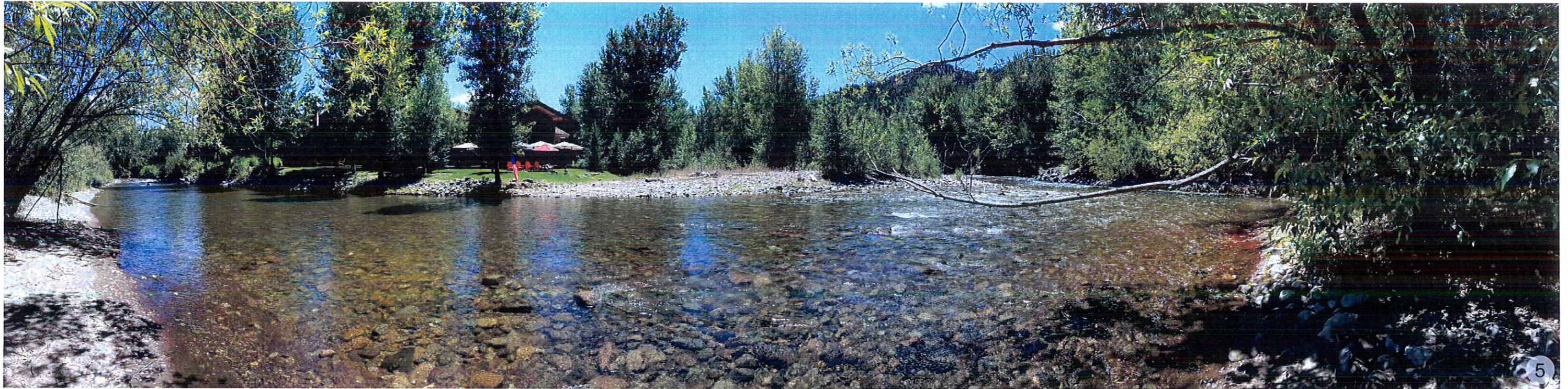


4



- 1 VIEW OF SITE FROM BROADWAY BLVD
- 2 VIEW OF EXISTING STRUCTURE FACING SW
- 3 VIEW FROM EXISTING STRUCTURE FACING NE
- 4 VIEW OF SITE FROM BROADWAY BLVD

# SITE PHOTOGRAPHY

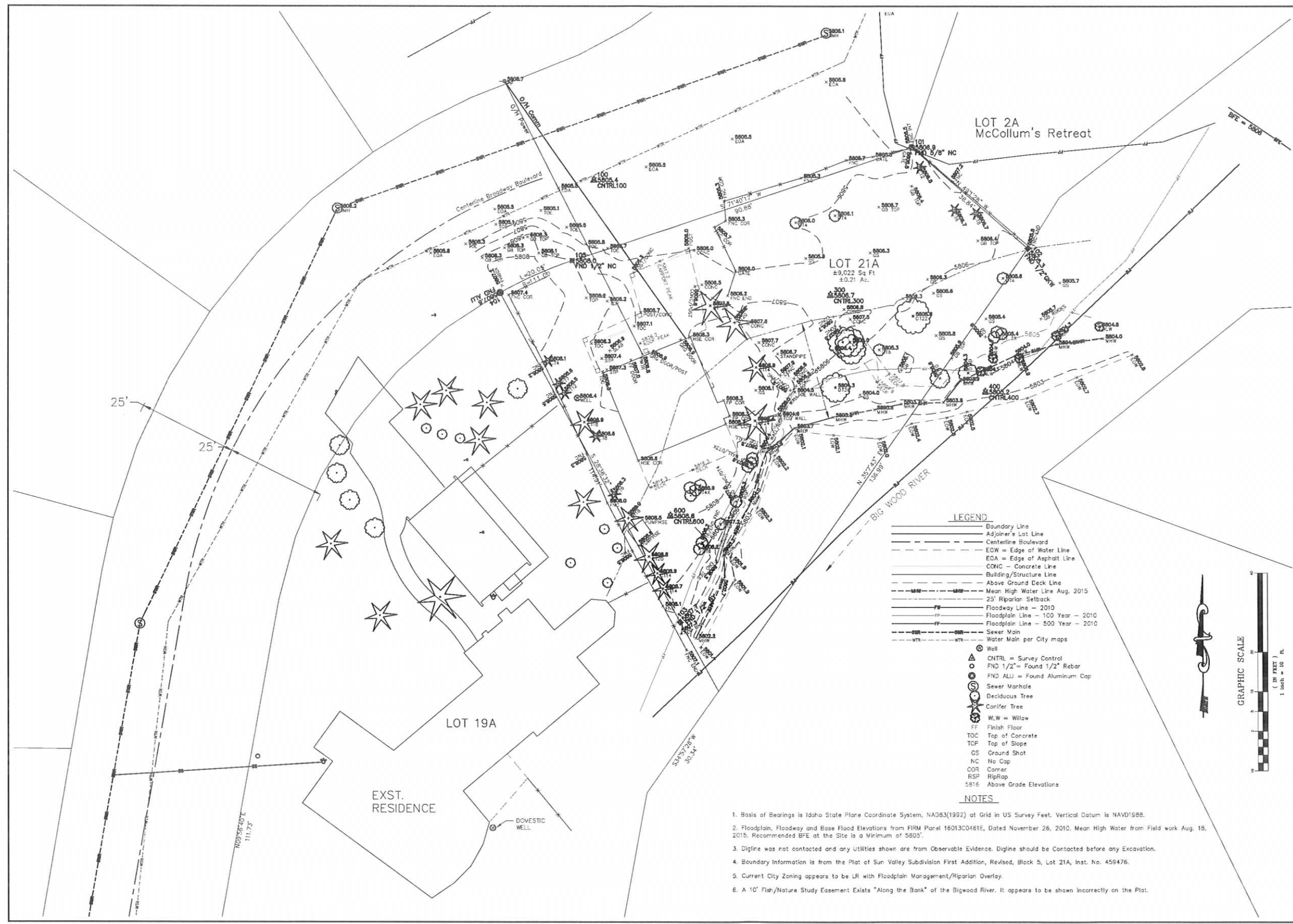


- 5 VIEW OF BIG WOOD RIVER FACING SOUTH
- 6 VIEW OF EXISTING STRUCTURE FROM RIVER
- 7 VIEW OF SITE FROM ACROSS RIVER
- 8 VIEW OF EXISTING STRUCTURE FROM RIVER BANK

CONSTANT RESIDENCE

31 DECEMBER 2015

SITE PHOTOGRAPHY



- LEGEND**
- Boundary Line
  - Adjoiner's Lot Line
  - Centerline Boulevard
  - EW = Edge of Water Line
  - ECA = Edge of Asphalt Line
  - CCNC - Concrete Line
  - Building/Structure Line
  - Above Ground Deck Line
  - Mean High Water Line Aug. 2015
  - 25' Riparian Setback
  - Floodway Line - 2010
  - Floodplain Line - 100 Year - 2010
  - Floodplain Line - 500 Year - 2010
  - Sewer Main
  - Water Main per City maps
  - Well
  - CNTRL = Survey Control
  - △ FND 1/2" = Found 1/2" Rebar
  - FND ALU = Found Aluminum Cap
  - Sewer Manhole
  - Deciduous Tree
  - Conifer Tree
  - W.W = Willow
  - FF Finish Floor
  - TOC Top of Concrete
  - TCP Top of Slope
  - GS Ground Shot
  - NC No Cap
  - COR Corner
  - RSP RipRap
  - 5816 Above Grade Elevations

- NOTES**
1. Basis of Bearings is Idaho State Plane Coordinate System, NAD83(1992) at Grid in US Survey Feet. Vertical Datum is NAVD1988.
  2. Floodplain, Floodway and Base Flood Elevations from FRM Panel 16013C0461E, Dated November 26, 2010. Mean High Water from Field work Aug. 15, 2015. Recommended BFE at the Site is a Minimum of 5805'.
  3. Digline was not contacted and any utilities shown are from Observable Evidence. Digline should be Contacted before any Excavation.
  4. Boundary Information is from the Plat of Sun Valley Subdivision First Addition, Revised, Block 5, Lot 21A, Inst. No. 455476.
  5. Current City Zoning appears to be LR with Floodplain Management/Riparian Overlay.
  6. A 10' Fish/Nature Study Easement Exists "Along the Bank" of the Bigwood River. It appears to be shown incorrectly on the Plat.

PROJECT PATH AND PRINT DATE: U:\LandProjects\2004\1468\_SVS\Sub1stAddRev\blks\121A.dwg\1468\_Site\_Aug2015.dwg 8/19/2015 6:07:51 PM MDT

Alpine Enterprises Inc.  
Surveying, Mapping, and Natural Hazards Consulting  
280 Rivers Street East, Lower Level  
P.O. Box 2037, Ketchum, ID 83340 USA  
(208) 727-1988 727-1987 fax  
email: bamth@alpineenterprisesinc.com

PLS7048\_198015

NO	DATE	BY

Sheet 1 of 1

CONSTANT RESIDENCE  
31 DECEMBER 2015

SITE SURVEY

**Attachment B:  
Public Tree Removal Request Report, Jennifer Smith, City Arborist,  
dated March 9, 2016.**



February 10, 2016

Lee Gilman Builders  
Attn: Wes Powell wes@leegilman.com  
P.O. Box 5348  
Ketchum, ID 83340

Re: Assessment of Existing Residential Structure located at 303 Broadway, Ketchum, Idaho

On January 13, 2016 I met at the above referenced residence with Wes Powell of Lee Gilman Builders to assess the structural integrity of the existing structure and foundation. I later revisited the site to review the footing excavated by Lee Gilman Builders. I have since reviewed the Non-Destructive Evaluation Report by Materials Testing & Inspection dated February 8, 2016 regarding the structures concrete foundation and concrete first floor walls and their steel reinforcement (re-bar).

The existing structure, constructed around 1963, consists of cast in place concrete footings, first floor concrete slab, first floor concrete walls supporting a wood frame second floor, wood frame 2x4 second floor walls and wood frame roof structure. There is a concrete block chimney on the east wall and a wood frame carport on the street side. I defer to the report by MTI for further description of the concrete and masonry.

The wood frame roof structure is substantially overstressed when calculated with the snow loads currently prescribed by the City of Ketchum's ordinances. The roof overhangs showed signs of rot as did the second floor deck (pictures 1 & 2). While on site, a hole was made in the concrete block chimney and no concrete grout or re-bar was observed. Some cracking was observed in the concrete walls (picture 3). The carport was in poor condition with a visible lean and sagging in the structural members (picture 4).

The report by MTI concluding that there was no vertical rebar in concrete walls, no vertical rebar attaching the concrete walls to the footings, minimal horizontal re-bar in the walls and the concrete compressive strength is well below current standards. Based on the MTI report the foundation does not meet current building code structural requirements and I do not recommend utilizing the concrete walls or foundation in a remodel or addition. By observation and the MTI report the chimney is ungrouted and unreinforced and does not meet current building code structural requirements and I feel is unsafe. The rotting wood frame portions of the structure need repair or replacement. The roof structure needs reinforcement to meet current building code requirements. I believe the carport is unsafe as it stands today and full replacement is recommended.

In my opinion, giving the age, the minimal reinforcing steel, the size of the structural members and poor overall condition very little of the existing structure could be utilized in a remodel or addition given current building code requirements. Please don't hesitate to contact me if you have any questions or require additional information.

Sincerely,



Matt P. Morell P.E.  
Morell Engineering, P.C

Attachments: pictures 1,2,3,4,





**PHOTO 1**



**PHOTO 2**



**PHOTO 3**



**PHOTO 4**

**Attachment C:  
Public Comment**

None to date



City of Ketchum  
Planning & Building

March 14, 2016

Planning and Zoning Commission  
City of Ketchum  
Ketchum, Idaho

Commissioners:

**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**REGULAR MEETING OF MARCH 14, 2016**

**PROJECT:** McCallum Residence Floodplain Development Permit and Waterways Design Review

**FILE NUMBER:** 16-009

**OWNERS:** Robert and Deborah McCallum

**REQUEST:** Floodplain Development Permit and Waterways Design Review for a remodel/addition to an existing home

**LOCATION:** 420 East River Street (FR of Block 84, Taxlot 8365)

**NOTICE:** The following notice was mailed to adjacent property owners were mailed notice on Tuesday, March 1, 2016:

<b>Site Visit Date:</b>	March 14, 2016
<b>Site Visit Time:</b>	5:00 PM
<b>Site Visit Location:</b>	420 East River Street, Ketchum, Idaho
<b>Meeting Date:</b>	March 14, 2016
<b>Meeting Time:</b>	5:30 PM, or thereafter as the matter can be heard.
<b>Meeting Location:</b>	City Hall Council Chambers, 480 East Avenue North, Ketchum, Idaho
<b>Project Name:</b>	McCallum Residence
<b>Project Location:</b>	420 East River Street, Ketchum, Idaho (Ketchum Townsite, FR of Block 84, TL 8365)
<b>Applicant:</b>	Robert and Deborah McCallum
<b>Representative:</b>	Michael Mattias
<b>Application Type:</b>	Waterways Design Review/Floodplain Development Permit
<b>Project Description:</b>	The Commission will consider and take action on an application for a Waterways Design Review and Floodplain Development Permit for an addition/remodel on the property.

- ZONING:** General Residential (GR-L) with Limited Residential (LR) along the southern property line
- OVERLAYS:** Floodplain (FP)
- REVIEWER:** Rebecca F. Bundy, Senior Planner / Building and Development Manager

**ATTACHMENTS:**

- A. Applicant's Submittal
- Application, dated February 10, 2016
  - Addendum 1 response
  - Plan set
    - Sheet C1 Site Survey, dated November 3, 2015
    - Sheet 1 Floor Plan, dated November 3, 2015
    - Sheet 2 Elevations, dated November 3, 2015
    - Sheet 3 Sections, dated November 3, 2015
    - Sheet 4 Structural Drawings, dated November 3, 2015
  - Construction estimate, dated February 10, 2016
  - Appraisal, Chandler Appraisal, dated July 1, 2015
  - Elevation Certificate, Sean Flynn P.E., dated February 19, 2016
- B. Substantial Improvement Determination, dated March 9, 2016
- C. Public Comment – None to date

**STAFF RECOMMENDATION**

Based on the items submitted to date, staff recommends approval of the McCallum Residence Floodplain Development Permit/Waterways Design Review application, subject to conditions 1 – 12 below.

**STAFF ANALYSIS**

1. The applicant is requesting Floodplain Development Permit and Waterways Design Review approval for a remodel/addition to an existing home on the subject property. The property is located on Trail Creek and contains riparian setback as well as regulatory floodplain.
2. The existing home on the subject property consists of a structure permitted in 1980 that was built between and over two (2) existing old cabins on the site. Staff has reviewed the approved building permit for that structure, but no other documentation from that time are on record. The cabins predate the City's first floodplain code, which was adopted in 1978. That code did not contain riparian setback provisions. The existing home was built partially in the 1977 FIRM floodplain and is partially located in the current regulatory floodplain, as well as the riparian setback.
3. Per the National Flood Insurance Program (NFIP) regulations and the provisions of the Ketchum Municipal Code, Chapter 17.88 Floodplain Management Overlay Zoning District, staff has performed a substantial improvement determination for all proposed construction. (See Attachment B, Substantial Improvement Determination.) This project has been determined to not constitute substantial improvement, as the value of the proposed improvements are less than 50% of the appraised value of the structure. Therefore, the existing structure is not required to be brought into conformance with current NFIP or the provisions of the current Floodplain Overlay Management District code. As a condition of approval, prior to signing of the Findings of Fact, the applicant shall submit a revised, signed and dated cost estimate and Substantial Improvement Affidavit documenting that the substantial improvement threshold has not been

reached. In addition, upon completion of the proposed improvements, the applicant shall provide final project accounting to document that the project as constructed did not constitute substantial improvement.

4. The westernmost cabin has since been removed and the area under that roof was converted to a garage. The applicant is currently proposing to demolish the easternmost cabin and to infill under the existing second story/roof structure with a new great room. In addition, a mechanical/laundry room is proposed in the garage. An exterior stair, concrete landing and shed that are in the riparian setback and extend onto the neighboring property to the east are proposed to be removed.

5. There is no record of a building permit for the garage subfloor, so staff does not consider it to be a permitted structure and it will be required to meet current code. The garage floor and crawlspace are entirely below the Base Flood Elevation (BFE). Per Ketchum Municipal Code (KMC), Section 17.88.060.A.2, "All structural and nonstructural building materials utilized at or below the base flood elevation must be flood resistant." The applicant has agreed to remove all building materials that are not flood resistant and to replace the crawlspace with a concrete slab on grade. As a condition of approval, all structural and nonstructural building materials utilized for the garage floor below the BFE shall be flood resistant. The applicant shall submit revised drawings to the floodplain administrator for review and approval prior to signing of the Findings of Fact for this application.

6. The applicant is proposing a mechanical/laundry room in the garage portion of the building which will need to be elevated to or above the BFE. Therefore, as a condition of approval, the floor of the mechanical/laundry room shall be elevated to or above the BFE of 5811.1, as noted on the elevation certificate. (See Attachment A, Elevation Certificate.) In addition, all structural and nonstructural building materials utilized for the mechanical room floor below the BFE must be flood resistant. The applicant shall submit revised drawings to the floodplain administrator for review and approval prior to signing of the Findings of Fact for this application.

7. The easternmost cabin structure has no foundation or roof, is in deteriorated condition. The applicant proposes to demolish the existing cabin structure and to rebuild it within the footprint of the existing second story and its supporting wood posts. The new structure will not encroach into the riparian setback any further than the existing cabin. Therefore, there is no increase in the degree of nonconformity with respect to the riparian setback.

8. Staff has consulted FEMA P-758 Substantial Improvement/Substantial Damage Desk Reference, May 2010, for guidance as to how to regulate the proposed great room addition. Per Table 6-1a Compliance Matrix (A Zones), a lateral addition to the pre-FIRM cabin or repair of its foundation would not be required to be in compliance with NFIP regulations. However, since the proposal involves demolition of the existing cabin, Staff has determined that the proposed addition should be considered a lateral addition to a post-FIRM building and is, therefore, subject to the following requirements from Table 6-1a for a lateral addition, not SI: "Addition required to be elevated to at least the elevation of the existing floor." However, the floor of the existing home is four tenths (.4) of a foot below the BFE, and the NFIP requires that the lowest floor of the building shall be elevated to or above the BFE. The applicant has agreed to construct the great room addition on a concrete slab on grade elevated to or above the BFE. Therefore, as a condition of approval, the floor of the great room, including the new bath room, shall be elevated to or above the BFE of 5811.1, as noted on the elevation certificate. (See Attachment A, Elevation Certificate.) In addition, all structural and nonstructural building materials utilized for the garage floor below the must be flood resistant. The applicant shall submit revised drawings to the floodplain administrator for review and approval prior to signing of the Findings of Fact for this application.

9. The KMC requires that any fully enclosed areas below the lowest floor that are subject to flooding are prohibited, or shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing

for the entry and exit of floodwaters and shall meet the requirements of KMC, Section 17.88.060.B.2. This section includes the standards governing flood vents. As a condition of approval, fully enclosed areas below the lowest floor that are subject to flooding are prohibited, or shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters and shall meet the requirements of KMC, Section 17.88.060.B.2. This includes any crawlspaces and the garage. The applicant shall submit revised drawings to the floodplain administrator for review and approval prior to signing of the Findings of Fact for this application.

General Requirements for all FPDP Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.C	Complete Application
				<b>Fire Department</b> <input type="radio"/> <i>No comment.</i>
				<b>Public Works</b> <input type="radio"/> <i>Streets – No comment.</i>
				<b>City Arborist</b> <input type="radio"/> <i>No comment.</i>
				<b>Building Official</b> <input type="radio"/> <i>No comment.</i>
				<b>Police</b> <input type="radio"/> <i>No comment.</i>

Compliance with Zoning District and Overlay Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Setbacks</b>
			<i>Staff Comments</i>	<i>Proposed: No change.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Building Height</b>
			<i>Staff Comments</i>	<i>27 feet. No change.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Maximum Building Coverage</b>
			<i>Staff Comments</i>	<i>18%. No change.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090.M	<b>Curb Cut</b>
			<i>Staff Comments</i>	<i>No change.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090.A.1	<b>Parking Spaces</b>
			<i>Staff Comments</i>	<i>2. No change.</i>



Floodplain Design Review Requirements				
EVALUATION STANDARDS: 17.88.050(E)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)1 FLOODPLAIN DEVELOPMENT /WATERWAYS DESIGN REVIEW	Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.
			<i>Staff Comments</i>	<i>No further encroachment into the riparian setback is proposed. The riparian setback and stream bank are, for the most part, naturalized. No development is proposed in the river channel.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)2	Preservation or enhancement of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty-five (25) foot setback or riparian zone. No construction activities, encroachment or other disturbance into the twenty five foot (25') riparian zone shall be allowed at any time without written City approval per the terms of this ordinance.
			<i>Staff Comments</i>	<i>No further encroachment into the riparian setback is proposed. The proposed great room will be built on the footprint of the existing cabin within the riparian setback and within the footprint of the existing building. The existing riparian vegetation will be undisturbed with the exception of excavation and backfill to construct the great room addition. In addition, the existing exterior stair, concrete landing and shed in the riparian setback shall be removed. As a condition of approval, prior to signing of the Findings of Fact, the applicant shall submit a revegetation plan for all disturbed areas for review and approval by the floodplain administrator.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060€3	No development other than development by the City of Ketchum or development required for emergency access shall occur within the twenty-five (25) foot riparian zone with the exception of approved stream stabilization work. The Planning and Zoning Commission may approve access to property where no other primary access is available. Private pathways and staircases shall not lead into or through the riparian zone unless deemed necessary by the Planning and Zoning Commission.
			<i>Staff Comments</i>	<i>The proposed great room will be built on the footprint of the existing cabin within the riparian setback and within the footprint of the existing building. There will be no increase in the existing, nonconforming riparian setback encroachment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060€4	Plan and time frame are provided for restoration of riparian vegetation damaged as a result of the work done.
			<i>Staff Comments</i>	<i>The applicant has agreed to provide a plan and schedule for restoration of riparian vegetation. As a condition of approval, prior to signing of the Findings of Fact, the applicant shall submit a revegetation plan for all disturbed areas for review and approval by the floodplain administrator.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)5	New or replacement planting and vegetation includes plantings that are low-growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings include: red osier dogwood, common choke cherry, service berry, elder berry, river birch, skunk bush sumac, beb's willow, drummond's willow, little wild rose, gooseberry, and honeysuckle.
			<i>Staff Comments</i>	<i>As a condition of approval, prior to signing of the Findings of Fact, the</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				<i>applicant shall submit a revegetation plan for all disturbed areas for review and approval by the floodplain administrator.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)6	Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Flood water carrying capacity is not diminished by the proposal. Surface drainage is controlled and does not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms are designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.
			<i>Staff Comments</i>	<i>No change is proposed to the existing driveway location or configuration. The driveway is located on the upland side of the home, outside of the floodplain.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)7	Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.
			<i>Staff Comments</i>	<i>The proposed project reduces the amount of structure in the floodplain and riparian setback by removing the exterior stair, concrete landing and shed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)8	Building setback in excess of minimum required along waterways is encouraged.
			<i>Staff Comments</i>	<i>The existing building predates the riparian setback requirements. The proposed work does not increase the degree of nonconformity.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)9	The top of the lowest floor of a building located in the 1% annual chance floodplain shall be a minimum of twenty-four inches (24") above the base flood elevation of the subject property.
			<i>Staff Comments</i>	<i>This project has been determined to not constitute substantial improvement, as the value of the proposed improvements are less than 50% of the appraised value of the structure. Therefore, the existing structure is not required to be brought into conformance with current NFIP or Ketchum Municipal Code requirements. As a condition of approval, upon completion of the proposed improvements, the applicant shall provide final project accounting to document that the project did not constitute substantial improvement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)10	The back fill used around the foundation in the floodplain provides a reasonable transition to existing grade, but is not used to fill the parcel to any greater extent. Compensatory storage shall be required for any fill placed within the floodplain. A LOMA-F shall be obtained prior to placement of any additional fill in the floodplain.
			<i>Staff Comments</i>	<i>No fill is proposed in the floodplain. As a condition of approval, the backfill in the floodplain shall be limited to back fill of the foundation to provide a reasonable transition to existing grade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)11	All new buildings shall be constructed on foundations that are approved by a licensed professional engineer.
			<i>Staff Comments</i>	<i>As a condition of approval, at application for a building permit, stamped, engineered structural plans for the engineered foundation shall be submitted as part of the building permit application.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)12	Driveways comply with effective Street Standards; access for emergency vehicles has been adequately provided for.
			<i>Staff Comments</i>	<i>No change to the existing driveway is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)13	Landscaping or revegetation conceals cuts and fills required for driveways and other elements of the development.
			<i>Staff Comments</i>	<i>No change to the existing driveway is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)14	(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)15	(Stream Alteration) No increase to the 100-year floodplain upstream or downstream

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
				has been certified by a registered Idaho engineer.
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)16	(Stream Alteration) The recreational use of the stream including access along any and all public pedestrian/fisherman’s easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)17	Where development is proposed that impacts any wetland, first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with a comparable amount and/or quality of new wetland area or riparian habitat improvement.
			<i>Staff Comments</i>	<i>The property contains no identified wetlands, and the proposed work is contained within the footprint of the existing building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)18	(Stream Alteration) Fish habitat is maintained or improved as a result of the work proposed.
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)19	(Stream Alteration) The proposed work is not in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)20	(Stream Alteration) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060.A.1	Anchoring: a. All new construction and substantial improvements shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy.
				<i>The proposed project is not new construction and does not constitute substantial improvement. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.A.2	Construction and Methods: a. All structural and nonstructural building materials utilized at or below the base flood elevation must be flood resistant. Flood damage resistant materials must be used for all building elements subject to exposure to floodwaters, including floor joists, insulation, and ductwork. If flood damage resistant materials are not used for building elements, those elements must be elevated above the base flood elevation. This requirement applies regardless of the expected or historical flood duration. b. All new construction and substantial improvements shall be constructed using methods and practices that minimize flood damage. c. Electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities shall be designed and/or otherwise elevated or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
			<i>Staff Comments</i>	<i>The proposed project is not new construction and does not constitute substantial improvement. The following conditions of approval shall apply:</i> <ul style="list-style-type: none"><li><i>All structural and nonstructural building materials utilized by this project at or below the base flood elevation must be flood resistant. Flood damage resistant materials must be used for all building elements subject to exposure to</i></li></ul>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				<p><i>floodwaters, including floor joists, insulation, and ductwork.</i></p> <ul style="list-style-type: none"> <li>• <i>Electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities shall be designed and/or otherwise elevated or located so as to prevent water from entering or accumulating within the components during conditions of flooding.</i></li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060.A.3	<p><b>Utilities:</b></p> <ol style="list-style-type: none"> <li>All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the system;</li> <li>New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharge from the systems into floodwaters; and</li> <li>On site waste disposal systems shall be located to avoid impairment to them or contamination from them during flooding.</li> </ol>
			<i>Staff Comments</i>	<i>No new or replacement water supply, sewer or onsite waste disposal systems re proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.B.2	<ol style="list-style-type: none"> <li>New construction and substantial improvement of any residential structure in any A1-30, AE and AH zone shall have the top of the lowest floor, including basement, elevated a minimum of twenty four inches (24") above the base flood elevation.</li> <li>New construction and substantial improvement of any residential structure in any AO zone shall have the lowest floor, including basement, elevated to or above the highest adjacent grade at least as high as the FIRM's depth number plus twenty four inches (24").</li> <li>Fully enclosed areas below the lowest floor that are subject to flooding are prohibited, or shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters. Designs for meeting this requirement must either be certified by a registered professional engineer or architect or must meet or exceed the following minimum criteria (see figures 1, "Preferred Crawl Space Construction", and 2, "Below Grade Crawl Space Construction", of this section):               <ol style="list-style-type: none"> <li>A minimum of two (2) openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding shall be provided. Openings shall be placed on at least two (2) walls to permit entry and exit of floodwaters.</li> <li>The bottom of each flood vent opening shall be no higher than one foot (1') above the lowest adjacent exterior grade.</li> <li>Openings may be equipped with screens, louvers, or other coverings or devices; provided, that they permit the automatic entry and exit of floodwaters.</li> <li>Portions of the building below the base flood elevation shall be constructed with material resistant to flood damage.</li> <li>The interior grade of a below grade crawl space (see figure 2, "Below Grade Crawl Space Construction", of this section) below the base flood elevation shall not be more than two feet (2') below the lowest adjacent exterior grade.</li> <li>The height of a below grade crawl space, measured from the interior grade of the crawl space to the top of the crawl space foundation wall, shall not exceed four feet (4') at any point.</li> <li>A below grade crawl space shall have an adequate drainage system that removes floodwaters from the interior area of the crawl space within a reasonable time after a flood event.</li> </ol> </li> </ol>
			<i>Staff Comments</i>	<i>This project has been determined to not constitute substantial improvement, as the value of the proposed improvements are less than 50% of the appraised value of the structure. Therefore, the existing structure is not required to be brought into conformance with current NFIP or Ketchum Municipal Code requirements. As a condition of</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				<p><i>approval, upon completion of the proposed improvements, the applicant shall provide final project accounting to document that the project did not constitute substantial improvement.</i></p> <p><i>The following conditions of approval shall apply:</i></p> <ul style="list-style-type: none"> <li><i>Fully enclosed areas below the lowest floor that are subject to flooding are prohibited, or shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters and shall meet the requirements of Ketchum Municipal Code, Section 17.88.060.B.2.</i></li> </ul>

### STAFF RECOMMENDATION

Staff recommends approval of the proposed Floodplain Development Permit/Waterways Design Review, finding that it meets all applicable floodplain management and zoning standards. The Commission should consider the full record of facts and evidence brought forward on this application based on staff reports, applicant information, public comments, and other relevant information. Based on the information presented and received, the following options should be determined:

1. On the whole, this application is in compliance with the floodplain management and zoning ordinances and other adopted or enforced city policies or codes and approve the floodplain development permit/waterways design review request with conditions 1-12 below.
2. On the whole, this application is not in compliance with the floodplain management and zoning ordinances and other adopted or enforced city policies or codes and deny the request for a townhouse final plat because the following standards (Commission to insert reasons for denial).
3. If the Commission is not opposed to the entire application but only with certain aspects of the proposal, the Commission may amend and revise the proposal and/or modify conditions to address their concerns and proceed with approving the t proposed Floodplain Development Permit/Waterways Design Review application.
4. If the Commission does not feel they have all the information they need to make a decision they may require additional information to be brought forth at a future meeting.
5. The Commission may determine some other option based on the information presented at the meeting.

### FOR MOTION PURPOSES

"I move to approve the McCallum Residence Floodplain Development Permit and Waterways Design Review with conditions 1 – 12 below."

"I move to deny the McCallum Residence Floodplain Development Permit and Waterways Design Review because the following standards (Commission to insert reasons for denial)."

**PROPOSED CONDITIONS**

1. Waterways Design Review/Floodplain Development Permit approval shall expire one (1) year from the date of signing of approved Findings of Fact per the terms of KMC, Section 17.88.060.G, Terms of Approval;
2. This Waterways Design Review/Floodplain Development Permit approval is based on the plans, dated November 3, 2015, and information presented and approved at the meeting on the date noted herein. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
3. Pursuant to Chapter 17.88.050.C, no chemicals or soil sterilants are allowed within 100 feet of the mean high water mark. No pesticides, herbicides, or fertilizers are allowed within 25 feet of the mean high water mark unless approved by the City Arborist. All applications of herbicides and/or pesticides within one hundred feet (100') of the mean high water mark, but not within twenty five feet (25') of the mean high water mark, must be done by a licensed applicator and applied at the minimum application rates. Application times for herbicides and/or pesticides will be limited to two (2) times a year; once in the spring and once in the fall unless otherwise approved by the city arborist. The application of dormant oil sprays and insecticidal soap within the riparian zone may be used throughout the growing season as needed;
4. Prior to signing of the Findings of Fact, the applicant shall submit a revised, signed and dated cost estimate and Substantial Improvement Affidavit documenting that the substantial improvement threshold has not been reached. In addition, upon completion of the proposed improvements, the applicant shall provide final project accounting to document that the project as constructed did not constitute substantial improvement.
5. All structural and nonstructural building materials utilized for the garage floor below the BFE shall be flood resistant. The applicant shall submit revised drawings to the floodplain administrator for review and approval prior to signing of the Findings of Fact for this application;
6. The floor of the mechanical/laundry room shall be elevated to or above the BFE of 5811.1, as noted on the elevation certificate. In addition, all structural and nonstructural building materials utilized for the mechanical room floor below the BFE must be flood resistant. The applicant shall submit revised drawings to the floodplain administrator for review and approval prior to signing of the Findings of Fact for this application;
7. The floor of the great room, including the new bath room, shall be elevated to or above the BFE of 5811.1, as noted on the elevation certificate. In addition, all structural and nonstructural building materials utilized for the garage floor below the must be flood resistant. The applicant shall submit revised drawings to the floodplain administrator for review and approval prior to signing of the Findings of Fact for this application;
8. Fully enclosed areas below the lowest floor that are subject to flooding are prohibited, or shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters and shall meet the requirements of KMC, Section 17.88.060.B.2. This includes any crawlspaces and the garage. The applicant shall submit revised drawings to the floodplain administrator for review and approval prior to signing of the Findings of Fact for this application;
9. At application for a building permit, stamped, engineered structural plans for the engineered foundation shall be submitted as part of the building permit application;

10. All structural and nonstructural building materials utilized by this project at or below the base flood elevation must be flood resistant. Flood damage resistant materials must be used for all building elements subject to exposure to floodwaters, including floor joists, insulation, and ductwork;
11. Electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities shall be designed and/or otherwise elevated or located so as to prevent water from entering or accumulating within the components during conditions of flooding; and
12. Prior to signing of the Findings of Fact, the applicant shall submit a revegetation plan for all disturbed areas for review and approval by the floodplain administrator.

**Attachment A:  
Applicant's Submittal**

- Application, dated February 10, 2016
- Addendum 1 response
- Plan set
  - Sheet C1 Site Survey, dated November 3, 2015
  - Sheet 1 Floor Plan, dated November 3, 2015
  - Sheet 2 Elevations, dated November 3, 2015
  - Sheet 3 Sections, dated November 3, 2015
  - Sheet 4 Structural Drawings, dated November 3, 2015
- Construction estimate, dated February 10, 2016
- Appraisal, Chandler Appraisal, dated July 1, 2015
- Elevation Certificate, Sean Flynn P.E., dated February 19, 2016



RECEIVED

FEB 11 2016

CITY OF KETCHUM

File Number: 16-009

FLOODPLAIN MANAGEMENT OVERLAY APPLICATION

Use for:

- Floodplain Development Permit
- Waterways Overlay Design Review
- Stream Alteration Permit

Project Name: McCallum Residence PARCEL # RPK 0000084002A  
 Owner: Robert & Deborah McCallum Phone No.: 2063909361  
 Mailing Address: 18620 94th Ave W Edmonds Washington 98022  
 Email: robertmccallum46@hotmail.com, debbiemccallum@hotmail.com  
 Architect/Representative: Michael Mattias Phone No.: 208 720 3568  
 Mailing Address: PO Box 1733 Hailey Idaho 83313  
 Email: mikeahdesign@gmail.com  
 Engineer of Record: Galena Engineers Engineer Email: GALENA@GALENA-ENGINEERING-COM  
 Floodplain Management Review Fee: \_\_\_\_\_ Date Paid: 2/1/2016  
 Legal Land Description: FR OF BLK 84 TL 5884-9452 SE

Street Address: 420 East River Street, Ketchum, Idaho 83353  
 Lot Area: 8639 Zoning District: GRL CITY Anticipated Use: SINGLE FAMILY RESIDENTIAL

Type Construction: New \_\_\_\_\_ Remodel  Addition \_\_\_\_\_ Other \_\_\_\_\_

	Proposed	Existing
Basements:	<u>0</u>	<u>0</u>
1st Floor:	<u>959</u>	<u>993</u>
2nd Floor:	<u>645</u>	<u>645</u>
3rd Floor:	<u>/</u>	<u>/</u>
Mezzanine:	<u>/</u>	<u>/</u>
Total:	<u>1604</u>	<u>1638</u>

Percent of Building Coverage: 18% Curb Cut: \_\_\_\_\_

Setbacks: Front 32 Side 7 Side 7 Rear 15

Height: 27' Parking Spaces Provided: Garage, 3 others

Will fill or excavation be required? If yes, amount in cubic yards- Fill \_\_\_\_\_ Excavation

Will existing trees or vegetation be removed? Yes \_\_\_\_\_ No

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Floodplain Management Overlay Application in which the City of Ketchum is the prevailing party to pay the reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum.

I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner: [Signature] Date: 2.10.2016

Approved/Denied: \_\_\_\_\_ Date: \_\_\_\_\_

**CERTIFIED COMPLETE**

2/11/16 KO

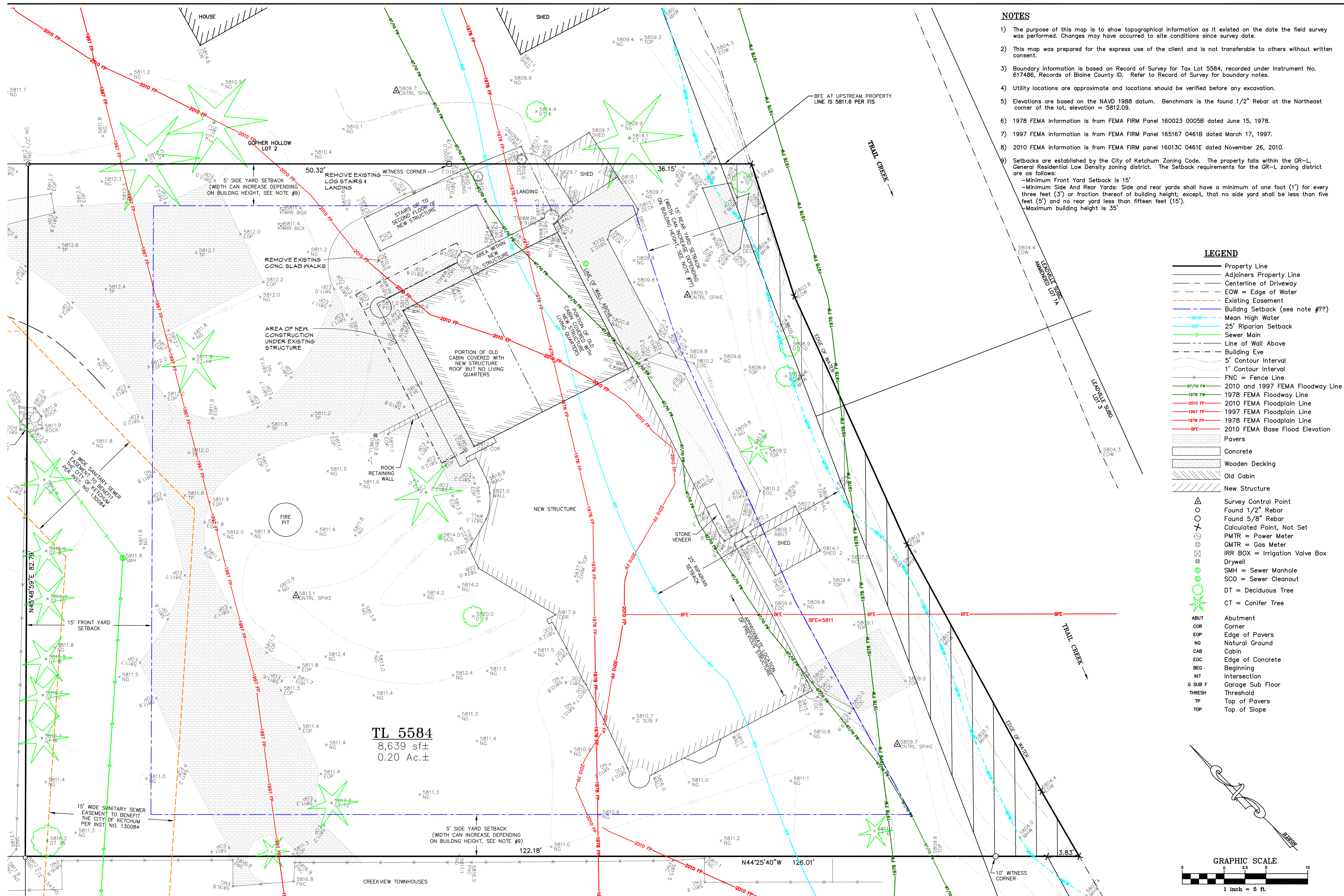
Pursuant to Resolution No. 08-123, any direct costs incurred by the City of Ketchum to review this application will be the responsibility of the applicant. Costs include but are not limited to: engineer review, attorney review, legal noticing, and copying costs associated with the application. The City will require a retainer to be paid by the applicant at the time of application submittal to cover said costs. Following a decision or other closure of an application, the applicant will either be reimbursed for unexpended funds or billed for additional costs incurred by the City.

**ADDENDUM 1:**

In response to Addendum 1 concerning the preservation or restoration of the river and floodplain area: none of the vegetation will be removed. The driveway and current landscaping shall remain in their current condition, without any alterations, and the grade shall remain consistent with the pre-remodel state. Removal of the exterior stairs and the concrete pad that serves as a landing will enhance the riparian zone by allowing water to infiltrate a previous impervious area, as will removal of the exterior sheds. The proposed remodel will in no way negatively impact the site or the integrity of the floodplain.

*Deborah McCallum*

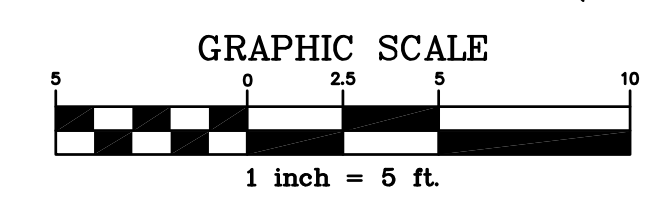
Users\Michael\Desktop\Arch\CAD\Projects\McCallum\McCallum CAD Files\McCallum.pln



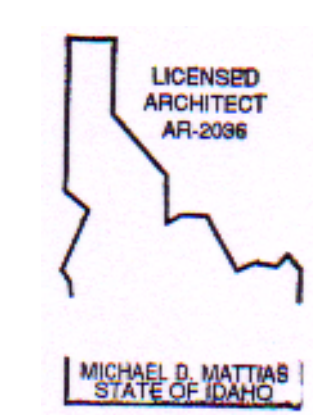
- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date.
  - This map was prepared for the express use of the client and is not transferable to others without written consent.
  - Boundary information is based on Record of Survey for Tax Lot 5584, recorded under Instrument No. 617486, Records of Blaine County ID. Refer to Record of Survey for boundary notes.
  - Utility locations are approximate and locations should be verified before any excavation.
  - Elevations are based on the NAVD 1988 datum. Benchmark is the found 1/2" Rebar at the Northeast corner of the lot, elevation = 5812.09.
  - 1978 FEMA information is from FEMA FIRM Panel 160023 0005B dated June 15, 1978.
  - 1997 FEMA information is from FEMA FIRM Panel 165167 0461B dated March 17, 1997.
  - 2010 FEMA information is from FEMA FIRM panel 16013C 0461E dated November 26, 2010.
  - Setbacks are established by the City of Ketchum Zoning Code. The property falls within the GR-L, General Residential Low Density zoning district. The Setback requirements for the GR-L zoning district are as follows:
    - Minimum Front Yard Setback is 15'
    - Minimum Side And Rear Yards: Side and rear yards shall have a minimum of one foot (1') for every three feet (3') or fraction thereof of building height; except, that no side yard shall be less than five feet (5') and no rear yard less than fifteen feet (15').
    - Maximum building height is 35'

**LEGEND**

Property Line	—
Adjoiners Property Line	- - -
Centerline of Driveway	- · - · -
EOW = Edge of Water	— (dashed blue)
Existing Easement	- · - · - (orange)
Building Setback (see note #??)	- - - (blue)
MHW	— (dashed cyan)
25' Riparian Setback	— (dashed cyan)
Sewer Main	— (dashed green)
Line of Wall Above	- - - (black)
Building Eave	- - - (black)
5' Contour Interval	— (dashed grey)
FNC = Fence Line	- · - · - (black)
2010 and 1997 FEMA Floodway Line	— (dashed green)
1978 FEMA Floodway Line	— (dashed green)
2010 FEMA Floodplain Line	— (dashed red)
1997 FEMA Floodplain Line	— (dashed red)
1978 FEMA Floodplain Line	— (dashed red)
2010 FEMA Base Flood Elevation	— (dashed red)
Pavers	▨ (stippled)
Concrete	▨ (cross-hatched)
Wooden Decking	▨ (diagonal lines)
Old Cabin	▨ (diagonal lines)
New Structure	▨ (diagonal lines)
Survey Control Point	△
Found 1/2" Rebar	○
Found 5/8" Rebar	⊙
Calculated Point, Not Set	⊕
PMTR = Power Meter	⊗
GMTR = Gas Meter	⊗
IRR BOX = Irrigation Valve Box	⊗
Drywell	⊗
SMH = Sewer Manhole	⊗
SCO = Sewer Cleanout	⊗
DT = Deciduous Tree	⊗
CT = Conifer Tree	⊗
ABUT	— (dashed)
COR	— (dashed)
EOP	— (dashed)
NG	— (dashed)
CAB	— (dashed)
ECC	— (dashed)
BEG	— (dashed)
INT	— (dashed)
G SUB F	— (dashed)
THRESH	— (dashed)
TP	— (dashed)
TOP	— (dashed)

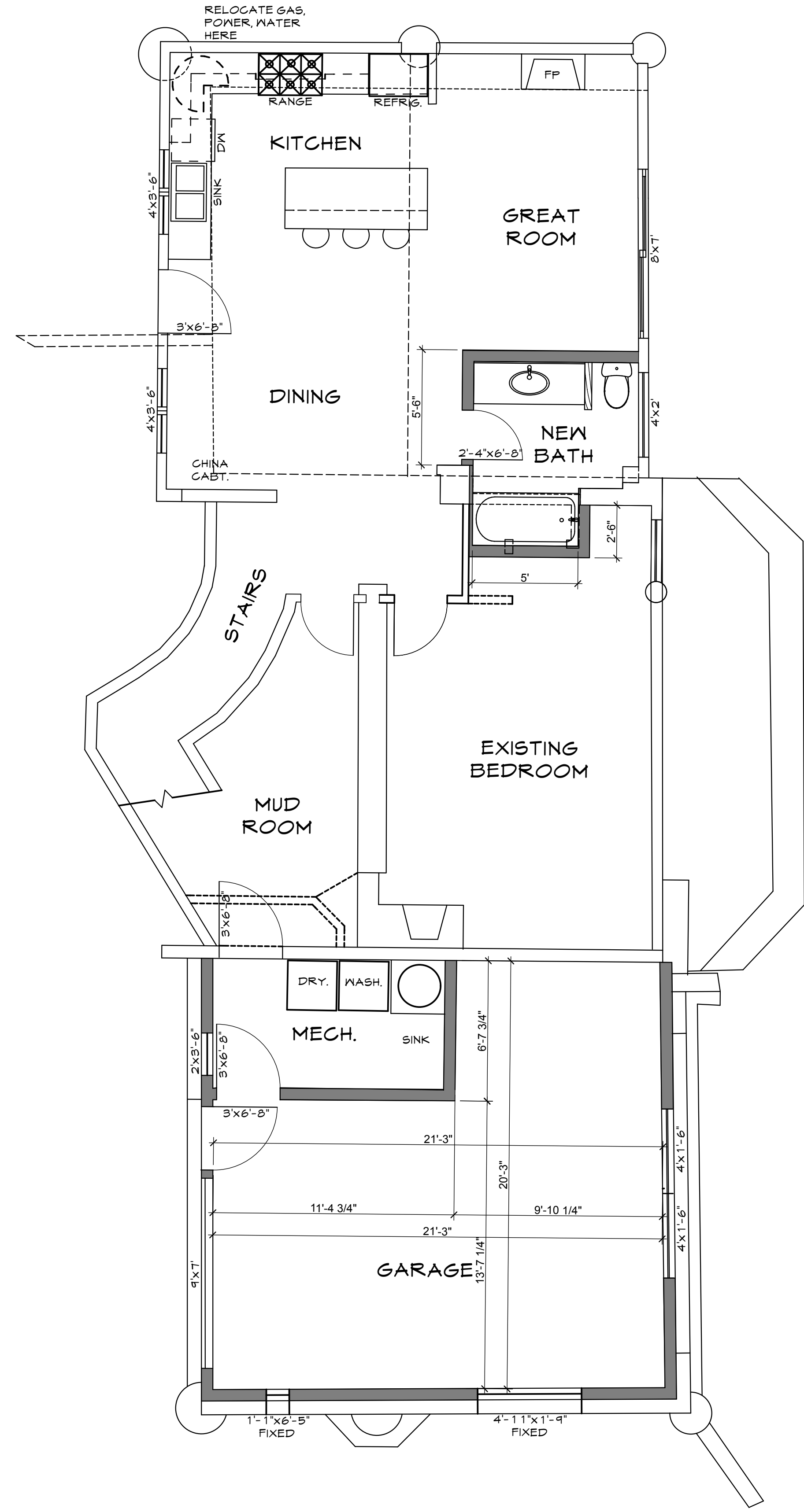


**McCallum Remodel**  
Ketchum, Idaho



**Afterhours Design**  
720-3568  
p.o. box 1733 hailey, idaho  
maambaa@cox.net

**C1**

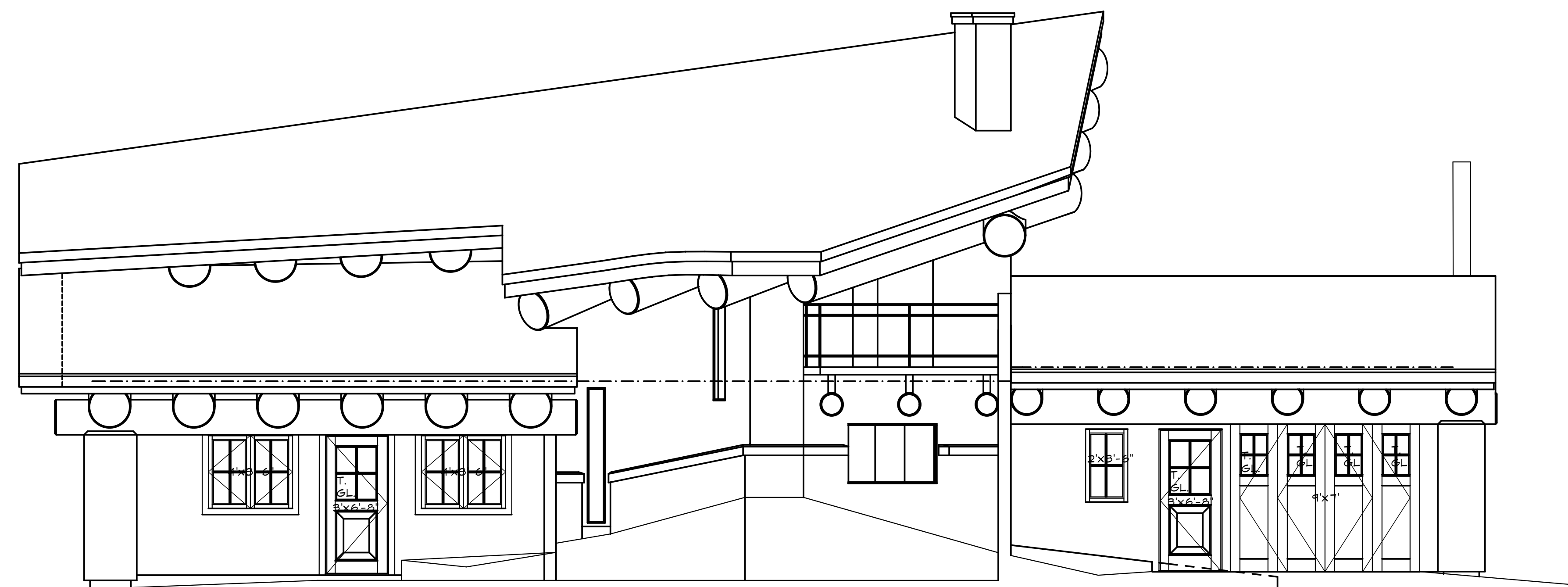


1 1st FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

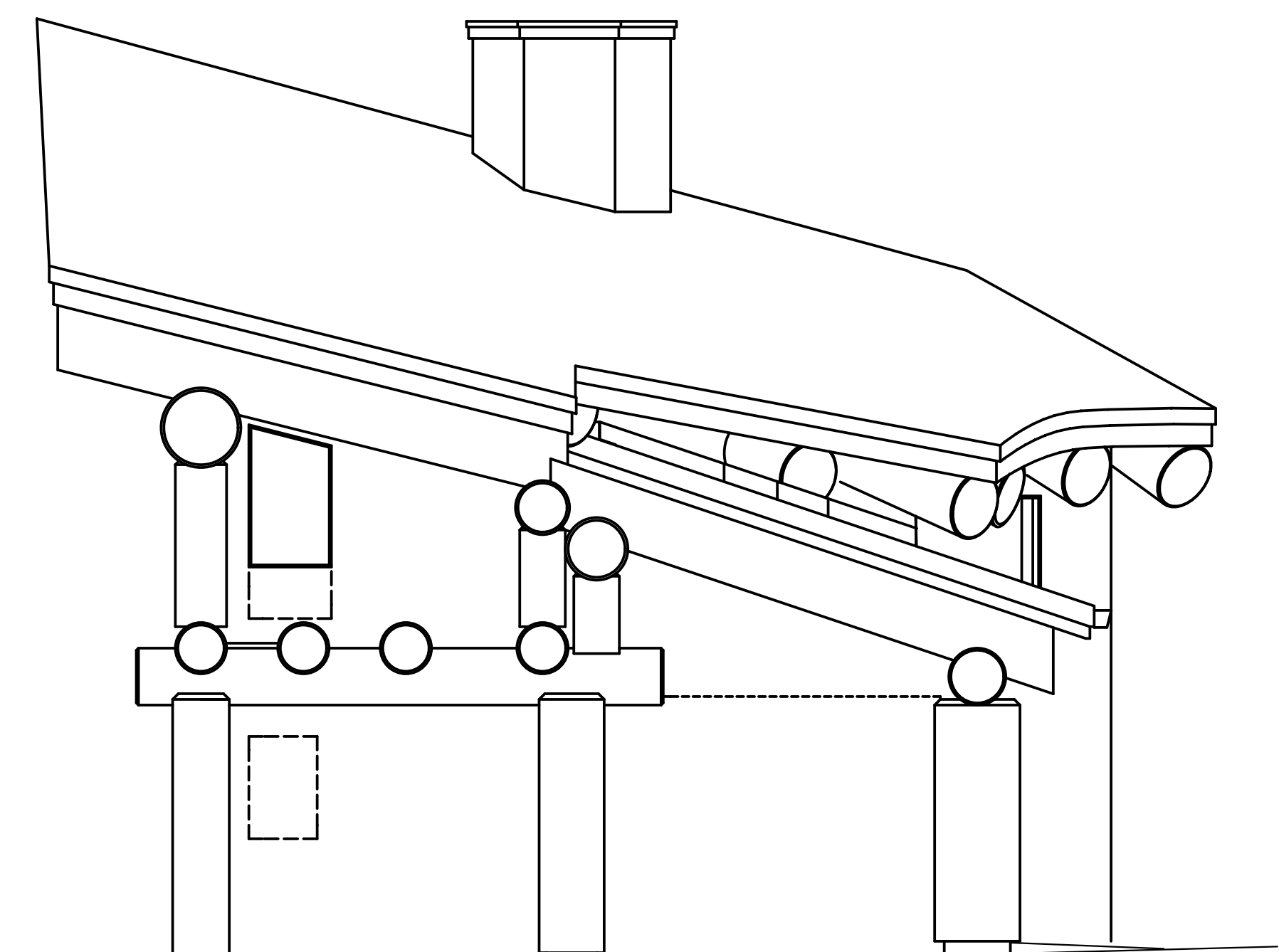
*Afftehoure Design*  
 P.O. Box 1733 Hailey, Idaho  
 720-3568  
 maamba@cox.net

MICHAEL D. MATTIAS  
 STATE OF IDAHO  
 LICENSED ARCHITECT  
 AR-2098

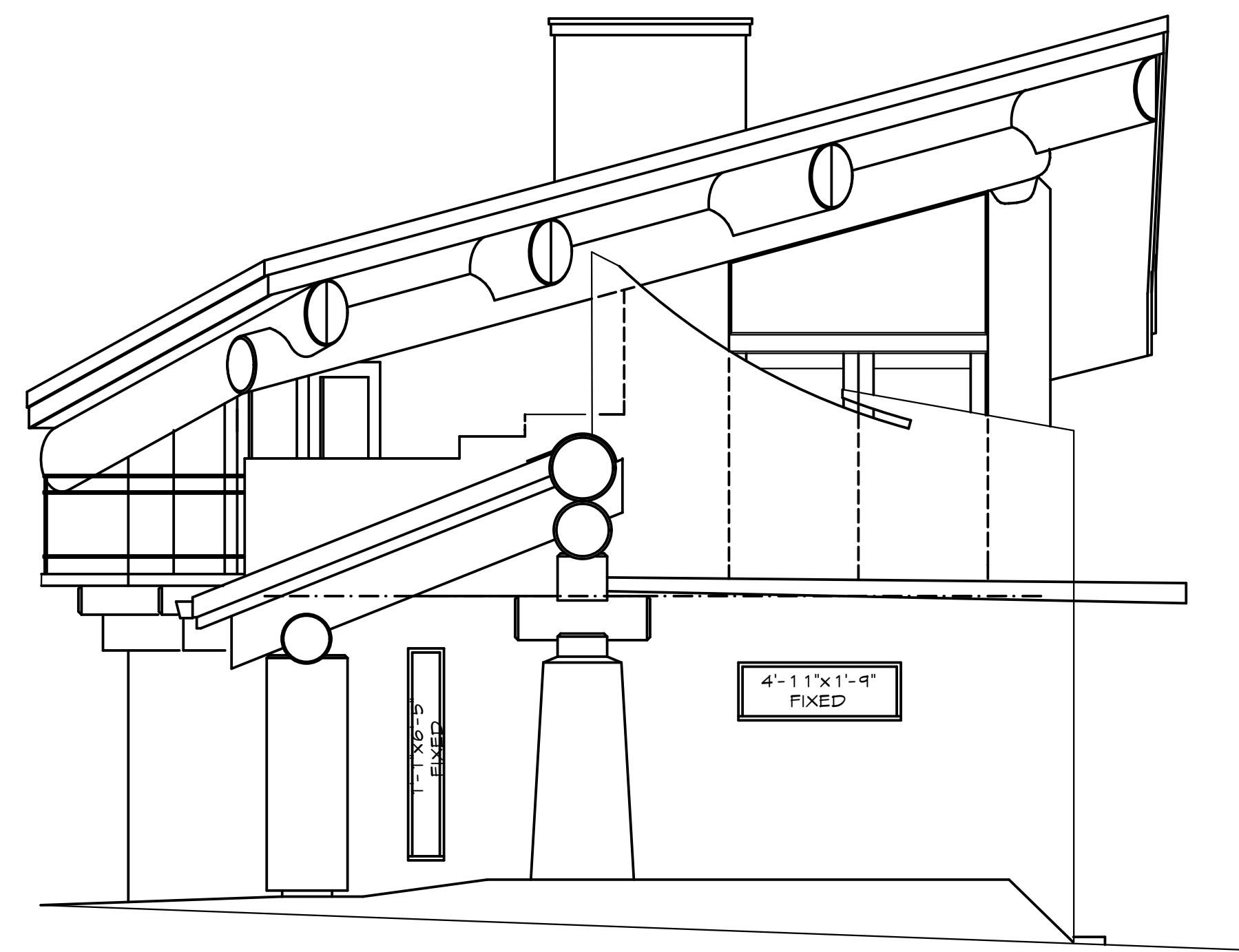
McCallum Remodel  
 Ketchum, Idaho



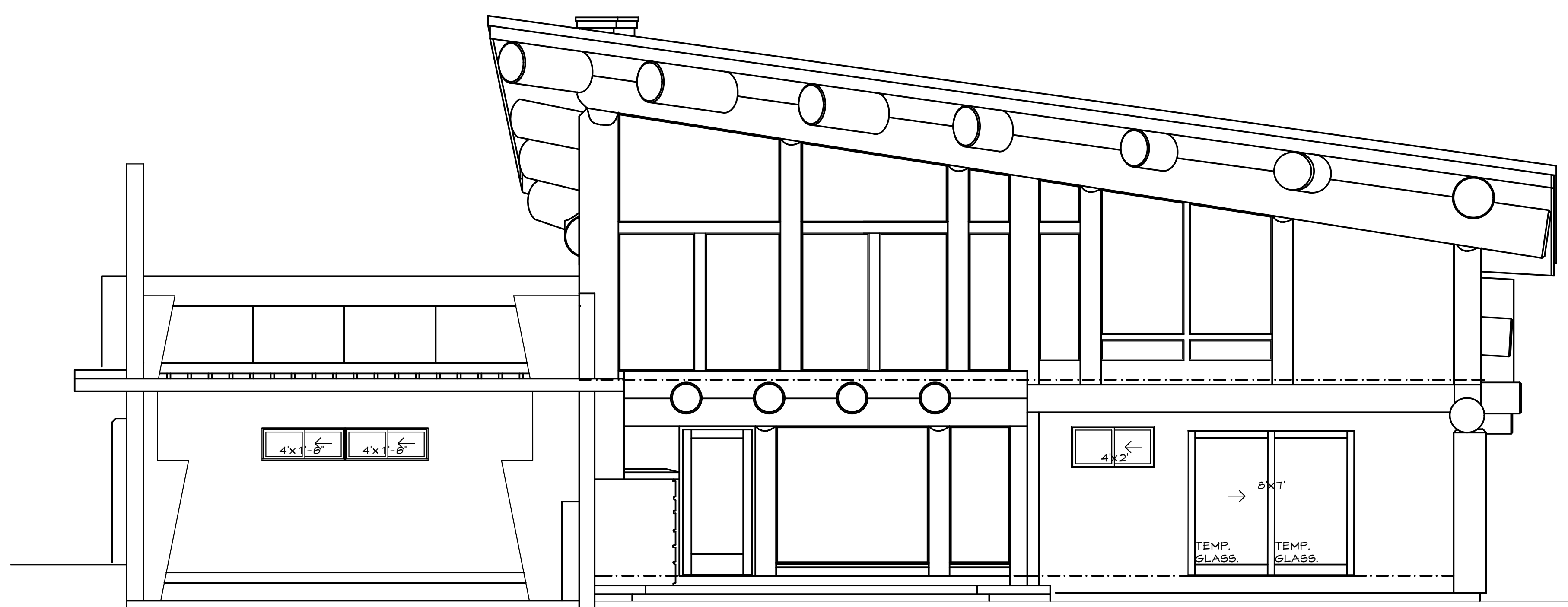
1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

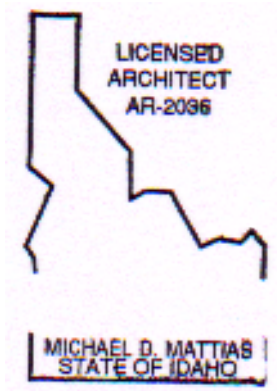


3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



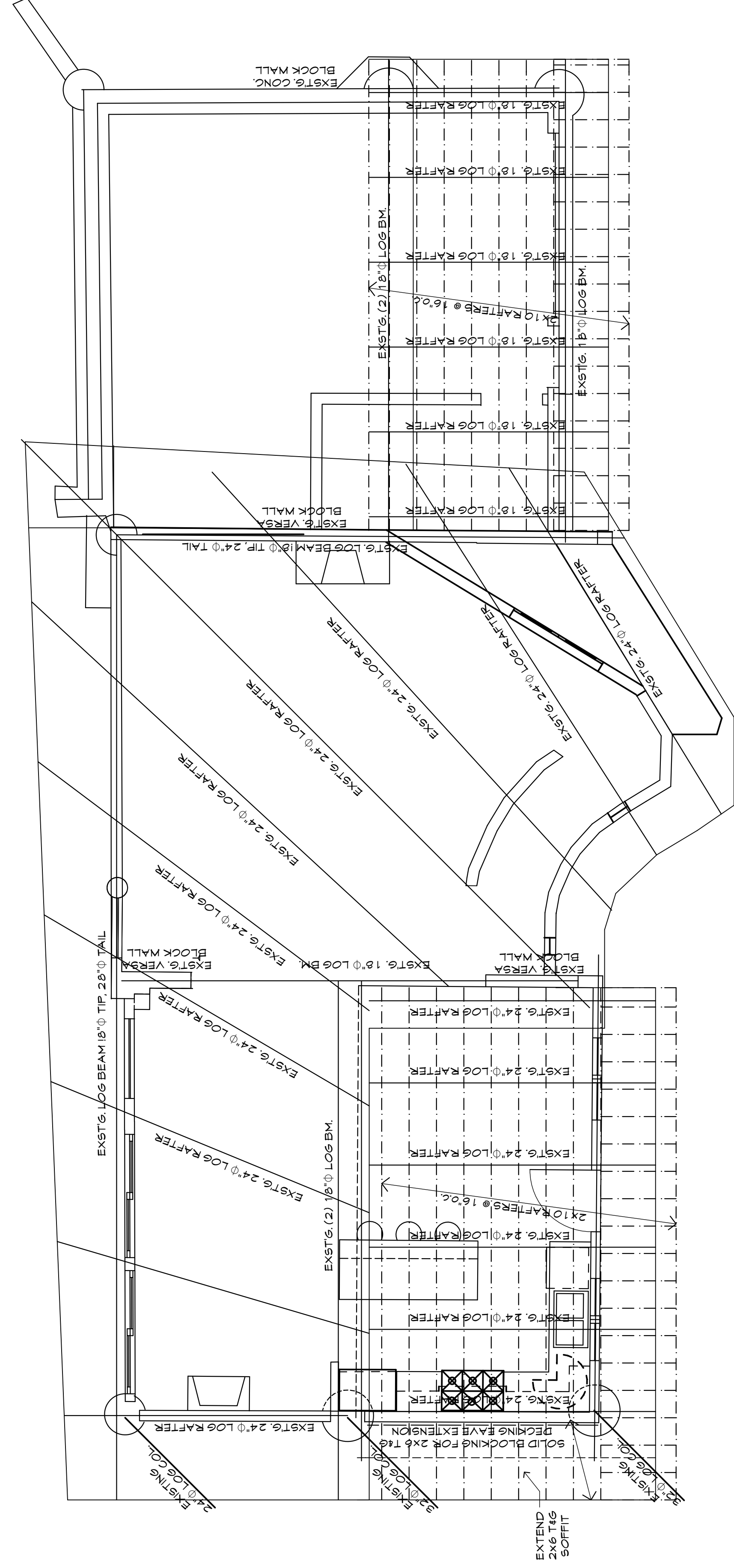
4 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

McCallum Remodel  
Ketchum, Idaho



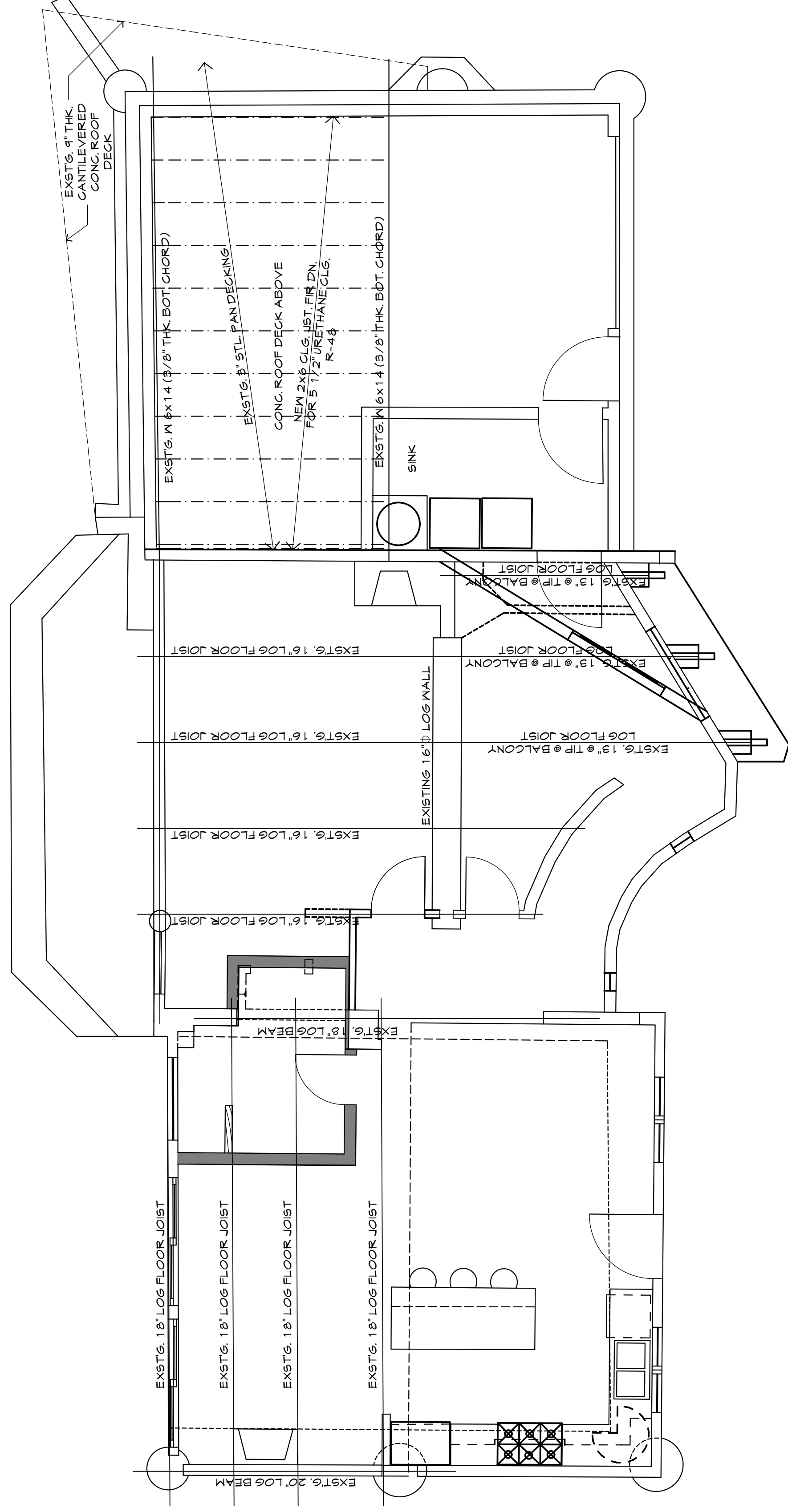
*Afterhours Design*  
720-3568  
maambaa@cox.net  
p.o. box 1733 hailey, idaho





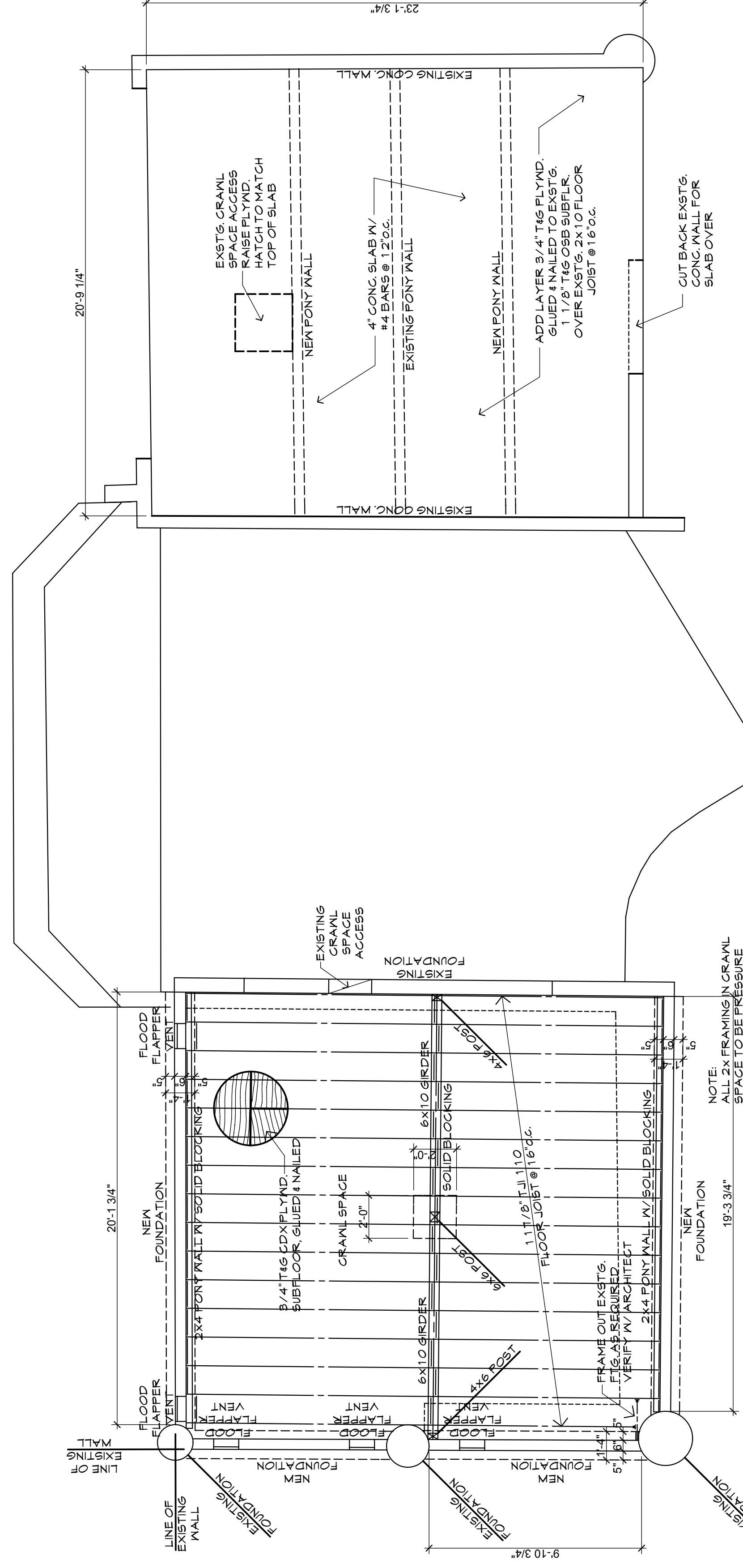
3 EXISTING & NEW ROOF FRAMING

SCALE: 1/4" = 1'-0"



2 EXISTING FLOOR FRAMING & CEILING FRAMING @ GARAGE

SCALE: 1/4" = 1'-0"



1 FOUNDATION & FLOOR FRAMING

SCALE: 1/4" = 1'-0"

Demo/Exca:	\$5500
Foundation:	\$6700
Fram/Siding:	\$23,785
Electrical:	\$10,835
Plumbing:	\$11,500
Windows:	\$7676
Insulation:	\$4299
Drywall:	\$3150
Painting:	\$750
Cabinets	\$9950
Fireplace:	\$3289
Tile:	\$5285
Granite:	\$5424
Fixtures:	\$1236
Faucets:	\$1092
Hardware:	\$762
Appliances:	\$2000
Siding:	\$2391
Roofing:	\$4740
Doors:	\$2750
Carpet:	\$2320
Garage Door:	\$1335
<b>Total:</b>	<b>\$116769</b>

---

.....

General, 8%: \$9342

.....

**Total:           \$126111**



**APPRAISAL OF**

RESIDENTIAL IMPROVEMENTS

**LOCATED AT:**420 East River Street  
Ketchum, ID 83340**CLIENT:**Robert McCallum  
420 East River St  
Ketchum, ID 83340**AS OF:**

July 1, 2015

**BY:**Lois Chandler  
CRA-155

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
 Expiration Date: July 31, 2015

**Important: Read the instructions on pages 1-9.**

## SECTION A - PROPERTY INFORMATION

FOR INSURANCE COMPANY USE

A1. Building Owner's Name Robert and Debbie McCallum		Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 420 E. River Street		Company NAIC Number:
City Ketchum	State Id	ZIP Code 83340
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Tax Lot 8365		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>		
A5. Latitude/Longitude: Lat. <u>43.6794°</u> Long. <u>114.3603°</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>4</u>		
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:
a) Square footage of crawlspace or enclosure(s) <u>720</u> sq ft	a) Square footage of attached garage _____ sq ft	b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>	b) Number of permanent flood openings in the attached garage _____	c) Total net area of flood openings in A8.b <u>0</u> sq in
c) Total net area of flood openings in A8.b <u>0</u> sq in	c) Total net area of flood openings in A9.b _____ sq in	d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No	d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No	

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Ketchum/160023		B2. County Name Blaine		B3. State ID	
B4. Map/Panel Number 160013C0461	B5. Suffix E	B6. FIRM Index Date 11/26/2010	B7. FIRM Panel Effective/Revised Date 11/26/2010	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 5811.5
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input checked="" type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.  
 Benchmark Utilized: RM6-461 Vertical Datum: NAVD 1988  
 Indicate elevation datum used for the elevations in items a) through h) below.  NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_  
 Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

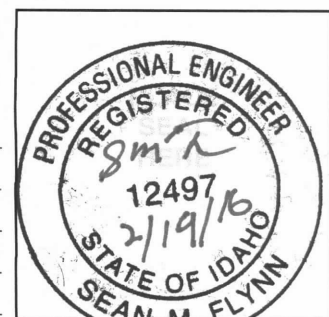
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>5806.7</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor	<u>5810.8</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	_____	<input type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab)	_____	<input type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>5811.1</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>5810.8</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>5813.8</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>5810.0</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  
 Check here if attachments.

Certifier's Name Sean M. Flynn	License Number PE 12497
Title Principal	Company Name Galena Engineering Inc.
Address 317 N. River Street	City Hailey State Id ZIP Code 83333
Signature <i>Sean Flynn</i>	Date 02/19/16 Telephone (208)788-1705



<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 420 N. River Street	Policy Number:
City Ketchum State ID ZIP Code 83340	Company NAIC Number:

**SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments This building consists of 3 parts. The eastern 1/3 is an old cabin, slab on grade, elev of 5811.1. The middle 1/3 and western 1/3 have a crawl space with an elev of 5806.7. The middle 1/3 has a first floor above the crawl space with an elev of 5811.1. The western 1/3 has a garage above the crawl space with a floor elev of 5810.8. Equipment in C2e is a water heater. This certificate shows as being expired, but the new certificate is not finalized by FEMA as of 02/19/16.

Signature  Date 02/19/16

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
  - a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
  - b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name \_\_\_\_\_

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	

Comments \_\_\_\_\_

Check here if attachments.

**SECTION G – COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
-------------------------	------------------------------	---

- G7. This permit has been issued for:  New Construction  Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_
- G10. Community's design flood elevation: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

Local Official's Name _____	Title _____
Community Name _____	Telephone _____
Signature _____	Date _____

Comments \_\_\_\_\_

Check here if attachments.

# Building Photographs

See Instructions for Item A6.

**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
420 E. River Street

Policy Number:

City Ketchum

State ID

ZIP Code 83340

Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Front View



**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 420 E. River Street			Policy Number:
City Ketchum	State ID	ZIP Code 83340	Company NAIC Number:

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Rear View



**Attachment B:  
Substantial Improvement Determination, dated March 9, 2016**

## Substantial Improvement Worksheet for Floodplain Construction

(for reconstruction, rehabilitation, addition, or other improvements, and repair of damage from any cause)

Property Owner: Robert & Deborah McCallum  
 Address: 18620 94th Avenue W, Edmonds, WA 98020  
 Permit No.: 16-009  
 Location: 420 East River Street (FR of Block 84, Taxlot 8365)  
 Description of improvements: Replace kitchen great room, remodel

**Present Market Value** of structure ONLY (market appraisal or adjusted assessed value, BEFORE improvement, or if damaged, before the damage occurred), not including land value:

\$ 310,000

**Cost of Improvement -**

Actual cost of the construction\*\* (see items to include/exclude)

\$ 126,111

\*\*Include volunteer labor and donated supplies.\*\*

Ratio =  $\frac{\text{Cost of Improvement (or Cost to Repair)}}{\text{Market Value}} \times 100$

41 %

If ratio is 50 percent or greater (**Substantial Improvement**), entire structure including the existing building must be elevated to the base flood elevation (BFE) and all other aspects brought into compliance.

**Important Notes:**

1. Review cost estimates to ensure that all appropriate costs are included or excluded.
2. If a residential pre-FIRM building is determined to be substantially improved, it must be elevated to or above the BFE. If a non-residential pre-FIRM building is substantially improved, it must be elevated or dry floodproofed to the BFE.
3. Proposals to repair damage from any cause must be analyzed using the formula shown above.
4. Any proposed improvements or repairs to a post-FIRM building must be evaluated to ensure that the improvements or repairs comply with floodplain management regulations and to ensure that the improvements or repairs do not alter any aspect of the building that would make it non-compliant.
5. Alterations to and repairs of designated historic structures may be granted a variance or be exempt under the substantial improvement definition) provided the work will not preclude continued designation as a "historic structure."
6. Any costs associated with directly correcting health, sanitary, and safety code violations may be excluded from the cost of improvement. The violation must have been officially cited prior to submission of the permit application.

Determination completed by: Rebecca F. Bung CFM

Date: March 9, 2016

**Attachment C:  
Public Comment**

None to date





City of Ketchum  
Planning & Building

March 14, 2016

Planning and Zoning Commission  
City of Ketchum  
Ketchum, Idaho

Commissioners:

**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**REGULAR MEETING OF MARCH 14, 2016**

**PROJECT:** Kneebone Building

**FILE NUMBER:** #16-012

**OWNERS:** Kneebone LLC

**REPRESENTATIVE:** Jeff Williams, Williams Partners Architects

**REQUEST:** Design Review application regarding a three story mixed use building containing office, commercial and residential uses.

**LOCATION:** 500 N. Washington Avenue (Lot 8, Block 15, Ketchum)

**NOTICE:** Posted in three locations in the city and mailed to adjacent property owners on February 22, 2016.

**ZONING:** Community Core (CC) & Sub-District C, Urban Residential

**INTRODUCTION:**

The applicant is proposing to replace an existing single story building, which is currently being used for sun tanning services, to accommodate the construction of a new three story building. The plans indicate that the building will be mixed with commercial, office and residential uses. A roof top deck and elevator access structure are proposed for the third story roof. A total of five onsite parking spaces, accessed from the adjacent alleyway to the east are provided.

On February 8, 2016 the Planning and Zoning Commission reviewed the pre-application design review for this project and provided the following comments to be addressed in this design review application:

Commission Comments	Response
Break up and soften the northern zero lot-line wall.	The applicant has responded appropriately to the Commission's concerns regarding the northern wall. This wall has now been broken into three material types with metal vertical siding, metal corrugated unsealed siding and fiber cement paneling.
Shield the two parking spaces adjacent to the alleyway.	The concrete planter is extended to the east with horizontal wood slats mounted on the top at a height of six feet. This screening fully shields the parking area from Fifth Street.
Get a letter from Clear Creek indicating that the proposed dumpster meets capacity requirements.	Clear Creek has provided a letter indicating that the proposed trash area satisfies any and all concerns for the safe and efficient removal of garbage via the alley.
Talk with the northern property owner regarding a joint use of the dumpster area.	The applicant is reaching out to the owner of the Veltex convenience store to pursue a possible joint agreement for use of the dumpster area.
Provide a lighting and landscaping plan.	The applicant has provided details for landscaping and site lighting.
The bike rack is not visible from the front entrance of the door.	The proposed bike rack has been moved slightly south towards the sidewalk. However it still appears to not be visible from the front entrance of the building.
Clarification on the location of the ADA stall and its impact on current street parking.	The Kith and Kin project has a condition that requires the ADA space to be located on Washington Avenue. The city does have a security deposit for this space.
Address how water will drain from the proposed window canopies.	The canopies will drain to a gutter system and then release into the planter areas.
Address how recycling will be stored and sorted.	The dumpster detail now includes an area for recycling bins and storage.
Animate the east elevation.	The east elevation now includes a larger central window which appears to pop out from the exterior wall face.
Sidewalks requirement to use concrete.	All public sidewalks are required to be constructed of concrete.
A letter from a snow removal contractor.	The applicant has commented that he will have a letter from a snow removal contractor before the March 14, 2016 meeting.

Requirements for all Design Review Applications				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	City Department Comments	<b>Police Department</b> <ul style="list-style-type: none"> <li>○ Indicated they have no comment.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Fire Department</b> <ul style="list-style-type: none"> <li>○ The building is required to be fire sprinklered throughout with an approved NFPA 13 system.</li> <li>○ An approved monitored fire sprinkler alarm system is required to be installed. Activation of the fire sprinkler system shall notify all occupants of the building.</li> <li>○ Unit numbering and the actual street address shall be assigned by the City of Ketchum addressing officer prior to accepting a building permit application.</li> <li>○ A Knox box, fire department connection, flow bell and outside horn-strobe notification device are required to be installed in a location approved by the fire department.</li> <li>○ A more detailed review by the fire department will required at time of building permit.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Public Works</b> <p><b>Street</b></p> <ul style="list-style-type: none"> <li>○ Any street cuts will have to be repaired per street specifications and then chip sealed.</li> <li>○ The corner ramp will need to be replaced with the ITD standard ramp. (Item is conditioned)</li> <li>○ The new Handicap paint on Washington will result in the loss of two parking spaces and repainting the whole block.</li> <li>○ The fire hydrant needs to be moved from its current location around the corner to Fifth Street.</li> </ul> <p><b>Utilities</b></p> <ul style="list-style-type: none"> <li>○ At building permit, provide plans for the mechanical space and where the fire system and domestic water/meter will be located.</li> <li>○ There is a KSW line in the alley that is not available to the project.</li> <li>○ If the adjacent alleyway is lowered, the KSW line will need to be lowered six feet.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Building:</b> <ul style="list-style-type: none"> <li>○ Found no code related issues with the submitted documents.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Arborist:</b> <ul style="list-style-type: none"> <li>○ The city arborist has reviewed the plan for street trees and approved the species and location.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Planning and Zoning:</b> <ul style="list-style-type: none"> <li>○ See comments throughout staff report.</li> </ul>

Compliance with Zoning District and Overlay Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	<b>Floor Area Ratio</b>
			<i>Staff Comments</i>	<i>FAR Permitted: 1.0 FAR w/Inclusionary Housing Incentive: 2.25 FAR Proposed: 1.42 Lot Size: 5,500 sf Gross Floor Area: 7,794 sf Increase Above Permitted FAR: 2,294 sf 20% of Increase: 458.8 sf Net Livable (15% reduction): 389.98 sf Community Housing In-Lieu Fee: \$76,436.08</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.A	<b>Lot Area</b>
			<i>Staff Comments</i>	<i>Lot Size: 5,500 Square Feet Lot Coverage: 3,950 sf of building footprint (71.82%)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010	<b>Building Height</b>
			<i>Staff Comments</i>	<i>Proposed Building Height: 42 feet to top of building and 51 feet to top of roof access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010	<b>Setbacks</b>
			<i>Staff Comments</i>	<i>Front – Washington Aveune: 5’ Side – North: 0’ Side - East Alleyway: 16’ Rear – North: Street Side (Fifth Street): 5’</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.060.M	<b>Curb Cut</b>
			<i>Staff Comments</i>	<i>No curb cuts are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.050	<b>Parking Spaces</b>
			<i>Staff Comments</i>	<i>Residential requires: One space per 1500 sf (net) Commercial/Retail requires: Two spaces per 1,000 sf (gross)  Nine space are required. Of these, an on-street parking credit is provided for four spaces and five spaces are proposed on-site. One van ADA space is included on-site. Two bicycle racks are proposed on-site adjacent to Fifth Street.</i>
Design Review Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Standard	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(1) SITE DESIGN	<b>The site’s significant natural features such as hillsides, mature trees and landscaping shall be preserved. Cuts and fills shall be minimized and shall be concealed with landscaping, revegetation and/or natural stone material.</b>
			<i>Staff Comments</i>	<i>The site contains six mature trees adjacent to Fifth Street. Plans indicate that all trees will be removed and replaced with two street trees on Fifth Street and one street tree on Washington Avenue. No cuts or fills have been identified in the plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(2)a COMPATIBILITY	<b>The structure shall be compatible with the townscape and surrounding neighborhoods with respect to height, bulk, setbacks and relationship to the street.</b>
			<i>Staff Comments</i>	<i>The surrounding neighborhood is home to existing one and two story buildings that have not be redeveloped to the full height allowance of the Community Core District. The Sun Valley Center for the Arts office and gallery is located across Washington Avenue to the west. A new restaurant is currently under construction on the neighboring parcel to the north. Both of these buildings contain only one story. The Il Naso restaurant is located across Fifth Street to the south in an older two story</i>

				<i>building. The Idaho Independent Bank is located on the corner of Main Street and Fifth Street and contains a height of three stories.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(2)b	<b>The project's materials, colors and signing shall be compatible with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<i>Staff Comments</i>	<i>The material make-up of the surrounding buildings varies significantly. The Sun Valley Center for the Arts across the street to the west contains wood siding and a metal roof. Wood is used to a great extent by many of the neighboring buildings. The Idaho Independent Bank incorporates rock and stone material on the first and second floors and horizontal wood siding on the third level. Metal is incorporated throughout the windows and railing of the decks.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(2)c	<b>Consideration shall be given to significant view corridors from surrounding properties.</b>
			<i>Staff Comments</i>	<i>There are no established significant view corridors adjacent to this property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(2)d	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<i>Staff Comments</i>	<i>The lot contains no significant landmarks.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)a ARCHITECTURAL QUALITY	<b>Consideration shall be given to natural light reaching public streets, sidewalks and open spaces.</b>
			<i>Staff Comments</i>	<i>The building official has commented that the current building design could limit sun access to the adjacent north parcel. However, during the pre-application review, the Commission commented that the applicant was allowed to construct the proposed building to 42 feet as allowed by the zoning district. A sun chart was not requested by the Commission.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)b	<b>The building character shall be clearly defined by use of sloped roofs, parapets, cornices or other architectural features.</b>
			<i>Staff Comments</i>	<i>The building proposes a variety of architectural elements that help to define separation between stories. Window placement, parapets and exterior decks provide greater architectural interest from the Washington Avenue and Fifth Street elevations.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)c	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<i>Staff Comments</i>	<i>It appears that the proposed materials will be complementary to each other.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)d	<b>There shall be continuity among accessory structures, fences, walls and landscape features within the project.</b>
			<i>Staff Comments</i>	<i>No accessory structures, except for a trash enclosure, are proposed. The trash enclosure incorporates metal siding similar to the main building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)e	<b>Building walls which are exposed to the street shall be in scale with the pedestrian.</b>
			<i>Staff Comments</i>	<i>The ground floor level has been designed to place the proposed commercial space adjacent to the sidewalk. Storefront windows are utilized on the corner of Washington Avenue and Fifth Street to provide greater visibility from the public way into the commercial space. A pedestrian route of travel is clearly established between the sidewalk and building's front entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)f	<b>Building walls shall provide undulation/relief thus reducing the appearance of bulk and flatness.</b>
			<i>Staff Comments</i>	<i>The street and alley facing elevations are designed to contain a variety of undulation between the exterior wall faces and window placement. Exterior decks are proposed on the third story and rooftop which help to set the third story back from the street. The applicant has responded to comments from the Commission received during the pre-application</i>

				<i>meeting regarding the north zero lot line wall and the east elevation adjacent to the alleyway. The Commission requested that these walls be altered to add more variety. The applicant has proposed three material types on the northern wall including fiber cement siding, metal vertical siding and corrugated metal siding. The central window on the second level has been enlarged and extended slightly from the wall surface of the east elevation wall.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)g	<b>Exterior lighting shall not have an adverse impact upon other properties and/or public streets.</b>
			<i>Staff Comments</i>	<i>The applicant has noted that all exterior lighting will be dark sky compliant. A lighting detail has been provided for the proposed wall sconce (El Capitan Series) and recessed can lights (LED). Eight recessed lights are proposed within the garage area adjacent to the alleyway, two within the entrance overhang on Washington Avenue, one on the First Avenue side above the entrance, four under the deck canopy on Washington Avenue and three on the third floor level on First Avenue Side. Two sconce lights are located in the entrance along First Avenue, two on the second floor level deck along First Avenue and two on the Washington Avenue side, and three are located on the roof top deck along the Washington Avenue side. Two Inovus street lights, in conformance with the right-of-way standards, are proposed. One street light is located on First Avenue and the other is located on Washington Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)h	<b>Garbage storage areas and satellite receivers shall be screened from public view.</b>
			<i>Staff Comments</i>	<i>The trash enclosure is located adjacent to the alleyway and is screened with a four foot wall and gate screen.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)i	<b>Utility, power and communication lines within the development site are concealed from public view where feasible.</b>
			<i>Staff Comments</i>	<i>Any utility lines placed onsite to serve the proposed development will be required to be placed underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)j	<b>Door swings shall not obstruct or conflict with pedestrian traffic.</b>
			<i>Staff Comments</i>	<i>No conflicts have been identified.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)k	<b>Building design should include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or to adjacent properties.</b>
			<i>Staff Comments</i>	<i>The plans indicated that drainage will occur internally. Awnings are designed to route water into a gutter system that terminates into the proposed exterior planter areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)a CIRCULATION DESIGN	<b>Pedestrian, equestrian and bicycle access which is adequate to satisfy demands relative to development size shall be provided. These accesses shall be located to connect with existing and anticipated easements and pathways.</b>
			<i>Staff Comments</i>	<i>The applicant is proposing to extend the existing five foot sidewalk inward towards their building by three to five feet. The plans show two bicycle racks adjacent to Fifth Street. The proposed ADA parking space is covered by the second story above and has direct access into the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)b	<b>The building(s) is primarily accessed from the public sidewalk for the majority of the individual uses proposed. It is the intent to promote exterior circulation with numerous connections to the public sidewalk and exposure to the street. This includes utilizing arcades, courtyards and through block connections. (Commercial buildings only)</b>
			<i>Staff Comments</i>	<i>The building will have an entrance from both the Fifth Street and Washington Avenue sides.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)c	The required five foot (5') street side setback is primarily used as an extension and part of the public sidewalk in areas with high pedestrian volume (setback as per zoning). This setback is encouraged to be covered by awnings, arcades or other canopies for weather protection and may extend out over the public sidewalk (CC zone only);
			<i>Staff Comments</i>	<i>The site plan shows a proposed 5' foot sidewalk extension into the site adjacent to the building's frontage. The area between the building's face and the sidewalk contain planters sitting areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)d	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>No issues have been identified regarding access to the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)e	Parking areas have functional aisle dimensions, backup space and turning radius.
			<i>Staff Comments</i>	<i>Onsite parking areas meet dimensional space requirements. A van ADA space is proposed onsite under the canopy of the second story level. No issues have been identified regarding potential conflicts.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)f	Location of parking areas is designed for minimum adverse impact upon living areas within the proposed development and minimizes adverse impact upon adjacent properties with regard to noise, lights and visual impact.
			<i>Staff Comments</i>	<i>The location of the proposed parking area off of the alley appears to be adequately located to reduce impacts on adjacent properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)g	Curb cuts are located away from major intersections and off high volume roadways where possible.
			<i>Staff Comments</i>	<i>No new curb cuts are being proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)h	Adequate unobstructed access for emergency vehicles, snow plows, garbage trucks and similar service vehicles to all necessary locations within the proposed project is provided.
			<i>Staff Comments</i>	<i>The Veltex convenience store has placed a dumpster within the alleyway. The city has issued a violation letter requesting that the dumpster be relocated onto private property. The applicant has indicated that he will reach out to the Veltex property owner in order to find a mutually beneficial solution.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)i	The project is designed so as to provide adequate snow storage areas or removal for snow cleared from the parking areas and roadways within the project. (50 percent)
			<i>Staff Comments</i>	<i>A letter has been submitted by a snow removal contractor indicating that all snow will be collected and then removed from the site following each snow event.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(5)a LANDSCAPE QUALITY	Substantial landscaping is to be provided, which is in scale with the development and which provides relief from and screening of hard surfaces. Total building surface area and street frontage will be considered when determining whether substantial landscape is being provided. (Landscaping shall be defined as trees, shrubs, planters, hanging plants, ground cover and other living vegetation).
			<i>Staff Comments</i>	<i>The renderings indicate four planter areas will be placed between the sidewalk and the building's façade adjacent to the street which will include a mix of perennials and shrubs. Three Norway Maple street trees are proposed; two on First Avenue and one on Washington Avenue. The city arborist has reviewed the plans and approved street tree placement and specifications.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(5)b	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and compliment the neighborhood and townscape. Consideration should be given to the use of native, drought-resistant plant materials.
			<i>Staff Comments</i>	<i>The application indicated that landscaping material and vegetation will be adaptable to the microclimate and soil conditions. The arborist worked with the applicant in choosing appropriate street trees.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(6) ENERGY DESIGN	Consideration shall be given to proper solar orientation within the project. Recognition shall be given to the solar benefits of adjoining properties. (A sun chart as a means of understanding the solar possibilities and limitations shall be encouraged)
			<i>Staff Comments</i>	<i>The building official has noted that this project may limit solar access to the adjacent property to the north. However, the Commission commented that they did not believe the project would have an adverse impact on the neighboring properties regarding solar access and indicated that no sun chart would be needed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(7) PUBLIC AMENITIES	Pedestrian amenities are encouraged for all projects and shall be required for commercial uses. Amenities may include, but are not limited to benches and other seating, kiosks, telephone booths, bus shelters, trash receptacles, restrooms, fountains, art, etc. The use of "Ketchum Streetscape Standards" shall be encouraged.
			<i>Staff Comments</i>	<i>The applicant is proposing three street trees, two street light, bicycle racks and three bench areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(8) GREEN BUILDING	Consideration shall be given to green building features within the project. Recognition shall be given to projects that achieve the United States Green Building Council's LEED Certification or earn the Environmental Protection Agency's Energy Star Label. Projects are encouraged to consider energy conservation, indoor air quality, water use, location, waste reduction, recycling, and use of sustainable construction materials.
			<i>Staff Comments</i>	<i>The applicant has indicated that they will update the Commission during the March 7<sup>th</sup> meeting regarding green building features within the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(9)a Master Signage Plans Design Guidelines	Exposed support structures for signs, including, but not limited to, posts, poles and sign sides or edges, must be faced or covered with wood, stone or metal which is corrosion resistant, painted or anodized, or such other material as may be approved by the city as a reasonable, natural textured substitute.
			<i>Staff Comments</i>	<i>The applicant is proposing one 13.5 seven square foot wall sign adjacent to Fifth Street. They indicate that all sign code requirements will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(9)j	Signs shall not cover or obscure windows, doors, storefronts, building entrances, eaves, cornices, columns, horizontal expression lines, or other architectural elements or details.
			<i>Staff Comments</i>	<i>The proposed sign does not conflict with any of the above stated elements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(9)k	Signage on buildings with multiple tenants shall be limited to prevent sign clutter. Individual signs for tenants with ground floor storefront entrances are permitted. A directory sign with the names and suite numbers of all tenants without a ground floor storefront entrance may be provided at the lobby entrance for those tenants.
			<i>Staff Comments</i>	<i>The applicant is proposing one wall sign.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(9)l	An address marker shall be provided at the main entrance to all buildings.
			<i>Staff Comments</i>	<i>This will be reviewed at the time of building permit.</i>

Community Core Design Review Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Standard	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(a)1 ALL BUILDING FACADES	Facades shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and glass curtain walls. Blank walls on all facades that front a park, street, avenue, alley, plaza, or other public spaces are prohibited.
			<i>Staff Comments</i>	<i>The use of decks, fenestration and varied architectural elements break up the building elevations.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(a)2	On all facades, a clear visual distinction between each floor shall be provided.
			<i>Staff Comments</i>	<i>The elevations indicate that the floors are clearly distinguishable. This is accomplished through the use of horizontal planes, decks and window placement. The ground floor contains storefront windows</i>



				<i>and a metal awning which distinguishes the first story from the second story level.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(a)3	Stairways shall have a design that is compatible with overall structure. Stairs shall not have a tacked on appearance or look like their design was an addition or afterthought.
			<i>Staff Comments</i>	<i>One exterior stair case is proposed on the north side of the building connecting the third level deck area with the roof top deck. A cable railing is proposed which is consistent with the railing used on the roof top deck.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(a)4	All sides of the facade shall be designed with similar architectural elements, materials, and colors as the front facade. However, the design of side and rear facades may be simpler, more casual, and more utilitarian in nature.
			<i>Staff Comments</i>	<i>All elevations of the building are designed with similar architectural elements and siding.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(a)5	If a portion of an existing building is modified, it shall use the same building materials, details, and color applications as the rest of the building. For example, if a portion of a brick facade with wood framed windows and doors is modified, the modified portion of the facade shall use bricks, details, and wood frame windows and doors that are compatible with the other parts of the building.
			<i>Staff Comments</i>	<i>This is a new building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(a)6	Consideration shall be given to natural light reaching public streets, sidewalks and open spaces.
			<i>Staff Comments</i>	<i>No issues have been identified regarding natural light reaching the sidewalk or street. The building official has expressed concern regarding light impacts to the adjacent north parcel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(b) (1)a	Additions to existing buildings shall be designed with a style, materials, colors, and details that are compatible with the existing structure.
			<i>Staff Comments</i>	<i>This is a new building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(b) (1)b MIXED USE/HOTEL BUILDING FACADES	Front building facades, as well as all facades that front a plaza or pedestrian walkway, shall be designed with: (a) Ground floor storefront windows and doors that utilize clear transparent glass in order to provide clear views of storefront displays from the street and/or to allow natural surveillance of the street and adjacent outdoor spaces. Mirror and tinted glass, including solar bronze and interior film, is prohibited.
			<i>Staff Comments</i>	<i>Storefront windows are proposed to provide visual line of sight into the commercial portion of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(c)1 ROOFS	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			<i>Staff Comments</i>	<i>The proposed roof is flat and appears compatible with the overall building design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(c)2	A relatively consistent roof design (including overhangs, pitch, fascia, materials and eaves) shall be provided on all sides of the building.
			<i>Staff Comments</i>	<i>The building design appears consistent on all sides of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(c)4	Mechanical equipment on roofs shall be screened from public view from all sidewalks, plazas, parks, public spaces, and pedestrian walkways.
			<i>Staff Comments</i>	<i>The roof plans provides full screening for all roof mounted equipment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(d)1AW NINGS AND MARQUEES	The valance, or front face, of an awning shall not exceed eighteen inches (18") in height.
			<i>Staff Comments</i>	<i>A metal awning is proposed for both windows areas at the corner of the building adjacent to the street intersection of Washington Avenue and Fifth Street. The front face of the awning appears to be under six inches.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(d)2	Awnings and marquees shall not obscure views into storefront display windows or cover architectural expression lines or details.
			<i>Staff Comments</i>	<i>Awnings do not obscure proposed windows.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(d)3 <i>Staff Comments</i>	Awnings may have signs (refer to sign ordinance). <i>No awning signs are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(e)2 <i>Staff Comments</i>	The distance between roof supporting columns, piers, or posts on balconies shall not exceed their height. <i>Supporting columns are not a visible architectural element.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(f)1 COLONNADES <i>Staff Comments</i>	Colonnades may be covered with a roof or a balcony. An enclosed habitable space may occur above the colonnade, as long as it does not occur over the public sidewalk. <i>No colonnades are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(f)2 <i>Staff Comments</i>	Supporting columns and posts shall be spaced and sized so that they do not block views of storefront windows from the street. <i>There have been no obstructions identified regarding views from windows.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(g)1 <i>Staff Comments</i>	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials. <i>No front porches are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(g)3 <i>Staff Comments</i>	The raised platform of a front porch (not including stairways) shall be at least fifty (50) square feet in size with no one dimension less than six feet (6') in length. <i>No front porches or stoops are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(h)2 <i>Staff Comments</i>	Public open spaces shall be usable throughout the year. These spaces shall either be heated for snow removal or maintained to remove snow during the winter months. <i>No public open space is required for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(i)1 SERVICE AREAS <i>Staff Comments</i>	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views from streets, avenues, alleys, pedestrian walkways, sidewalks, plazas, and public spaces. Trash disposal areas with appropriately designed enclosures or screens may be allowed within rear parking lots, but in no case shall the disposal area be allowed along the street frontage. <i>Plans propose locating the trash area to the rear of the building. The trash area will be accessible from the alleyway and will be enclosed behind a four foot wall and a gate screen.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(i)3 <i>Staff Comments</i>	Garbage containers or dumpsters shall be kept in enclosures at all times, except when being emptied. <i>The applicant indicates this requirement will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(i)4 <i>Staff Comments</i>	Trash enclosures shall be maintained and the surrounding area kept free of debris. <i>That applicant indicates this standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(i)5 <i>Staff Comments</i>	The location of trash enclosures shall not interfere with vehicular and pedestrian access and movement. <i>The location of the trash area does not conflict with vehicle and pedestrian access points.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(i)6 <i>Staff Comments</i>	The number of trash receptacles per unit shall be provided based on formulas provided by trash disposal companies. <i>Clear Creek has provided a letter approving the location and size of the proposed trash area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(j)(1)a-h MECHANICAL AND ELECTRICAL EQUIPMENT <i>Staff Comments</i>	The following shall not be located within the public right of way and shall be screened from public views from streets, pedestrian walkways, sidewalks, plazas, and public spaces: Electric and water utility meters; power transformers and sectors; heating/ventilation/cooling equipment/ irrigation and pool pumps; satellite dishes greater than eighteen inches (18") in diameter; antennas; rooftop mechanical equipment; & other mechanical equipment. <i>No mechanical equipment or utility meters will be located in the public right-of-way. Mechanical equipment is proposed on the roof and meters will be located behind the building adjacent to the alleyway.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(j)(2)	Appropriate methods of screening include fencing, landscaping, roof parapets, and equipment enclosures. The design of screening devices shall be compatible with the main structure and conform to other sections of this code. Noise levels of mechanical equipment shall be minimized. All utility and communication lines serving the site shall be underground.
			<i>Staff Comments</i>	<i>The applicant is proposing screening for the roof mechanical equipment and for the trash area adjacent to the alleyway. Screening appears to be compatible to the design of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(k)2	Landscaping treatments shall include a combination of trees, grasses, shrubs, flowering plants, and flowers.
			<i>Staff Comments</i>	<i>The landscaping plans indicate that a combination of shrubs and flowers are proposed for the four planters areas located on the street sides of the building. Three Norway Maple trees are proposed within tree planters.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(k)3	All landscaped areas shall be irrigated with automatic drip irrigation systems that do not produce overspray on surfaces outside the planting area.
			<i>Staff Comments</i>	<i>The applicant indicates that all right-of-way standards applicable to street trees will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(k)9	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
			<i>Staff Comments</i>	<i>Existing site trees are being replaced with three street trees.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(k)11	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
			<i>Staff Comments</i>	<i>The plans indicate that street trees will be placed with tree wells covered by tree grates.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(k)(13)b	Landscaped planters shall be located between public sidewalks and parking lots. Landscaped planters shall be at least five feet (5') wide and shall be planted with a combination of shrubs, trees, and flowering plants. Planter walls shall be limited to a height of twenty four inches (24").
			<i>Staff Comments</i>	<i>The applicant is showing four landscape planter areas between the sidewalk and the building's façade. The height of the planters are approximately 30 inches and contain a width of four feet. Due to the site limitation and private sidewalks abutting the public sidewalk, the applicant appears to have sufficiently met this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(k)(13)d	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
			<i>Staff Comments</i>	<i>Tree grates are proposed for the three street trees. A mix of vegetation is proposed for the planters.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(l)1 FENCES, WALLS AND GATES	The design of fences and walls shall be compatible with the architecture of the building.
			<i>Staff Comments</i>	<i>A screening fence is proposed as an extension above the planter box adjacent to the parking area. Its purpose is to shield the parking area from Fifth Street. The fence will be constructed of horizontal wood slats which are incorporated in other areas of the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(l)2	Entrance arbors are allowed on fences/walls.
			<i>Staff Comments</i>	<i>No entrance arbors are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(m)2	Site, building, and sign lighting shall be located and directed to light the intended area of illumination and to prevent off site glare impacts on adjacent buildings or properties.
			<i>Staff Comments</i>	<i>The applicant has noted that all exterior lighting will be dark sky compliant. A lighting detail has been provided for the proposed wall sconce (El Capitan Series) and recessed can lights (LED). Eight recessed lights are proposed within the garage area adjacent to the alleyway, two within the entrance overhang on Washington Avenue, one on</i>

				<p>the First Avenue side above the entrance, four under the deck canopy on Washington Avenue and three on the third floor level on First Avenue Side. Two sconce lights are located in the entrance along First Avenue, two on the second floor level deck along First Avenue and two on the Washington Avenue side, and three are located on the roof top deck along the Washington Avenue side. Two Inovus street lights, in conformance with the right-of-way standards, are proposed. One street light is located on First Avenue and the other is located on Washington Avenue.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(n)3	<p>All plazas and courtyards shall be designed with pedestrian amenities, such as seating, outdoor dining tables with umbrellas, winter ice rinks, planters, trees, vine covered pergolas, pedestrian scaled lighting, public artwork, outdoor fireplaces, and fountains.</p> <p><i>Staff Comments</i> No plazas or courtyards are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(n)4	<p>Plazas shall be illuminated from dusk to dawn. A combination of overhead lighting and lighted bollards shall be used.</p> <p><i>Staff Comments</i> No plazas are proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(n)5	<p>Plazas, pedestrian walkways, and courtyards that are paved shall be kept clear of snow and ice to ensure that the space is usable throughout the year.</p> <p><i>Staff Comments</i> A letter from a snow contractor has been submitted which indicates that snow will be collected and removed from the site following each snow event.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(o)1	<p>Park improvements shall be designed to preserve mature trees, natural topographic features, rock outcroppings, and riparian and floodplain features.</p> <p><i>Staff Comments</i> No park areas are proposed with this application.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(o)2	<p>All parks shall be designed with pedestrian amenities, such as shaded trails and paths, seating areas, picnic tables, barbecue areas, planters, trees, vine covered pergolas, gazebos, drinking fountains, pedestrian scaled lighting, public artwork, and fountains.</p> <p><i>Staff Comments</i> No park areas are proposed with this application.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(o)3	<p>Parks shall be visible from streets, sidewalks, and adjacent uses to facilitate informal surveillance of the park and to increase safety and security. Edge treatments such as landscaping and fencing shall not block public views into the park. Parks shall not be isolated or walled off from the surrounding community.</p> <p><i>Staff Comments</i> No park areas are proposed with this application.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(o)4	<p>Lighting shall be provided for pedestrian paths, parking lots, restrooms, picnic areas, gazebos, and other structures within parks. Lighting shall be located and directed to control off site glare.</p> <p><i>Staff Comments</i> No park areas are proposed with this application.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(o)5	<p>Parks shall be designed with a combination of shaded areas to create cool areas during warm summer months and open space for solar access during the colder months. Canopy trees, trellises, gazebos, and/or other structures shall be provided to shade pedestrian paths, picnic areas, outdoor seating areas, and playgrounds.</p> <p><i>Staff Comments</i> No park areas are proposed with this application.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(p)(1)a-c BICYCLE PARKING	<p>All developments within community core are required to have bicycle parking. The minimum number of bicycle racks shall be determined by whichever of the following is greater:</p> <ul style="list-style-type: none"> <li>(a) Two (2) bicycle racks per use or business;</li> <li>(b) A number of bicycle racks that equals twenty percent (20%) of the required auto parking; or</li> <li>(c) Two (2) bicycle racks per lot.</li> </ul> <p><i>Staff Comments</i> The applicant is proposing two bicycle racks adjacent to Fifth Street. Additionally, three storage lockers are provided under the second level canopy.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.18.130(F)(p)2	<p>Schools are required to provide a minimum of one bicycle rack per ten (10) students or ten percent (10%) of required auto parking, whichever is greater.</p>

				Recreation uses are required to provide a minimum of five (5) bicycle racks or ten percent (10%) of required auto parking, whichever is greater.
			<i>Staff Comments</i>	<i>This is neither a school nor recreational use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(p)(3)a	A single bicycle rack shall meet the following criteria: (a) Support the bicycle upright by its frame in two (2) places; (b) Prevent the wheel of the bicycle from tipping over; and (c) A U-lock should be able to lock the front wheel and the down tube of an upright bicycle or lock the rear wheel and seat tube of the bicycle.
			<i>Staff Comments</i>	<i>The proposed bicycle racks appear to meet the above standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(p)4	Two (2) or more single racks may be mounted in a row on a common base or attached in a row to a frame.
			<i>Staff Comments</i>	<i>The two racks are mounted side by side.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(p)5	Inverted "U" racks mounted in a row should be placed thirty inches (30") apart (on center) allowing enough room for two (2) bicycles to be secured to each rack and providing easy access to each bicycle.
			<i>Staff Comments</i>	<i>The bicycle racks are separated greater than 30" apart.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(p)7	Bicycle racks may be placed on private property and public sidewalks. In both cases, the racks shall not be placed so that they block the entrance or inhibit pedestrian flow in or out of the building. If placed on a sidewalk or pedestrian walkway, they should be placed so that at least five feet (5') of sidewalk width is maintained. Bike racks placed in the public right-of-way are subject to review and approval by the Public Works Department.
			<i>Staff Comments</i>	<i>Both bicycle racks are proposed on private property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(p)9	Racks shall be mounted within fifty feet (50') of the entrance it serves, or as close as the nearest car parking space, whichever is closer.
			<i>Staff Comments</i>	<i>Bicycle racks are shown to be less than 50 feet from the building's entrance on Fifth Street.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(p)10	Racks shall be clearly visible from the entrance it serves.
			<i>Staff Comments</i>	<i>Bicycle racks appear to not have a line a sight from the front entrance of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(q)1 STREETS AND STREETSCAPES	Streetscape improvements shall be designed in compliance with the city approved cross sections for downtown streets.
			<i>Staff Comments</i>	<i>The applicant is working with the public works department regarding right-of-way improvements. Full improvements for sidewalk, curb and gutter will be required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(q)6	Streetscape furniture and amenities shall be located to maintain a clear pedestrian path of at least five feet (5') in width.
			<i>Staff Comments</i>	<i>The sidewalk width will be expanded to eight to ten feet and at least five feet of pedestrian path will be preserved near the street light and trees.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(q)8	All streetlights, streetscape furniture, and amenities shall be consistent with a city approved list of approved furniture.
			<i>Staff Comments</i>	<i>The applicant is working with the public works department to ensure all public improvements meet the right-of-way standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(q)17	All new trees shall have a caliper size of three inches (3") measured twelve inches (12") from the ground. If the species is not available in this size, a caliper of two and one-half inches (2 1/2"), measured twelve inches (12") from the ground, will be acceptable. Evergreen trees shall be at least eight feet (8') tall when planted. All trees shall have a minimum height of fourteen feet (14') when fully grown.
			<i>Staff Comments</i>	<i>At the time of planting, these requirements will be verified.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130(F)(q)20	All street trees planted in the community core district shall be species that are recommended and approved by the city arborist.
			<i>Staff Comments</i>	<i>The arborist has approved the planting of the proposed Norway Maple trees.</i>

**STAFF RECOMMENDATION**

Staff recommends that the design review application for the Kneebone Mixed Use Building, located at 500 North Washington Avenue be approved by the Planning and Zoning Commission, subject to condition 1-10 below.

### **OPTIONAL MOTIONS**

1. "I move to approve the design review application by Kneebone LLC for the Kneebone Mixed Use Building project, with condition 1-10."; or
2. "I move to deny the design review application by Kneebone LLC for the Kneebone Mixed Use Building project, because of the following standards (Commission to insert reasons for denial)."

### **PROPOSED CONDITIONS**

1. Design Review approval shall expire one (1) year from the date of approval;
2. Design Review elements shall be completed prior to final inspection/occupancy;
3. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
4. The following methodology, which has been used for previous projects, shall be used in determining the community housing requirements for this project:

A minimum of 20% of the total increase in gross floor area above the permitted Floor Area Ratio (FAR), the amount over 1.0 FAR, shall be deed restricted in perpetuity as community housing unit(s). Of this gross square footage, a 15% reduction will be allowed as a standard discount from gross square footage to net livable square footage. The community housing requirements may be paid via a fee in-lieu of constructing the actual units. At the time this application was submitted, the adopted community housing fee was set at \$196 per square foot of required community housing. When calculating the gross floor area, areas specifically called out in the "Floor Area, Gross" definition may be excluded. Furthermore, all enclosed areas, unless otherwise specified, shall be included in the gross floor area calculation. Enclosed areas include those areas that are covered overhead by a roof and surrounded on at least three sides by walls.

5. As a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 389.89 square feet is required. In-lieu of constructing the community housing square footage on site, a fee of \$76,436.08 shall be paid to the City. This payment shall be paid prior to issuance of the building permit. At the time of building permit review, plans will be reviewed to verify FAR calculations and the community housing square footage will be adjusted to reflect any amendments to the gross square footage of the project. Likewise, the in-lieu fee will be modified to reflect changes in gross square footage;
6. All required public improvements shall be installed by the applicant and approved by the Public Works Department prior to issuance of the certificate of occupancy;

7. The ADA ramp at the northeast corner of the Washington Avenue and First Street intersection shall be replaced with the ITD standard ramp;
8. Approval of a condominium plat is required before residential or commercial units may be sold separately from the rest of the building;
9. Prior to issuance of a certificate of occupancy, street tree, grate, and guard specifications shall be submitted to the City Arborist for review and approval; and
10. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state and federal laws.

#### **ATTACHMENTS**

- A. Application
- B. Plans
- C. Letters from Clear Creek, snow removal contractor and Idaho Power

Attachment A: Application





**COMMUNITY CORE DESIGN REVIEW APPLICATION FORM B**  
Complete for Pre-Application Design Review and Final Design Review

**CERTIFIED COMPLETE**

GENERAL INFORMATION

211911640

PROJECT NAME: Kneebone Mixed Use

OWNER: Kneebone, LLC (Stephen T. Kearns, Member)

EMAIL: steve@kmvbuilders.com

MAILING ADDRESS: P.O. Box 3233, Ketchum, ID 83340

PHONE NUMBER: (208) 726-4843

ARCHITECT/REP.: Williams Partners Architects

EMAIL: jeff@williams-partners.com

MAILING ADDRESS: P.O. Box 4373, Ketchum, ID 83340

PHONE NUMBER: (208) 726-0020

LEGAL LAND DESCRIPTION: KETCHUM LOT 8 BLK 15 5500SF

PROJECT STREET ADDRESS: 500 North Washington Avenue, Ketchum ID 83340

**C. EXCEPTION(S) TO DESIGN REVIEW REGULATIONS (17.64.020) REQUESTED**

(list by code number, e.g. A-1, C-2)

N/A

**D. LAND USE**

PERMITTED USE(S): Residential: Dwelling, Multifamily & Commercial: Business or Retail Trade

CONDITIONAL USE(S): N/A

**E. PARKING**

TOTAL SPACES REQUIRED: 5

TOTAL SPACES PROPOSED: 5

SURFACE: X UNDERGROUND: \_\_\_\_\_

ON-STREET CREDIT REQUESTED: 4

**F. SIDEWALK, CURB, & GUTTER**

SIDEWALK WIDTH: 10+/- ft.

**RECEIVED**  
**FEB 19 2016**  
**CITY OF KETCHUM**



**CITY OF KETCHUM**

P.O. Box 2315  
 Ketchum ID 83340  
 Phone: (208) 726-7801  
 Fax: (208) 726-7812

**INVOICE**

Date	Number	Page
02/19/2016	356	1

**Bill To:** ATTN: Stephens T. Kearns  
 PO BOX 3233  
 KETCHUM ID 83340  
 USA

**Customer No.** 416  
**Contact:**  
**Terms:** Due Upon Receipt  
**Invoice Due Date:** 02/29/2016

Quantity	Description	Unit Price	Net Amount
1	DESIGN REVIEW FEES	2,271.00	2,271.00

Notes:	<b>Amount</b>	2,271.00
	<b>Balance Due</b>	<u><u>2,271.00</u></u>

**Please remit payment to:**  
 City of Ketchum  
 Post Office Box 2315  
 Ketchum, Idaho 83340



**AREA CALCULATIONS**

**FLOOR AREA, NET (NSF):** SUM OF HORIZONTAL FLOOR AREA NOT INCLUDING OPEN ENCLOSED DECKS, INTERIOR OR EXTERIOR CIRCULATION, MECHANICAL EQUIPMENT ROOMS, PARKING AREAS, COMMON AREAS, PUBLIC BATHROOMS OR STORAGE AREAS IN BASEMENTS.(PER CITY CODE §17.08.020)

	<u>OFFICE/RETAIL</u>	<u>RESIDENTIAL</u>	<u>COMMON</u>	<u>GARAGE</u>	<u>CIRCULATION / MECHANICAL</u>
LEVEL 1 (GROUND LEVEL)	1,541 GSF	0 NSF	885 GSF	451 GSF	0 NSF
LEVEL 2 (SECOND LEVEL)	1,544 GSF	1,504 NSF	180 GSF	0 GSF	133 NSF
LEVEL 3 (THIRD LEVEL)	0 GSF	2,140 NSF	0 GSF	0 GSF	285 NSF
TOTAL BY USE	3,085 GSF	3,644 NSF	1,065 GSF	451 GSF	418 NSF
<b>TOTAL</b>	<b>8,663 GSF</b>				

**PARKING CALCULATIONS** (PER CITY CODE §17.125.060)

<u>USE</u>	<u>PARKING REQUIREMENTS/ PARKING DEMAND</u>
RESIDENTIAL	1.0 PER 1,500 NET SQUARE FEET (NSF)
RETAIL TRADE AND RETAIL SERVICE	2.0 PER 1,000 GROSS SQUARE FEET (GSF)
STREET PARKING CREDIT	4.0 PER 5,500 SF OF LOT AREA

<u>REQUIRED</u>	<u>STALLS</u>	<u>CALCULATION</u>
OFFICE & RETAIL	6.17	[(3,085 GSF) / 1,000 GSF] x 2.0
RESIDENTIAL	2.43	[(3,644 NSF) / 1,500 NSF] x 1.0
COMMON	N/A	
GARAGE	N/A	
CIRCULATION / MECHANICAL (NSF)	N/A	
<b>TOTAL PARKING REQUIRED</b>	<b>5</b>	<b>[8.69 - 4.0 = 4.59~5]</b>
4.0 SPACES CREDITED PER CITY CODE §17.125.060 B		
FRACTIONS ROUNDED PER CITY CODE §17.125.050 B		

<u>OFF-STREET PARKING STALLS SUMMARY</u>	<u>REQUIRED</u>	<u>PROVIDED*</u>
(MIN. 9'-0"x18'-0" SIZE PER CITY CODE §17.125.030)	5	5
*INCLUDES ONE ADA COMPLIANT VAN ACCESSIBLE PARKING STALL (11'-0" x 18'-0")		

**FLOOR AREA RATIO (F.A.R.)** (PER CITY CODE §17.124.040)

PROJECT PROPOSED F.A.R. = 1.42 [7,794 GSF / 5,500 GSF]  
 [ADJUSTED TOTAL GSF AREA = 7,794 GSF (GARAGE & CIRCULATION/MECHANICAL NOT INCLUDED)]

<u>DISTRICT</u>	<u>BASIC F.A.R. ALLOWANCE</u>	<u>PROPOSED F.A.R.</u>	<u>MAXIMUM F.A.R. ALLOWED WITH INCLUSIONARY HOUSING INCENTIVES</u>
CC DISTRICT	1.0 (5,500 GSF)	1.42 (7,794 GSF)	2.25 (12,375 GSF)

COMMUNITY HOUSING REQUIRED FOR PROJECTS OVER 1.0 F.A.R.  
 COMMUNITY HOUSING REQUIREMENT = (TOTAL GSF OF DEVELOPMENT - LOT AREA) x 20% x 85%  
 IN LIEU FEE = [(COMMUNITY HOUSING REQUIRED AREA x \$196/SF)

[CALCULATIONS]  
 [7,794 GSF - 5,500 GSF = 2,294 GSF]  
 [2,294 SF x 20% = 458.80 SF]  
 [458.80 SF x 85% = 389.98 SF (COMMUNITY HOUSING REQUIREMENT)]  
 [389.98 SF x \$196/SF = \$76,436.08 (IN LIEU FEE)]

**DESIGN REVIEW AUTHORITY** (PER CITY CODE §17.96.010)

Attachment B: Plans

# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340



## COMPLIANCE WITH DESIGN REVIEW STANDARDS

This project has been designed to comply with the Design Standards established per Ketchum City Code §17.96.010

The following items have been specifically addressed and/or clarified per the Staff Report and Commissioner comments as follows:

Item	Standard	Notes for how applicant has addressed compliance with the standards
1. Snow Removal	17.96090(B)(4)i	Snow removal agreement to remove snow to offsite location will be established.
2. Site Lighting Plan	17.18.130(F)(m)(1)	Lighting Plan per sheet DR-13 and illumination will conform to dark sky ordinance.
3. Master Sign Plan	17.96.090(B)(9)a	Master Sign Plan per sheet DR-14.
4. Drip Lines / Drainage	17.96.090 17.18.130(F)(c)3	No drip lines or snow shedding occur on public sidewalks. Roof Drainage - collected into drywell located under covered garage. Canopy Drainage - collected into planters directed by internal gutters to planters.
5. Mechanical Screening	17.18.130(F)(c)4	Mechanical units are located on roof and are screened on the roof as shown per elevations.
6. Green Building	17.96.090(B)(8)	Green Building - the project will be constructed to USGBC standards.
7. Public Open Space	17.18.130(F)(h)(1)a	Trash receptacles, benches and gathering spaces are provided along the public streets.
8. Letters of Adequacy/Service	17.18.130(F)	Letters are provided per Design Review Standard Compliance Checklist and commissioner requests to confirm that all utilities and service provider have reviewed the proposed project for adequacy.

## SHEET INDEX

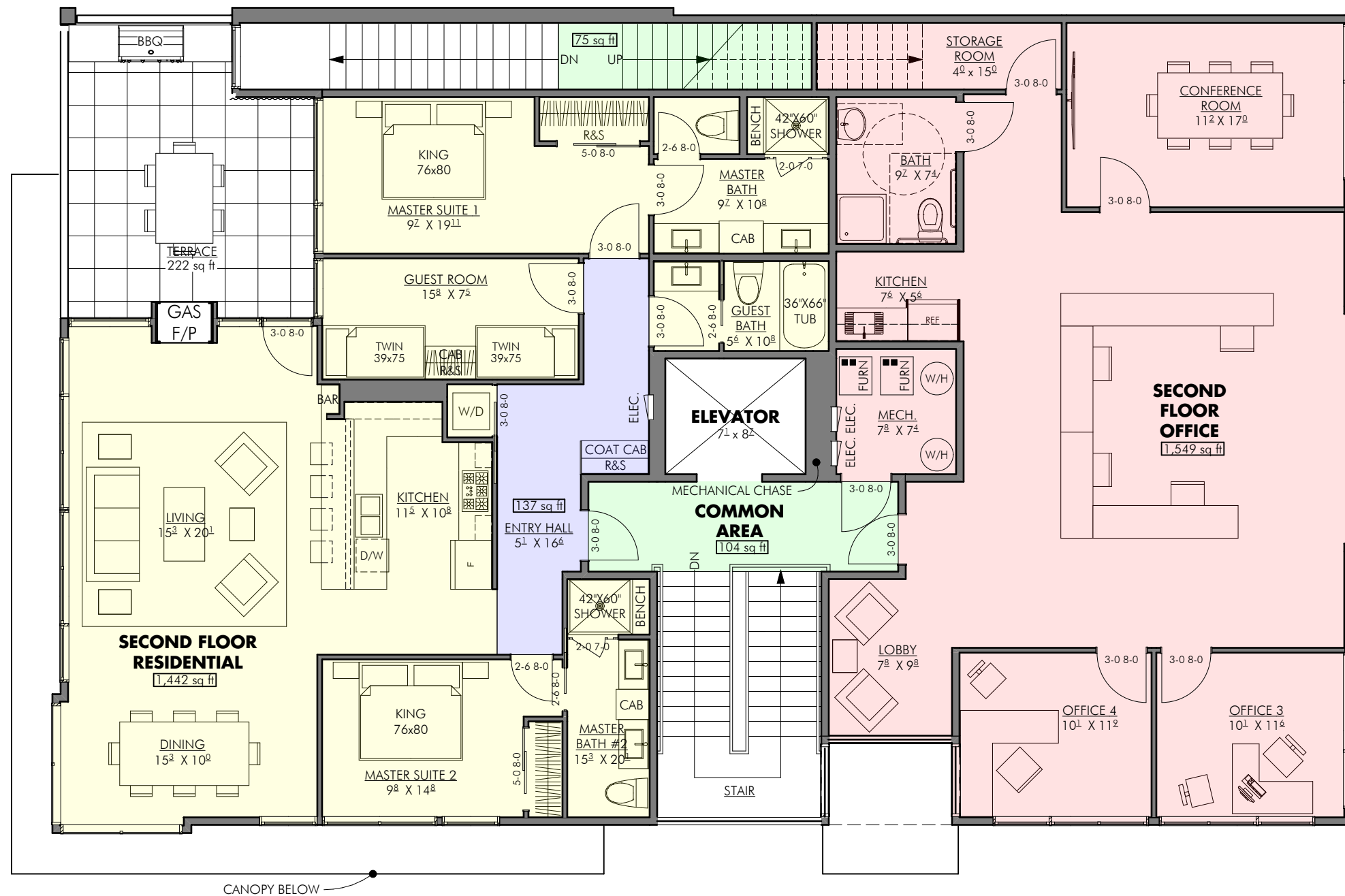
DR-01	PACKET SUMMARY
DR-02	GROUND FLOOR PLAN
DR-03	SECOND FLOOR PLAN
DR-04	THIRD FLOOR PLAN
DR-05	ROOF DECK FLOOR PLAN
DR-06	SOUTH ELEVATION
DR-07	WEST ELEVATION
DR-08	EAST ELEVATION
DR-09	NORTH ELEVATION
DR-10	MATERIALS BOARD
DR-11	BUILDING ELEMENTS
DR-12	LANDSCAPE IMAGES
DR-13	LIGHTING SUMMARY
DR-14	MASTER SIGN PLAN
ATTACHMENTS:	
- Project Review Letters by Clear Creek Disposal, Idaho Power, Intermountain Gas, BCHA, Evergreen Landscaping (Snow Removal)	





# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340



120 SECOND AVENUE NORTH, SUITE 102 VISIT  
P.O. BOX 4373, KETCHUM, ID 83340 MAIL



A PROFESSIONAL SERVICES CORPORATION

PHONE 208.726.0020 FAX 208.726.0019  
WEB WILLIAMS-PARTNERS.COM

1/8" = 1'-0"  
SECOND FLOOR PLAN

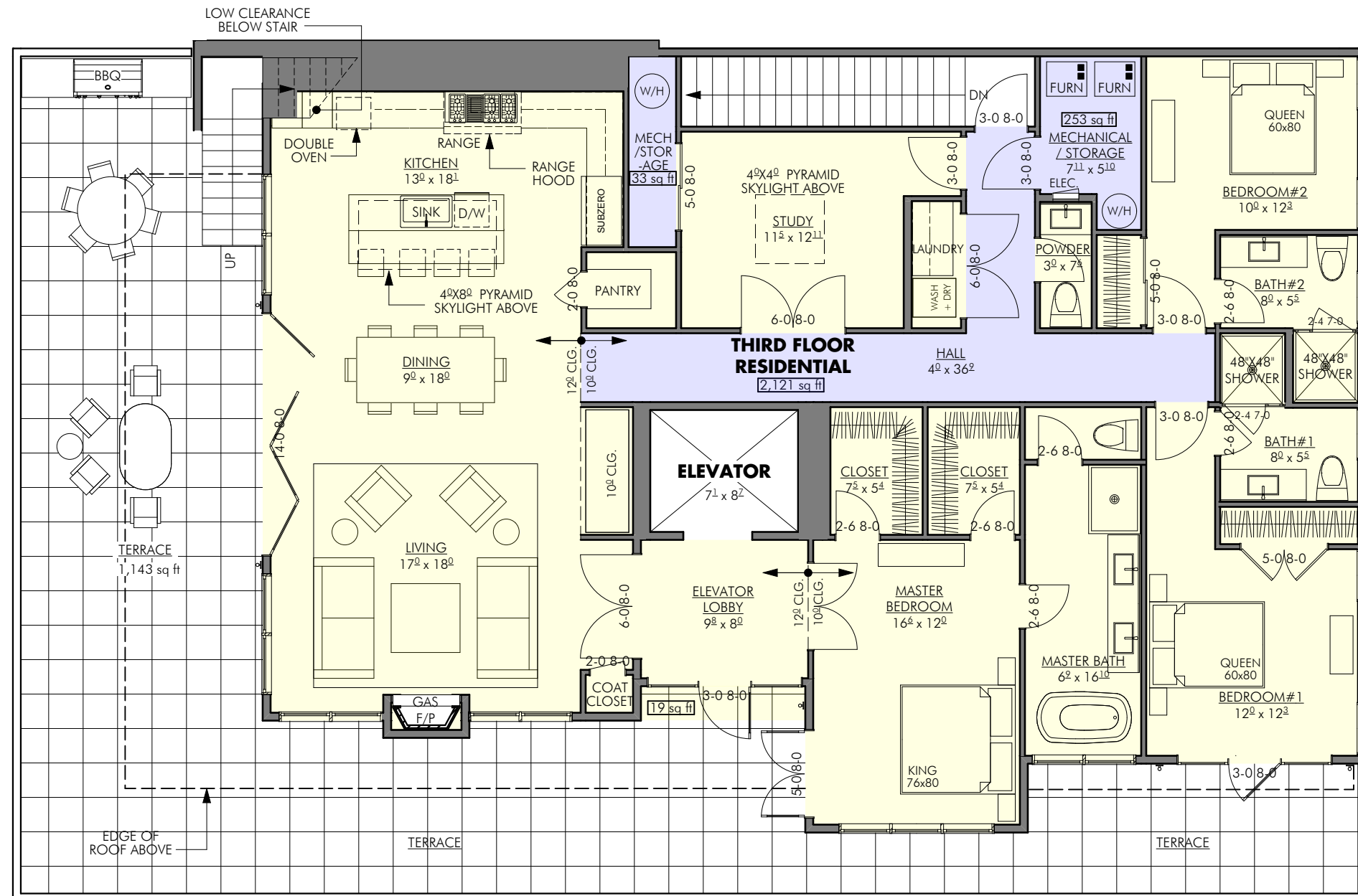
## DR-03

2/19/2016



# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340



120 SECOND AVENUE NORTH, SUITE 102 VISIT  
 P.O. BOX 4373, KETCHUM, ID 83340 MAIL

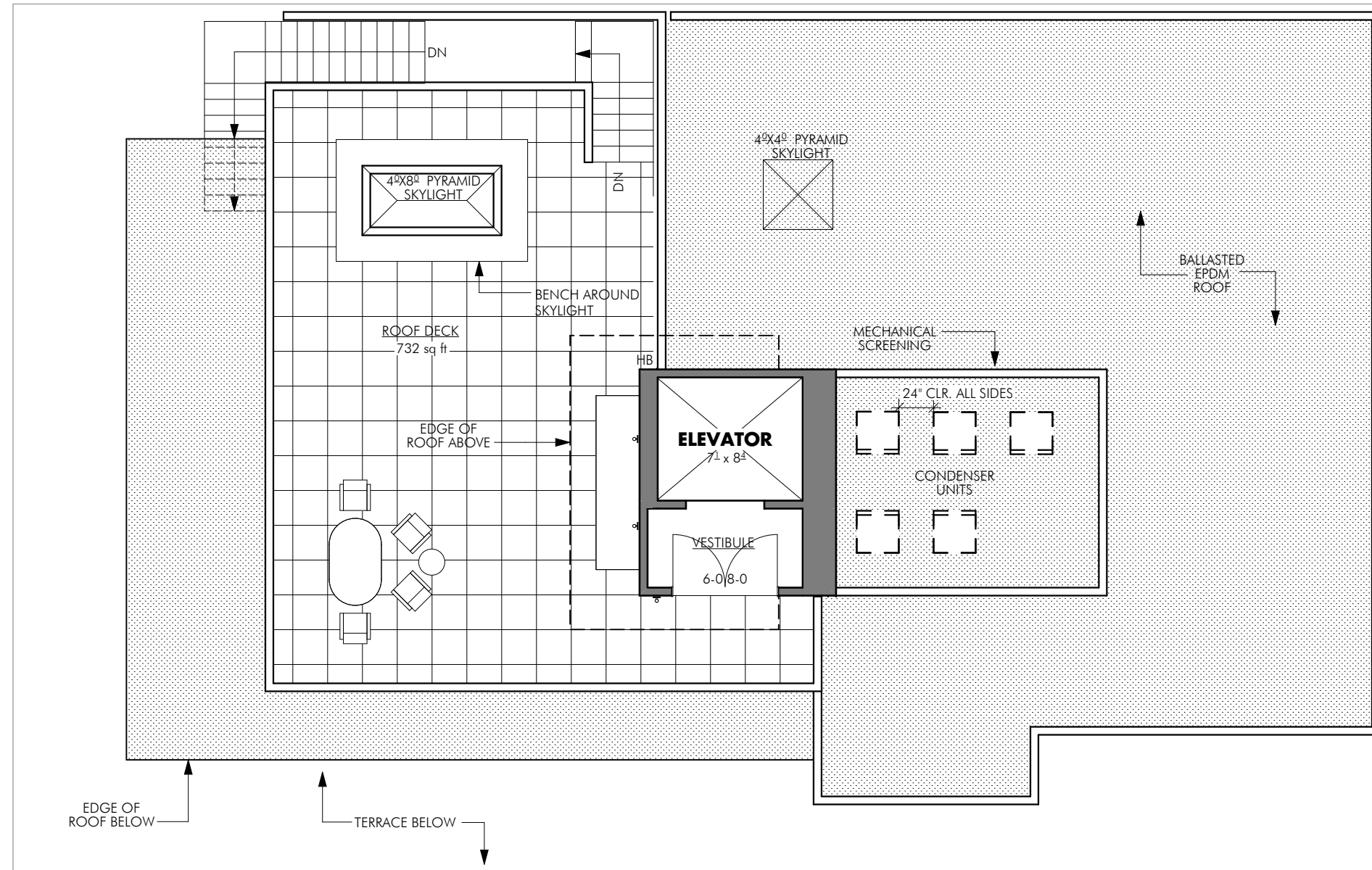


A PROFESSIONAL SERVICES CORPORATION

PHONE 208.726.0020 FAX 208.726.0019  
 WEB WILLIAMS-PARTNERS.COM

# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340



120 SECOND AVENUE NORTH, SUITE 102 VISIT  
P.O. BOX 4373, KETCHUM, ID 83340 MAIL



A PROFESSIONAL SERVICES CORPORATION

PHONE 208.726.0020 FAX 208.726.0019  
WEB WILLIAMS-PARTNERS.COM

# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340

## MATERIAL KEYNOTES

<b>A</b> SIDING - METAL (Standing Seam Bonderized Unsealed)	<b>E</b> CONCRETE (Board Formed)	<b>J</b> WINDOWS (Storefront Black)
<b>B</b> SIDING - FIBER CEMENT (Rainscreen)	<b>F</b> CONCRETE (Smooth Formed)	<b>K</b> WINDOWS (Metal Clad Black)
<b>C</b> SIDING - WOOD SLATS (Rainscreen)	<b>G</b> ROOF (Ballasted Roof System)	<b>L</b> WINDOW ACCENT METAL BLADE (Black Paint)
<b>D</b> SIDING - METAL (Corrugated ReziBond® Unsealed)	<b>H</b> ROOF TERRACE (Pavers Over Roofing Membrane)	<b>M</b> SOFFIT / FASCIA - Metal (Black Paint)



120 SECOND AVENUE NORTH, SUITE 102 VISIT  
P.O. BOX 4373, KETCHUM, ID 83340 MAIL



A PROFESSIONAL SERVICES CORPORATION

PHONE 208.726.0020 FAX 208.726.0019  
WEB WILLIAMS-PARTNERS.COM

# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340

## MATERIAL KEYNOTES

<b>A</b> SIDING - METAL (Standing Seam Bonderized Unsealed)	<b>E</b> CONCRETE (Board Formed)	<b>J</b> WINDOWS (Storefront Black)
<b>B</b> SIDING - FIBER CEMENT (Rainscreen)	<b>F</b> CONCRETE (Smooth Formed)	<b>K</b> WINDOWS (Metal Clad Black)
<b>C</b> SIDING - WOOD SLATS (Rainscreen)	<b>G</b> ROOF (Ballasted Roof System)	<b>L</b> WINDOW ACCENT METAL BLADE (Black Paint)
<b>D</b> SIDING - METAL (Corrugated ReziBond® Unsealed)	<b>H</b> ROOF TERRACE (Pavers Over Roofing Membrane)	<b>M</b> SOFFIT / FASCIA - Metal (Black Paint)



120 SECOND AVENUE NORTH, SUITE 102 VISIT  
P.O. BOX 4373, KETCHUM, ID 83340 MAIL



A PROFESSIONAL SERVICES CORPORATION

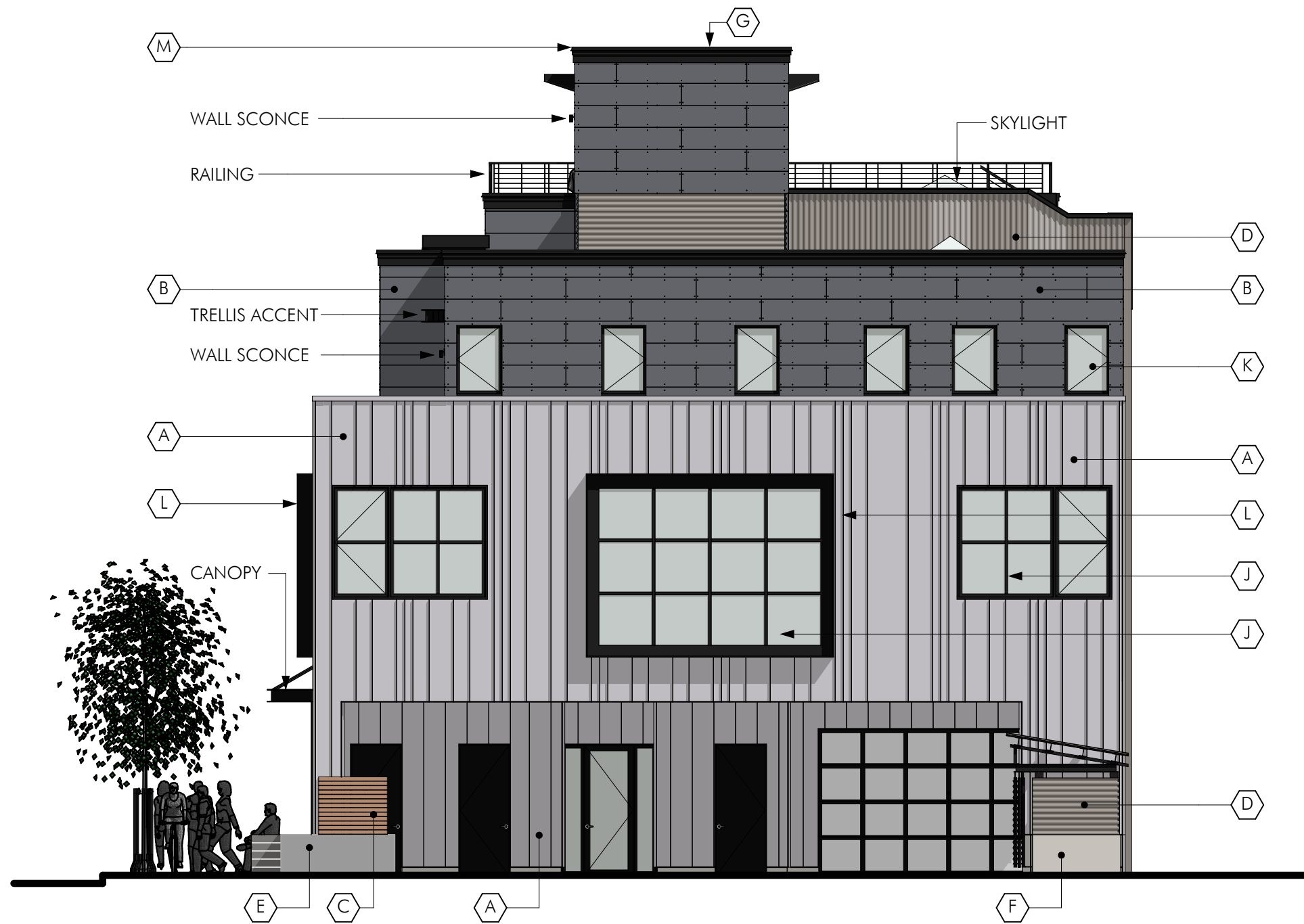
PHONE 208.726.0020 FAX 208.726.0019  
WEB WILLIAMS-PARTNERS.COM

# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340

## MATERIAL KEYNOTES

<b>A</b>	SIDING - METAL (Standing Seam Bonderized Unsealed)	<b>E</b>	CONCRETE (Board Formed)	<b>J</b>	WINDOWS (Storefront Black)
<b>B</b>	SIDING - FIBER CEMENT (Rainscreen)	<b>F</b>	CONCRETE (Smooth Formed)	<b>K</b>	WINDOWS (Metal Clad Black)
<b>C</b>	SIDING - WOOD SLATS (Rainscreen)	<b>G</b>	ROOF (Ballasted Roof System)	<b>L</b>	WINDOW ACCENT METAL BLADE (Black Paint)
<b>D</b>	SIDING - METAL (Corrugated ReziBond® Unsealed)	<b>H</b>	ROOF TERRACE (Pavers Over Roofing Membrane)	<b>M</b>	SOFFIT / FASCIA - Metal (Black Paint)



120 SECOND AVENUE NORTH, SUITE 102 VISIT  
P.O. BOX 4373, KETCHUM, ID 83340 MAIL



A PROFESSIONAL SERVICES CORPORATION

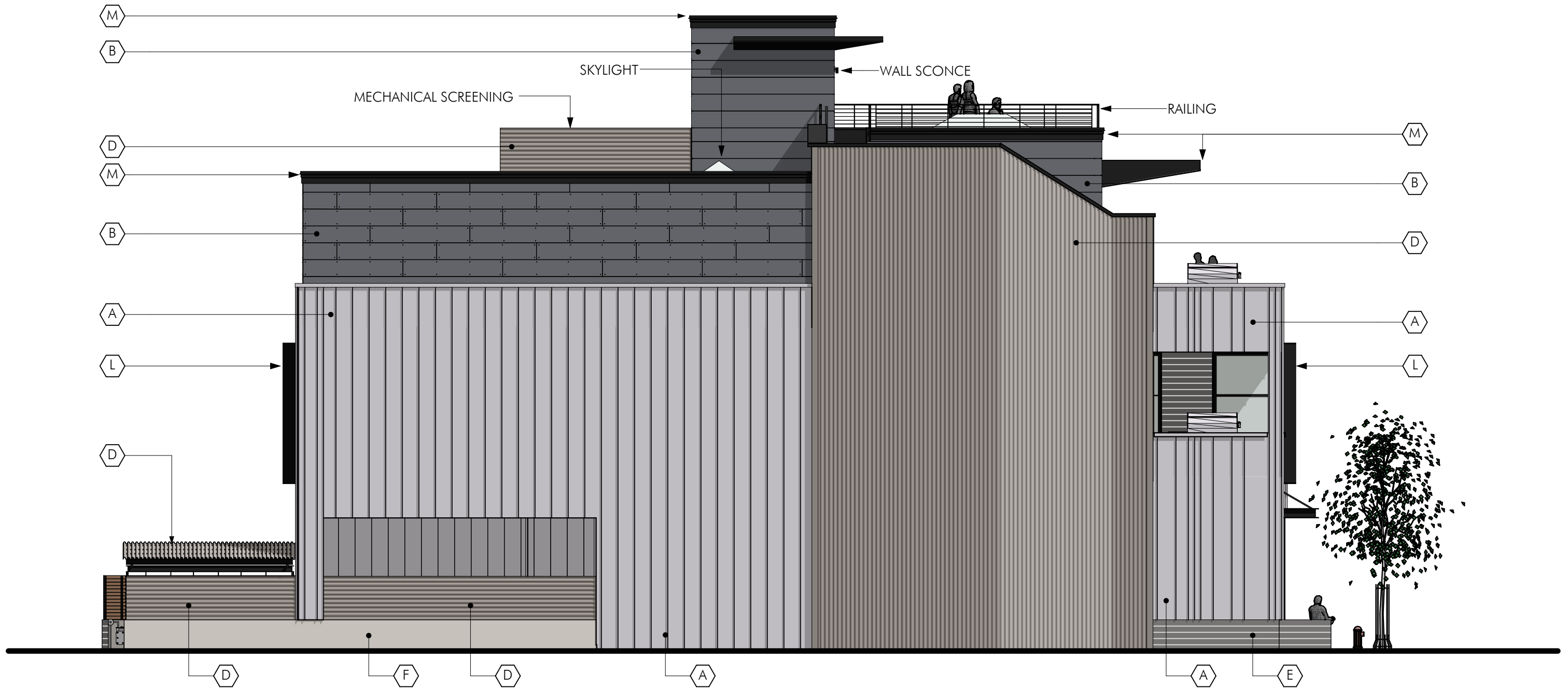
PHONE 208.726.0020 FAX 208.726.0019  
WEB WILLIAMS-PARTNERS.COM

# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340

## MATERIAL KEYNOTES

<b>A</b>	SIDING - METAL (Standing Seam Bonderized Unsealed)	<b>E</b>	CONCRETE (Board Formed)	<b>J</b>	WINDOWS (Storefront Black)
<b>B</b>	SIDING - FIBER CEMENT (Rainscreen)	<b>F</b>	CONCRETE (Smooth Formed)	<b>K</b>	WINDOWS (Metal Clad Black)
<b>C</b>	SIDING - WOOD SLATS (Rainscreen)	<b>G</b>	ROOF (Ballasted Roof System)	<b>L</b>	WINDOW ACCENT METAL BLADE (Black Paint)
<b>D</b>	SIDING - METAL (Corrugated ReziBond® Unsealed)	<b>H</b>	ROOF TERRACE (Pavers Over Roofing Membrane)	<b>M</b>	SOFFIT / FASCIA - Metal (Black Paint)



120 SECOND AVENUE NORTH, SUITE 102 VISIT  
P.O. BOX 4373, KETCHUM, ID 83340 MAIL



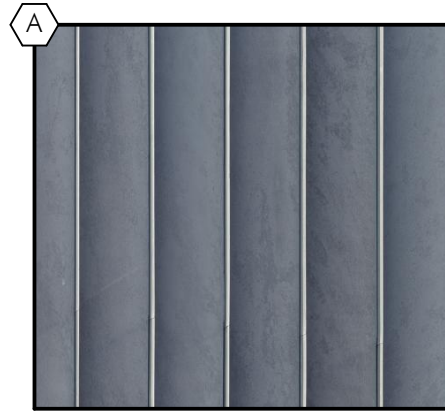
A PROFESSIONAL SERVICES CORPORATION

PHONE 208.726.0020 FAX 208.726.0019  
WEB WILLIAMS-PARTNERS.COM

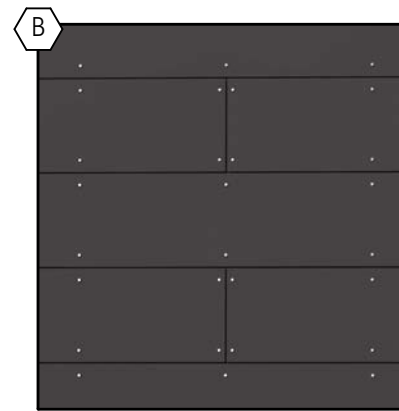
# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340

**BUILDING ELEMENT  
MATERIAL  
COLOR /FINISH  
NOTES**



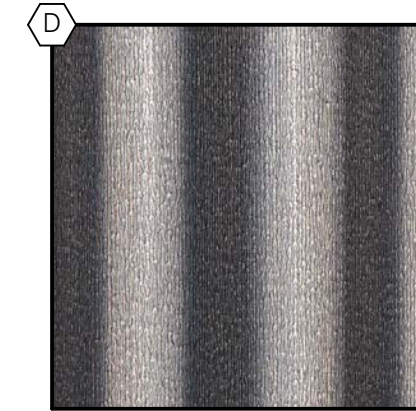
**A**  
SIDING  
STANDING SEAM METAL SIDING  
BONDERIZED  
VARYING WIDTH PANELS



**B**  
SIDING  
FIBER CEMENT PANELS (16' X 8'0")  
CHARCOAL GREY (PLUTO)  
RAINSCREEN

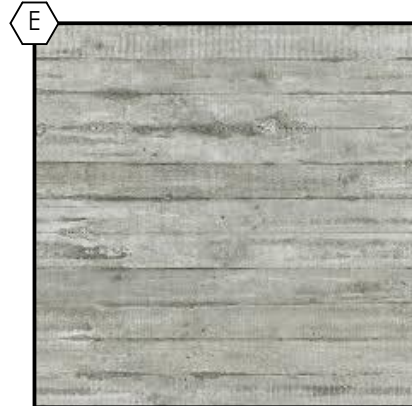


**C**  
SIDING  
STAINED MAHOGANY RAINSCREEN  
BROWN/ RED HUES  
RAINSCREEN

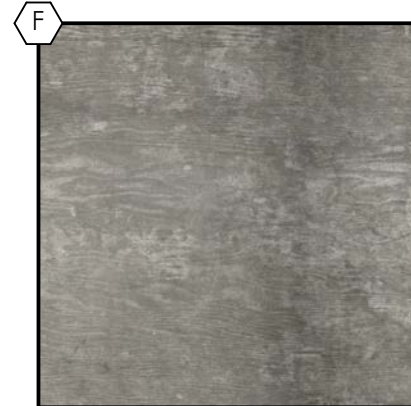


**D**  
SIDING  
METAL - Corrugated  
ReziBond®  
VERTICAL & HORIZONTAL

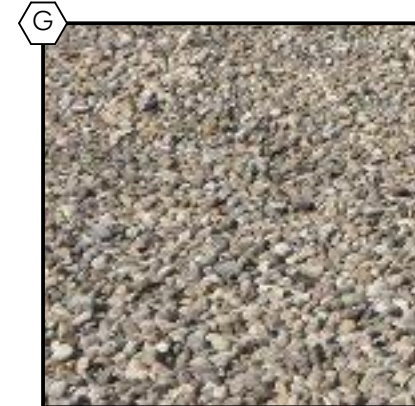
**BUILDING ELEMENT  
MATERIAL  
COLOR /FINISH  
NOTES**



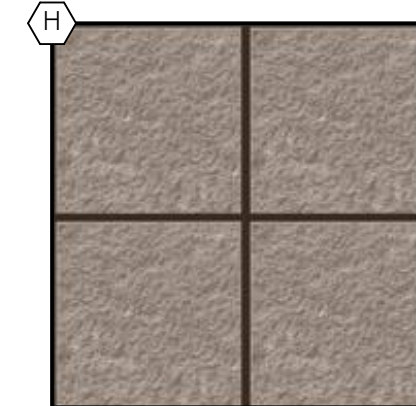
**E**  
PLANTER WALLS  
BOARD FORMED CONCRETE  
GREY  
30" HIGH WALLS



**F**  
GARAGE/TRASH ENCLOSURE WALLS  
SMOOTH CONCRETE  
GREY  
30" HIGH WALLS



**G**  
ROOFING  
BALLASTED ROOF  
TAN/GREY  
N/A

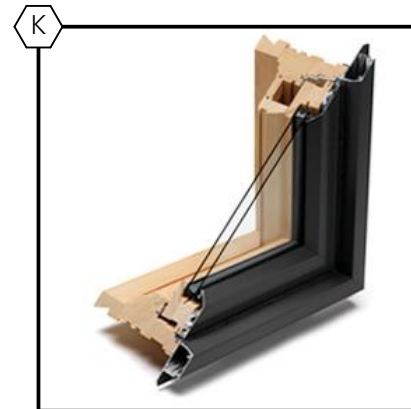


**H**  
TERRACES  
24X24" PORCELAIN PAVERS  
GREY  
@ SECOND & THIRD FLOORS

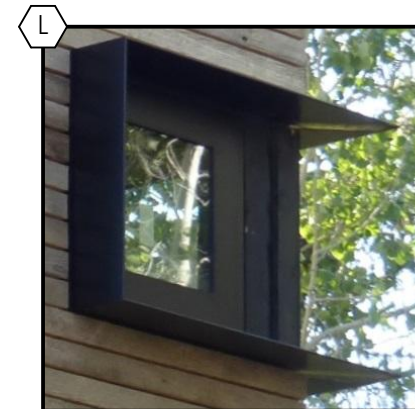
**BUILDING ELEMENT  
MATERIAL  
COLOR /FINISH  
NOTES**



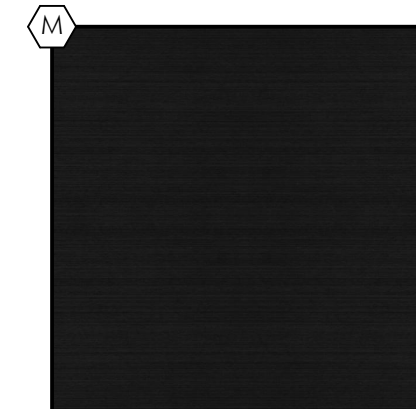
**J**  
STOREFRONT WINDOWS  
ALUMINUM CLAD  
BLACK  
@ LOWER TWO FLOORS



**K**  
ALUMINUM CLAD WINDOWS  
METAL  
BLACK  
@ THIRD FLOOR ONLY



**L**  
WINDOW ACCENT BLADE  
METAL  
BLACK  
1/4" WELDED STEEL



**M**  
FASCIA / TRIM / SOFFIT  
METAL  
BLACK

120 SECOND AVENUE NORTH, SUITE 102 VISIT  
P.O. BOX 4373, KETCHUM, ID 83340 MAIL

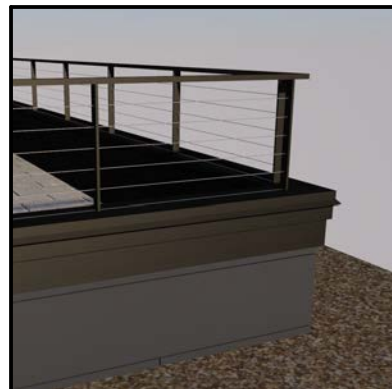


A PROFESSIONAL SERVICES CORPORATION

PHONE 208.726.0020 FAX 208.726.0019  
WEB WILLIAMS-PARTNERS.COM

# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340



## RAILING

### ELEMENT

Railing Post  
Railing Cap  
Rail Guard

### MATERIAL

Metal Uprights  
Metal  
Steel Cable Wire

### COLOR / FINISH

Black  
Black  
Stainless Steel



## STREET LEVEL CANOPY

### ELEMENT

Canopy Fascia  
Canopy Panels  
Gutters / Drainage

### MATERIAL

Metal "C" Channel  
Metal - Corrugated  
Metal - Integrated metal  
gutters behind fascia  
that drain into planters  
(no drip edges)

### COLOR / FINISH

Black  
Black  
Black



## TRASH ENCLOSURE

### ELEMENT

Trash Enclosure Walls

Trash Enclosure Panels  
Trash Enclosure Roof

### MATERIAL

30" high concrete wall  
base with horizontal  
corrugated metal sheets  
(3) sliding panels  
Corrugated metal

### COLOR / FINISH

Grey smooth concrete  
with Rezi-Bond® corrugated metal  
  
Rezi-Bond® on black metal frame  
Rezi-Bond® over black metal frame



# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340

## MIXED FLOWERS / PERENNIALS



Feather Reed Grass Karl Foerster



Shasta Daisy Snowdrop



Penstemon Firecracker



Salvia Caradonna



Autumn Moor Grass-Z5



Coreopsis\_Moonbeam



Cerastium Snow in Summer



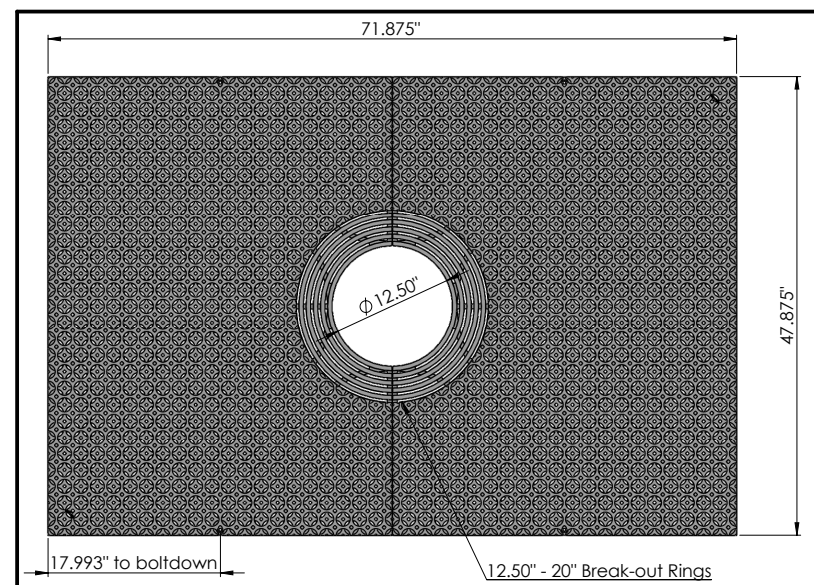
Geranium renardii\_Tschelda

## STREET TREES



Acer Platanoides

## BENCHES, TREE GRATE & BIKE RACKS



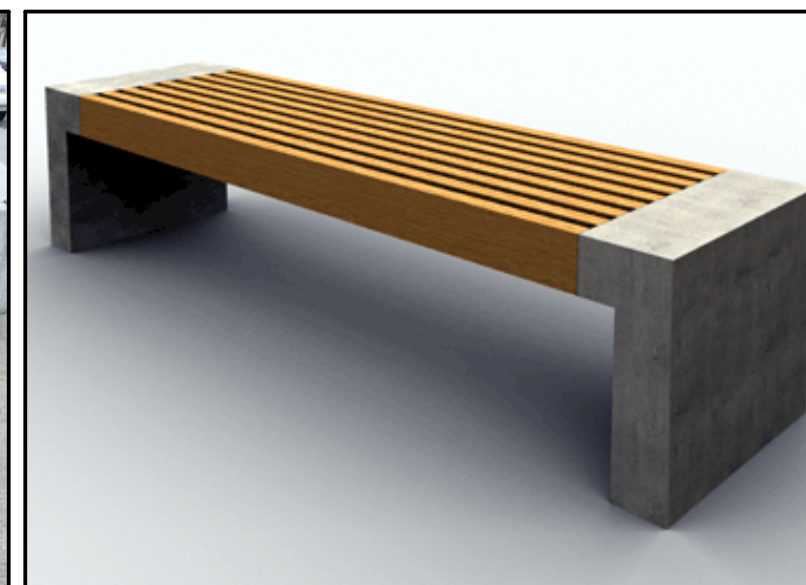
Tree Grate - Iron Age Designs - Interlaken



Bike Rack Bollards



Bike Rack Bollard Close-up View



Benches

120 SECOND AVENUE NORTH, SUITE 102 VISIT  
P.O. BOX 4373, KETCHUM, ID 83340 MAIL



A PROFESSIONAL SERVICES CORPORATION

PHONE 208.726.0020 FAX 208.726.0019  
WEB WILLIAMS-PARTNERS.COM

# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340

### SITE LIGHTING KEY

- (A) WALL SCONCE
- (B) RECESSED CAN
- (C) STREET LIGHT

Note: All lighting to be compliant with the Dark Sky Ordinance.



## EL CAPITAN SERIES™



(A) WALL SCONCE



LED-1401-11W-FL-30K-P-BK

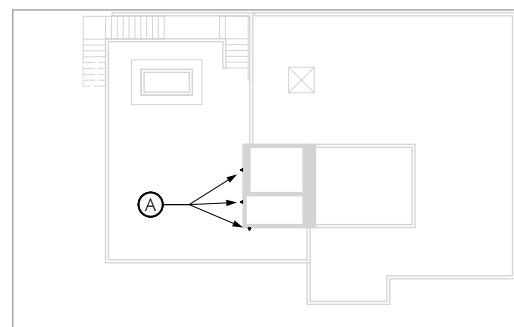
Photometric Multiplier .75

(B) RECESSED CAN

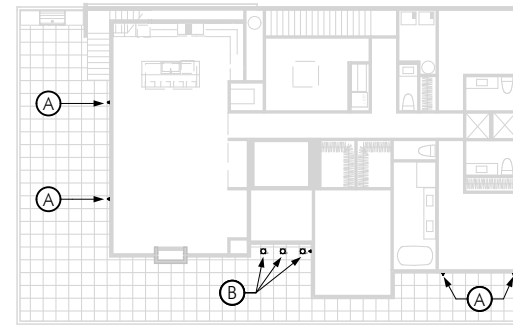


INOVUS

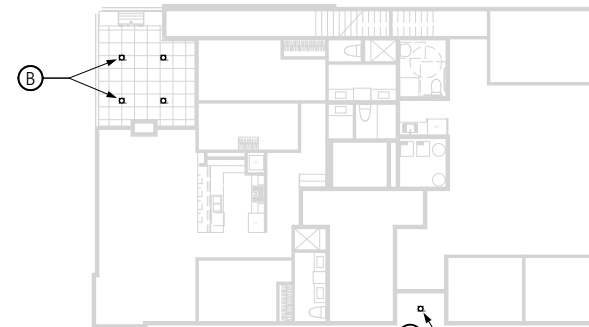
(C) STREET LIGHT



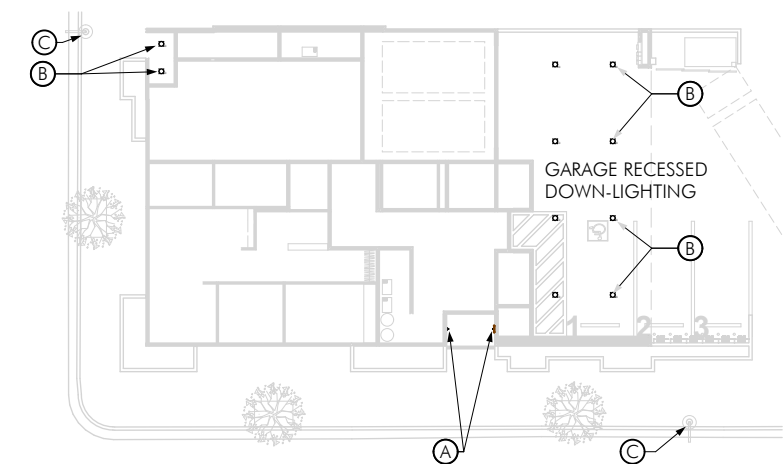
ROOF LEVEL 1" = 30'



THIRD FLOOR LEVEL 1" = 30'



SECOND FLOOR LEVEL 1" = 30'



GROUND FLOOR LEVEL 1" = 30'

120 SECOND AVENUE NORTH, SUITE 102 VISIT  
P.O. BOX 4373, KETCHUM, ID 83340 MAIL

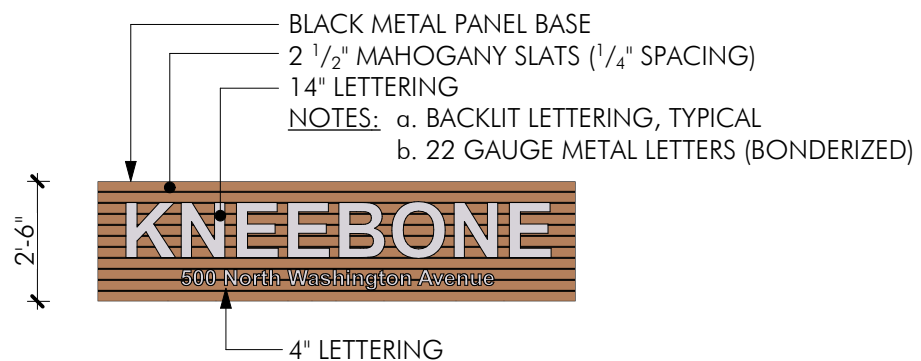


A PROFESSIONAL SERVICES CORPORATION

PHONE 208.726.0020 FAX 208.726.0019  
WEB WILLIAMS-PARTNERS.COM

# Kneebone Mixed Use Building

500 North Washington Avenue, Ketchum Idaho 83340



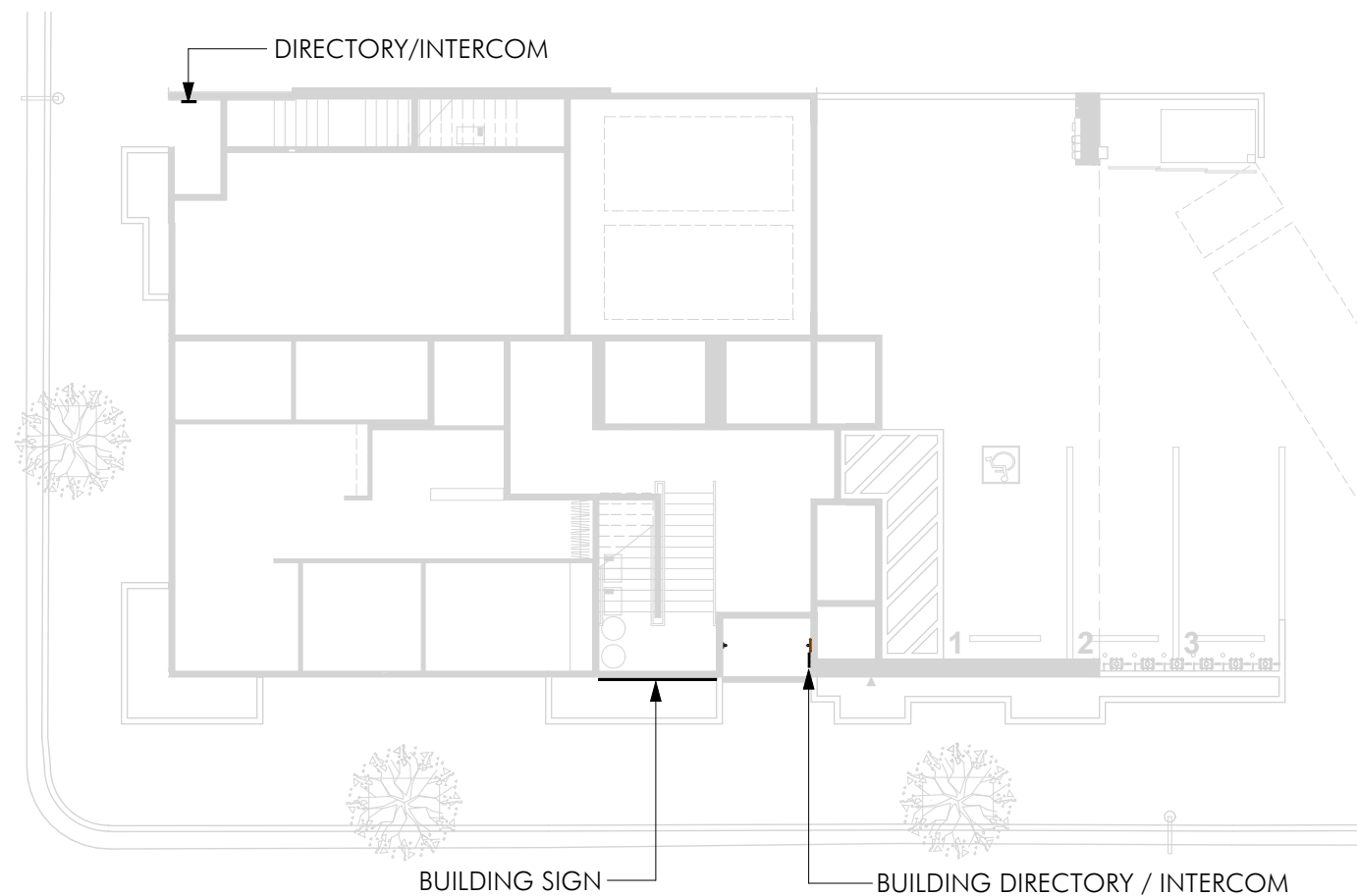
### MAIN ENTRY SIGN SUMMARY

DIMENSIONS = 30" X 120"  
 SIGN AREA = 25 SQ. FT.

BUILDING DIRECTORY	
<b>GROUND LEVEL</b>	COMMERCIAL UNIT #1 COMMERCIAL UNIT #2
<b>FIRST LEVEL</b>	COMMERCIAL UNIT #3 RESIDENTIAL UNIT #1
<b>SECOND LEVEL</b>	RESIDENTIAL UNIT #2



**KNEEBONE BUILDING ENTRY SIGN**



**SITE SIGNAGE PLAN**

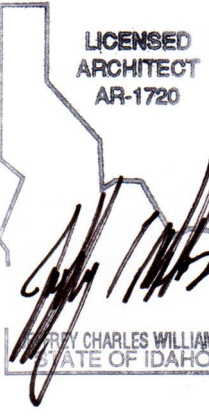
120 SECOND AVENUE NORTH, SUITE 102 VISIT  
 P.O. BOX 4373, KETCHUM, ID 83340 MAIL



A PROFESSIONAL SERVICES CORPORATION

PHONE 208.726.0020 FAX 208.726.0019  
 WEB WILLIAMS-PARTNERS.COM

OWNERSHIP OF DOCUMENTS: The instruments of service herein are solely for use with respect to the Project. Plans, drawings, specifications, and other documents of service and shall retain all common law, statutory and other reserved rights, including copyrights.



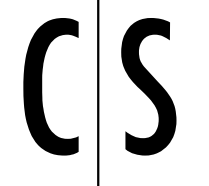
# KNEEBONE BUILDING

500 North Washington Avenue, Ketchum, Idaho



**ARCHITECTS**  
 MAIL P.O. B. 4373  
 KETCHUM, IDAHO  
 83340  
 PHONE 208.726.0020  
 FAX 208.726.0019  
 WWW WILLIAMS-PARTNERS.COM

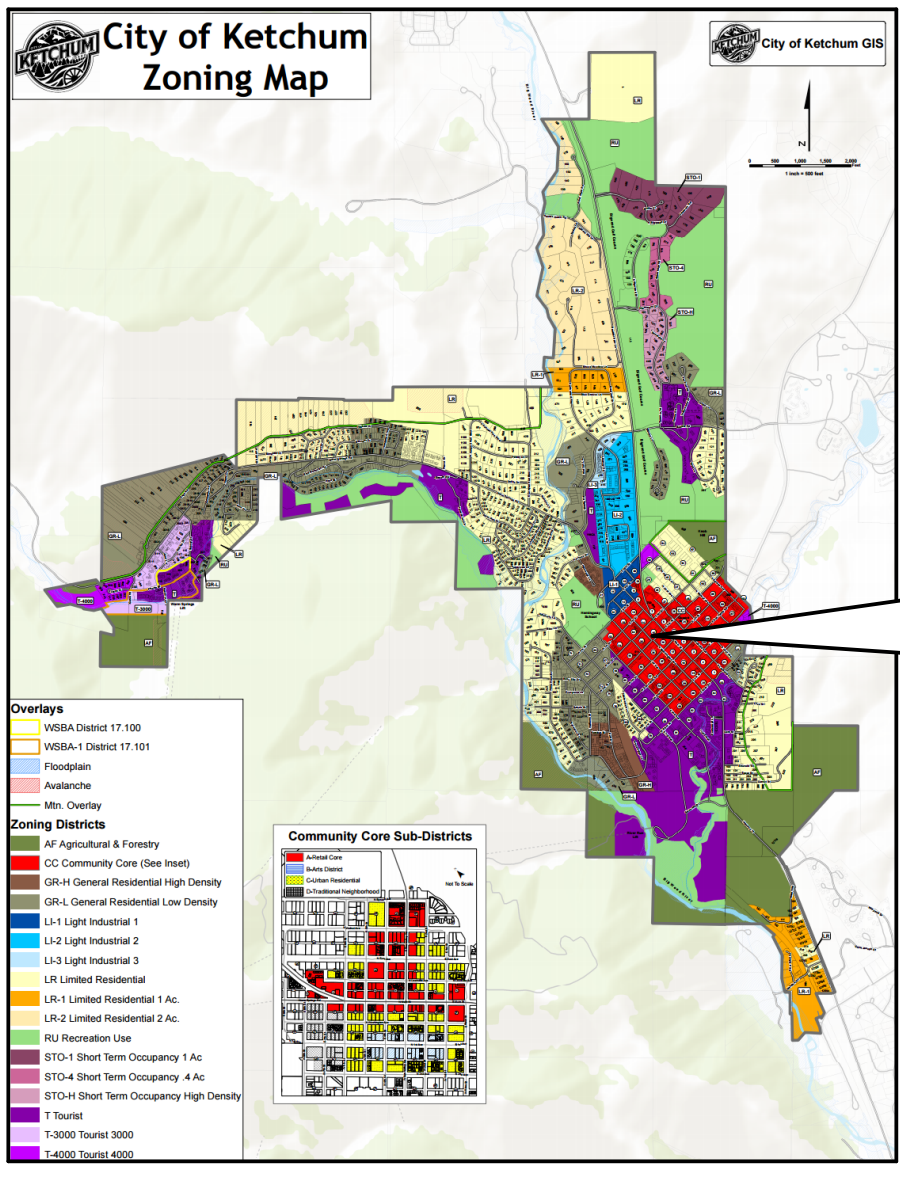
DATE 2/19/2016  
 REVISION DESIGN REVIEW SET



# KNEEBONE BUILDING



SATELLITE VIEW



VICINITY MAP



NEIGHBORHOOD MAP

PROJECT LOCATION

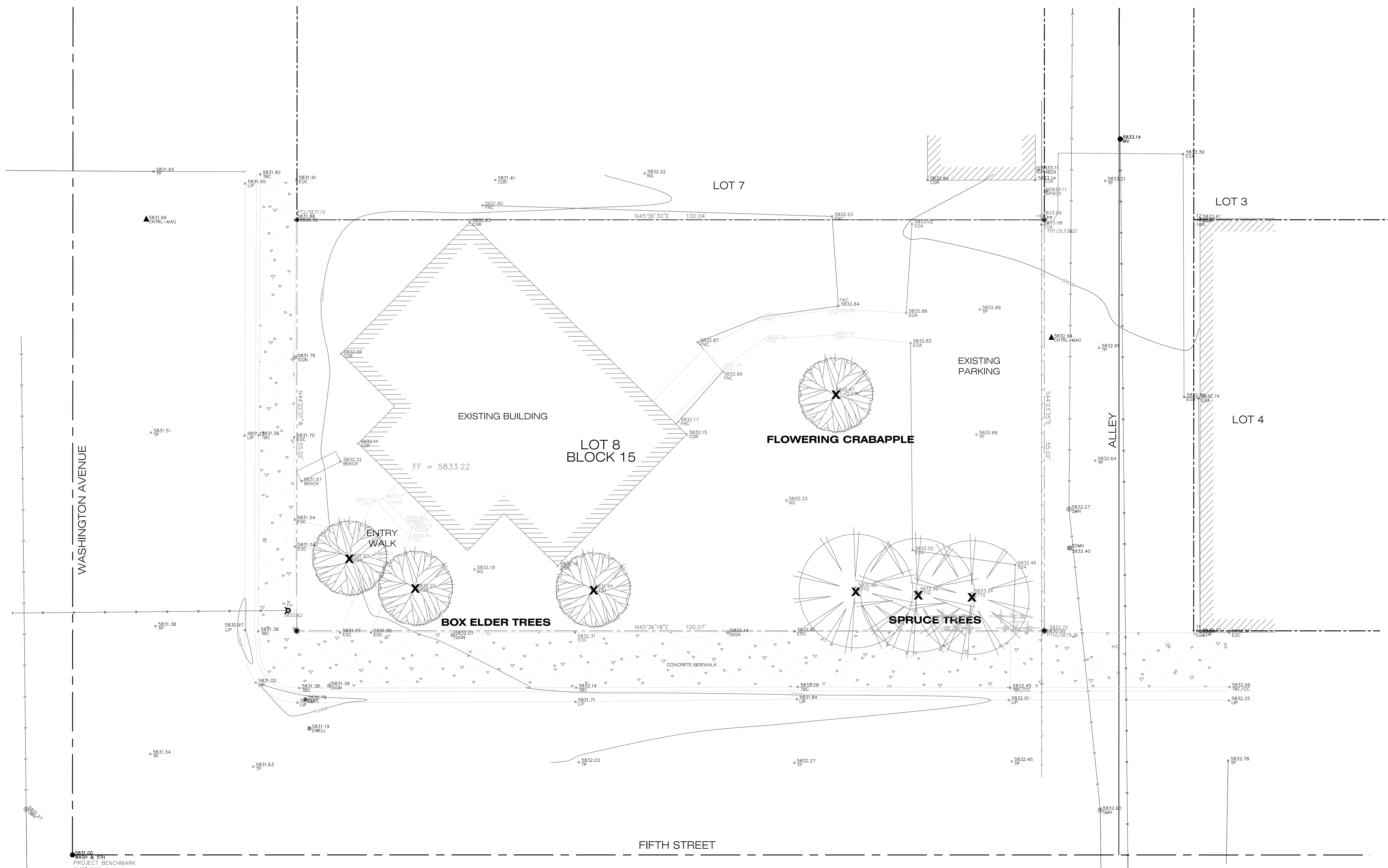
PROJECT SUMMARY		
<b>ADDRESS</b> 500 North Washington Avenue Ketchum, ID 83340	<b>LEGAL DESCRIPTION</b> KETCHUM LOT 8 BLK 15 5500SF	
<b>JURISDICTION</b> CITY OF KETCHUM	<b>COUNTY</b> BLAINE	
<b>CODES ADOPTED</b> (PER CITY CODE §15.04.010) - THE INTERNATIONAL BUILDING CODE (IBC) 2012 EDITION, INCLUDING APPENDICES A, B, C, E, G, I, AND J, AND REVISED SECTION 903 AND EXCLUDING SECTION 101.4.3 - THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012 EDITION, INCLUDING APPENDIX - THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2012 EDITION - THE INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC), 2012 EDITION - THE INTERNATIONAL RESIDENTIAL CODE (IRC), 2012 EDITION, PARTS 1 THROUGH IV AND IX, INCLUDING APPENDICES D, E, F, G, H, J, K AND M		
<b>ZONING</b> (PER CITY CODE §17.124.040 TABLE A) CC COMMUNITY CORE - SUBDISTRICT C: URBAN RESIDENTIAL		
<b>PERMITTED USE(S)</b> (PER CITY CODE §17.12.040 TABLE B, SUBDISTRICT C: URBAN RESIDENTIAL) RESIDENTIAL: DWELLING, MULTIFAMILY COMMERCIAL: OFFICE, BUSINESS OR RETAIL TRADE		
<b>SETBACKS/HEIGHT</b> (PER CITY CODE §17.12.040 TABLE B, SUBDISTRICT C: URBAN RESIDENTIAL) FRONT (Washington Avenue) = 5'-0" SIDE YARD (Adjacent/Interior) = 0'-0" SIDE (5th Street) = 5'-0" REAR (Alley) = 3'-0"		
	REQUIRED/ MAXIMUM	PROPOSED
BUILDING HEIGHT	42'-0"	42'-0"
HEIGHT ABOVE ROOFLINE	10'-0"	9'-0"
FIRST FLOOR CEILING HEIGHT, RETAIL	12'-0" - 15'-0"	12'-0"
FIRST FLOOR CEILING HEIGHT, RESIDENTIAL	8'-0" - 12'-0"	N/A
HEIGHT ABOVE ROOFLINE, ELEVATORS/STAIRS SHAFT PROVIDING ACCESS TO ROOF GARDEN	10'-0"	10'-0"
MINIMUM REQUIRED SIZE OF PRIVATE OUTDOOR SPACE PER RESIDENTIAL UNIT	50 SF	

PLANNING CODE COMPLIANCE					
<b>AREA CALCULATIONS</b>					
FLOOR AREA, NET (NSF): SUM OF HORIZONTAL FLOOR AREA NOT INCLUDING OPEN ENCLOSED DECKS, INTERIOR OR EXTERIOR CIRCULATION, MECHANICAL EQUIPMENT ROOMS, PARKING AREAS, COMMON AREAS, PUBLIC BATHROOMS OR STORAGE AREAS IN BASEMENTS. (PER CITY CODE §17.08.020)					
	OFFICE/RETAIL	RESIDENTIAL	COMMON	GARAGE	CIRCULATION / MECHANICAL
LEVEL 1 (GROUND LEVEL)	1,539 GSF	0 NSF	609 GSF	459 GSF	0 NSF
LEVEL 2 (SECOND LEVEL)	1,553 GSF	1,442 NSF	179 GSF	0 GSF	137 NSF
LEVEL 3 (THIRD LEVEL)	0 GSF	2,140 NSF	0 GSF	0 GSF	286 NSF
TOTAL BY USE	3,092 GSF	3,582 NSF	788 GSF	459 GSF	423 NSF
TOTAL	8,344 GSF				
<b>PARKING CALCULATIONS</b> (PER CITY CODE §17.125.060)					
USE	PARKING REQUIREMENTS/ PARKING DEMAND				
RESIDENTIAL	1.0 PER 1,500 NET SQUARE FEET (NSF)				
RETAIL TRADE AND RETAIL SERVICE	2.0 PER 1,000 GROSS SQUARE FEET (GSF)				
STREET PARKING CREDIT	4.0 PER 5,500 SF OF LOT AREA				
REQUIRED OFFICE & RETAIL	6.18	CALCULATION [3,092 GSF / 1,000 GSF] x 2.0			
RESIDENTIAL	2.39	[3,582 NSF / 1,500 NSF] x 1.0			
COMMON	N/A				
GARAGE	N/A				
CIRCULATION / MECHANICAL (NSF)	N/A				
TOTAL PARKING REQUIRED	5	[8.57 - 4.0 = 4.57 - 5]			
4.0 SPACES CREDITED PER CITY CODE §17.125.060 B					
FRACTIONS ROUNDED PER CITY CODE §17.125.050 B					
<b>OFF-STREET PARKING STALLS SUMMARY</b> (MIN. 9'-0"x18'-0" SIZE PER CITY CODE §17.125.030) *INCLUDES ONE ADA COMPLIANT VAN ACCESSIBLE PARKING STALL (11'-0" x 18'-0")					
	REQUIRED	PROVIDED*			
	5	5			
<b>FLOOR AREA RATIO (F.A.R.)</b> (PER CITY CODE §17.124.040) PROJECT PROPOSED F.A.R. = 1.36 [7,462 GSF / 5,500 GSF] [ADJUSTED TOTAL GSF AREA = 7,462 GSF (GARAGE & CIRCULATION/MECHANICAL NOT INCLUDED)]					
DISTRICT	BASIC F.A.R. ALLOWANCE	PROPOSED F.A.R.	MAXIMUM F.A.R. ALLOWED WITH INCLUSIONARY HOUSING INCENTIVES		
CC DISTRICT	1.0 (5,500 GSF)	1.36 (7,462 GSF)	2.25 (12,375 GSF)		
COMMUNITY HOUSING REQUIRED FOR PROJECTS OVER 1.0 F.A.R. COMMUNITY HOUSING REQUIREMENT = (TOTAL GSF OF DEVELOPMENT - LOT AREA) x 20% x 85% IN LIEU FEE = [(COMMUNITY HOUSING REQUIRED AREA x \$196/\$F)					
[CALCULATIONS] [7,462 GSF - 5,500 GSF = 1,962 GSF] [1,962 SF x 20% = 392.40 SF] [392.40 SF x 85% = 333.54 SF (COMMUNITY HOUSING REQUIREMENT)] [333.54 SF x \$196/\$F = \$65,373.84 (IN LIEU FEE)]					
<b>DESIGN REVIEW AUTHORITY</b> (PER CITY CODE §17.96.010) 2 BIKE RACKS REQUIRED					

PROJECT TEAM	
<b>ARCHITECT</b> Williams   Partners Architects Mail: P.O. Box 4373 Ketchum, ID 83340 Contact: Jeff Williams, Architect E-mail: jeff@williams-partners.com Phone: 208.726.0020 Fax: 208.726.0019	
<b>CIVIL ENGINEER / SURVEYOR</b> Galena Engineering, Inc. Mail: P.O. Box 3233 Ketchum, ID 83340 Contact: Sean Flynn, P.E. E-mail: sflynn@galena-engineering.com Phone: 208.726.4843 Fax: 208.578.1271	
<b>LANDSCAPE ARCHITECT</b> Clemens Associates Address: P.O. Box 300 Ketchum, ID 83340 Contact: Rob King, Landscape Architect Email: rob@clemensassociates.com Phone: 208.726.5331	
<b>STRUCTURAL ENGINEER</b> Liv Jensen, P.E. Mail: 441 East Ridge Holley, ID 83333 Contact: Liv Jensen, P.E. E-mail: liv@cox.net Phone: 208.578.8162	
<b>HVAC CONTRACTOR</b> TBD Mail: TBD Contact: TBD E-mail: TBD@TBD.com Phone: 000.000.0000 Fax: 000.000.0000	
<b>INTERIOR DESIGN</b> TBD Mail: TBD Contact: TBD E-mail: TBD@TBD.com Phone: 000.000.0000 Fax: 000.000.0000	
<b>GENERAL CONTRACTOR</b> Keams, McGinnis & Vandenberg, Inc. Mail: P.O. Box 3233 Ketchum, ID 83340 Contact: Steve Keams E-Mail: steve@kmvbuilders.com Phone: 208.726.4843 Fax: 208.578.1271	
<b>BUILDING INSPECTOR</b> (City of Ketchum) Department of Planning and Building Mail: P.O. Box 2315 480 East Avenue North Ketchum, ID 83340 Contact: Jim Lynch E-Mail: jlynch@ketchumidaho.com Phone: 208.726.7802 Fax: 208.726.7812	

SHEET INDEX	
C 5	COVER SHEET
L 1	SITE PLAN - EXISTING CONDITIONS
L 2	LANDSCAPE PLAN
C 1	GRADING AND UTILITY PLAN
C 1	GRADING AND UTILITY DETAILS
A 1	FLOOR PLANS
A 2	ELEVATIONS
A 3	SECTIONS
A 4	PERSPECTIVES (MASSING)
A 5	PERSPECTIVES (MATERIALS)

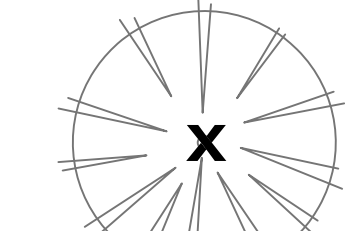
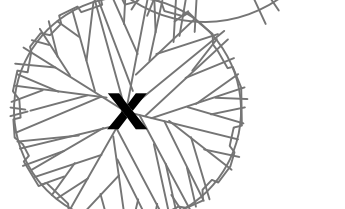
BUILDING CODE COMPLIANCE				
<b>CONSTRUCTION TYPE</b> TYPE V-B (Sprinkled)				
<b>OCCUPANCY GROUP(S)</b> , MIXED OCCUPANCY SEPARATION (PER IBC TABLE 508.3.3)				
USE A	USE B	REQUIRED FIRE SEPARATION		
GROUP B	GROUP R-2	1 HOUR RATING (SPRINKLED)		
<b>OCCUPANCY LOAD</b> (PER IBC TABLE 1004.1.2)				
SPACE	FUNCTION	AREA	LOAD FACTOR	MAXIMUM OCCUPANCY
FIRST FLOOR OFFICE SPACE#1	BUSINESS AREA	943	100	9
FIRST FLOOR OFFICE SPACE#2	BUSINESS AREA	606	100	6
SECOND FLOOR OFFICE SPACE	BUSINESS AREA	1,531	100	15
SECOND FLOOR RESIDENTIAL	RESIDENTIAL	1,579	200	7
THIRD FLOOR RESIDENTIAL	RESIDENTIAL	2,435	200	12
<b>FIREWALL</b> (IBC § 705) STRUCTURE WALL ON ADJACENT ZERO LOT LINE TO BE 2-HR FIRE RATED PER IBC TABLE 705.4				
<b>AUTOMATIC SPRINKLER SYSTEM</b> (IBC § 903) FIRE SPRINKLER SYSTEM TO BE PER NFPA 13				
<b>MEANS OF EGRESS</b> (PER IBC TABLE 1015.1.1) SPACES THAT REQUIRE ONLY ONE MEAN OF EGRESS				
OCCUPANCY	MAXIMUM OCCUPANT LOAD			
GROUP B	49			
GROUP R	10			
<b>CORRIDOR WIDTH</b> (PER IBC §1017.2) MINIMUM 44"				
<b>ACCESSIBILITY</b> (PER IBC §1104) ACCESSIBLE ROUTE IS PROVIDED ACCESSIBLE ELEVATOR IS PROVIDED ACCESSIBLE VAN PARKING STALL IS PROVIDED				




**GENERAL NOTES:**

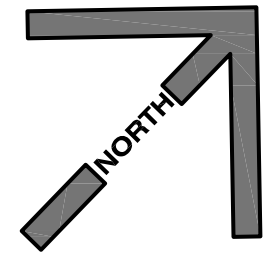
1. DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION. REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
2. REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
3. REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
4. ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY THE CITY OF KETCHUM.

**EXISTING TREES - TO BE REMOVED**

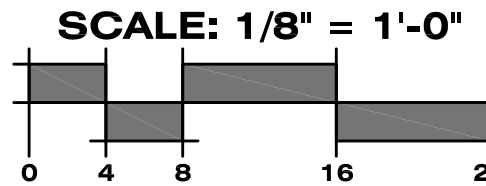
	3 3 @ 10' cal.	<b>EVERGREEN TREES</b> COLORADO SPRUCE, <i>Picea pungens</i>
	4 3 @ 20'-30' cal. 1 @ Cluster 6'	<b>DECIDUOUS TREES</b> BOX ELDER, <i>Acer negundo</i> FLOWERING CRABAPPLE, <i>Malus sp.</i>



**FEBRUARY 19, 2016**



**SCALE: 1/8" = 1'-0"**

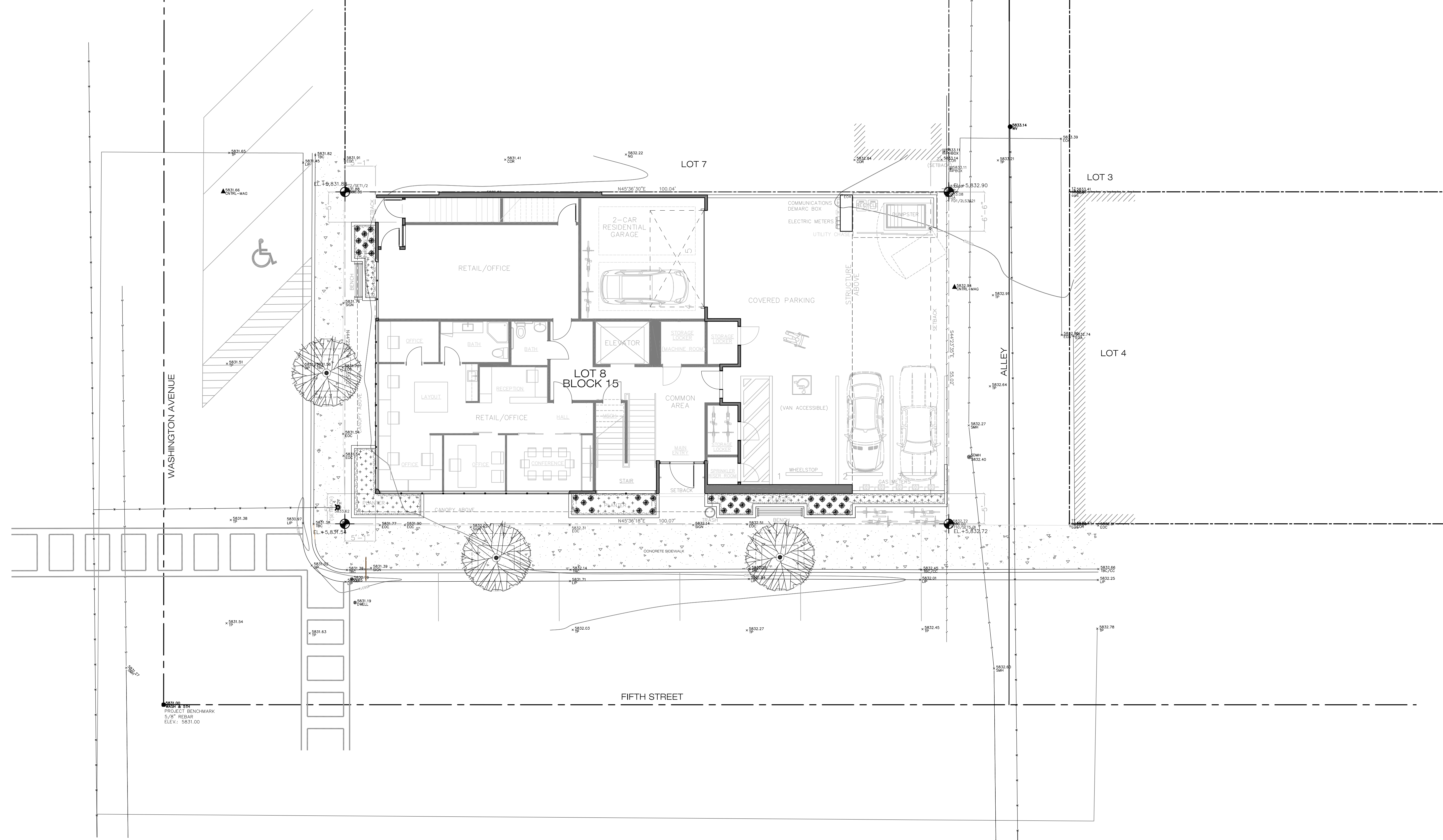


**KNEEBONE BUILDING**

**LOT 8 BLOCK 15**  
500 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

CLEMENS ASSOCIATES LLC LANDSCAPE ARCHITECTURE + DESIGN PO BOX 765 KETCHUM, IDAHO 83340 208.726.5331

OWNERSHIP OF DOCUMENTS: THIS ELECTRONIC DOCUMENT AND THE CONTENTS CONTAINED THEREON (I.E. DESIGNS, CONCEPTS, AND GRAPHIC SYMBOLS) ARE THE PROPERTY OF CLEMENS ASSOCIATES LLC, AND SHALL NOT BE USED IN WHOLE OR IN PART, BY ANY OTHER PERSON OR PERSONS WITHOUT THE WRITTEN AUTHORIZATION OF CLEMENS ASSOCIATES LLC.



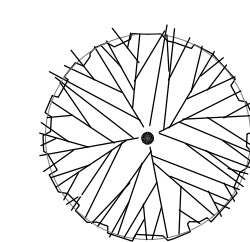
**LANDSCAPE + PLANTING NOTES:**

1. LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO INSTALLATION.
2. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK INCLUDING INSTALLATION OF PLANT MATERIALS.
3. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
4. ALL PLANT MATERIALS TO COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
5. ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.
6. REFER TO ADDITIONAL MATERIALS AND SPECS INCLUDING IRRIGATION PLAN AND PERFORMANCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

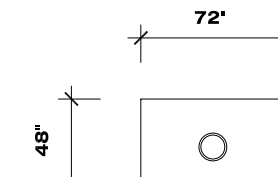
**IRRIGATION NOTES:**

1. ALL LANDSCAPING TO BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM WITH RAIN/FREEZE SENSOR AND/OR SOIL MOISTURE SENSORS.
2. PLANTING BEDS TO BE IRRIGATED BY SUBSURFACE DRIP LINES SPACED AT 12" AND INSTALLED AT 6" DEEP. MAXIMUM SYSTEM PRESSURE SHALL BE 50 PSI.
3. VALVE LOCATIONS TO BE DETERMINED PER SPECIFIC ON-SITE CONDITIONS AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTER POTS TO BE IRRIGATED BY DRIP LINES. FINAL LOCATIONS TO BE DETERMINED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. PROPOSED WORK TO INCORPORATE ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMP'S) TO PROTECT RESOURCE VALUES AND TO ENSURE COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS AND WATER QUALITY STANDARDS.

**LEGEND**

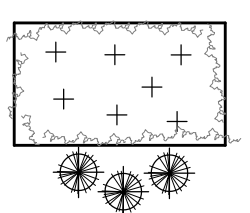


3 STREET TREES  
3 @ 3" cal.  
NORWAY MAPLE, *Acer platanoides*

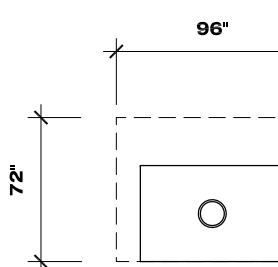


3 TREE GRATES + TREE GUARDS  
48" x 72"  
IRON AGE DESIGNS  
"INTERLAKEN" - 48" x 72" Heel Proof  
18" D x 60"  
IRON AGE DESIGNS  
"BASIC TREE GUARD" - 18" D x 60"

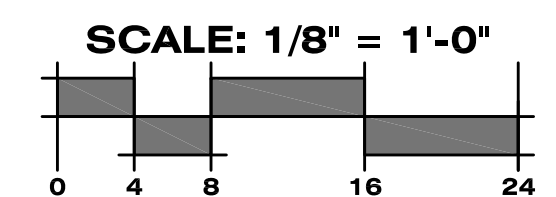
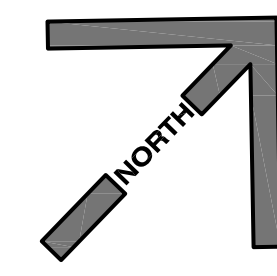
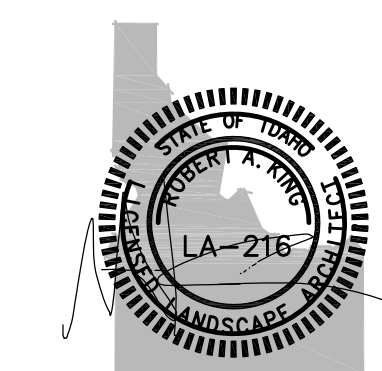
1 CHANNEL DRAIN  
7.5 lf  
ZURN Z 806  
6" Pre-sloped Internally  
IRON AGE DESIGNS - Decorative Grate  
"INTERLAKEN" - 5 1/8" x 20" x 1/2" Heel Proof



300 SF PERENNIAL BED  
1 gal. @ 18" o.c.  
PERENNIALS - VARIETY  
Coreopsis, Veronica, Penstemon, Salvia, Cerastium,  
Dianthus, Geranium, Shasta Daisy  
ORNAMENTAL GRASSES  
Feather Reed Grass, Blue Oat Grass, Autumn Moor Grass  
Beds Prepared with Planting Mix  
Consisting of 50% Compost/50% Top-Soll, and APEX  
Fertilizer or similar - Per Manufacturer's Specified  
Application Rates.



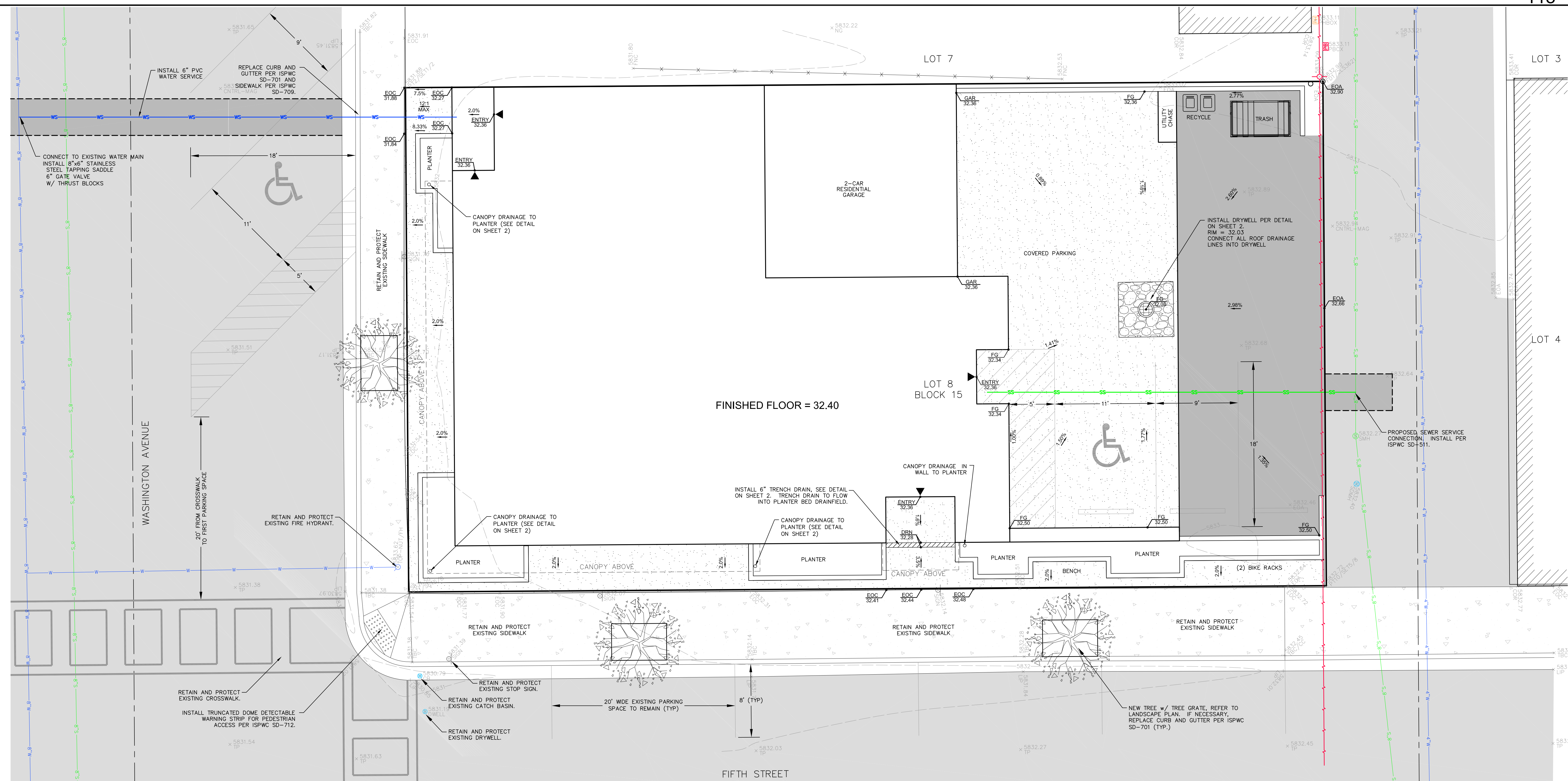
3 ROOT BARRIER  
90 lf  
DEEPROOT  
UB 24-2 (24" x 24" Panels)



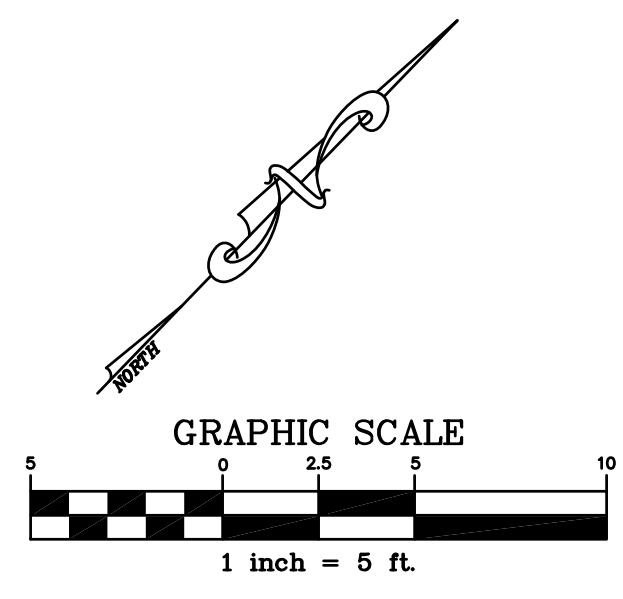
**KNEEBONE BUILDING**

**LOT 8 BLOCK 15**  
500 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

CLEMENS ASSOCIATES LLC LANDSCAPE ARCHITECTURE + DESIGN PO BOX 755 KETCHUM, IDAHO 83340 208.726.5931



SEE SHEET 2 FOR NOTES, DETAILS AND DRYWELL SIZING



**LEGEND**

- Property Line
- Adjoiners Lot Line
- Centerline of Right-of-Way
- - - Building Canopy
- x FNC = Fence
- - - Proposed Sawcut Line
- Existing Curb and Gutter
- Existing Structure
- Existing Asphalt
- Proposed Asphalt (per detail on sheet 2)
- Existing Concrete
- Proposed Concrete (per ISPWC SD-709)
- 4" W Existing 4" Water Main
- 8" W Existing 8" Water Main
- WS Proposed Water Service
- 8" S Existing 8" Sewer Main
- SS Proposed Sewer Service
- Overhead Power Line
- 1' Contour Interval
- Proposed Entry Location
- Proposed Drywell (per detail on sheet 2)
- Sign
- CB = Catch Basin
- DWELL = Drywell
- WV = Water Valve
- FH = Fire Hydrant
- SMH = Sewer Manhole
- SDMH = Storm Drain Manhole
- PP = Utility Pole
- PBOX = Power Box
- PHBOX = Telephone Riser
- COR Building Corner
- EOA Edge of Asphalt
- EOC Edge of Concrete
- FF Finished Floor
- LIP Lip of Gutter
- NG Natural Grade
- TP Top of Asphalt
- TBC Top Back of Curb
- FG Finished Grade
- EOC 28.50 Proposed Spot Elevation
- 2.00% Proposed Grade
- 0.50% Existing Grade

NO	DATE	BY	REVISIONS

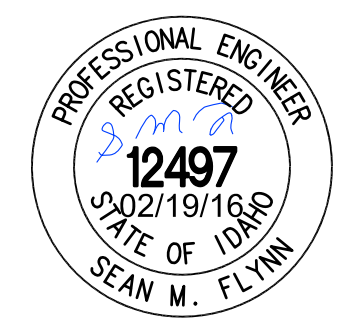
**Galena Engineering Inc.**  
 Civil Engineers & Land Surveyors  
 317 North River Street  
 Hailey, Idaho 83333  
 (208) 788-1705  
 (208) 788-4612 fax  
 email galena@galena-engineering.com

**REUSE OF DRAWINGS**  
 These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

SMF DESIGNED BY DATE 02/19/16  
 SMF DRAWN BY DATE 02/19/16  
 SMF CHECKED BY DATE 02/19/16

**GRADING AND UTILITY PLAN**  
**KNEEBONE BUILDING**  
 LOCATED WITHIN SECTION 13, T4N, R17E, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR WILLIAMS PARTNERS ARCHITECTS

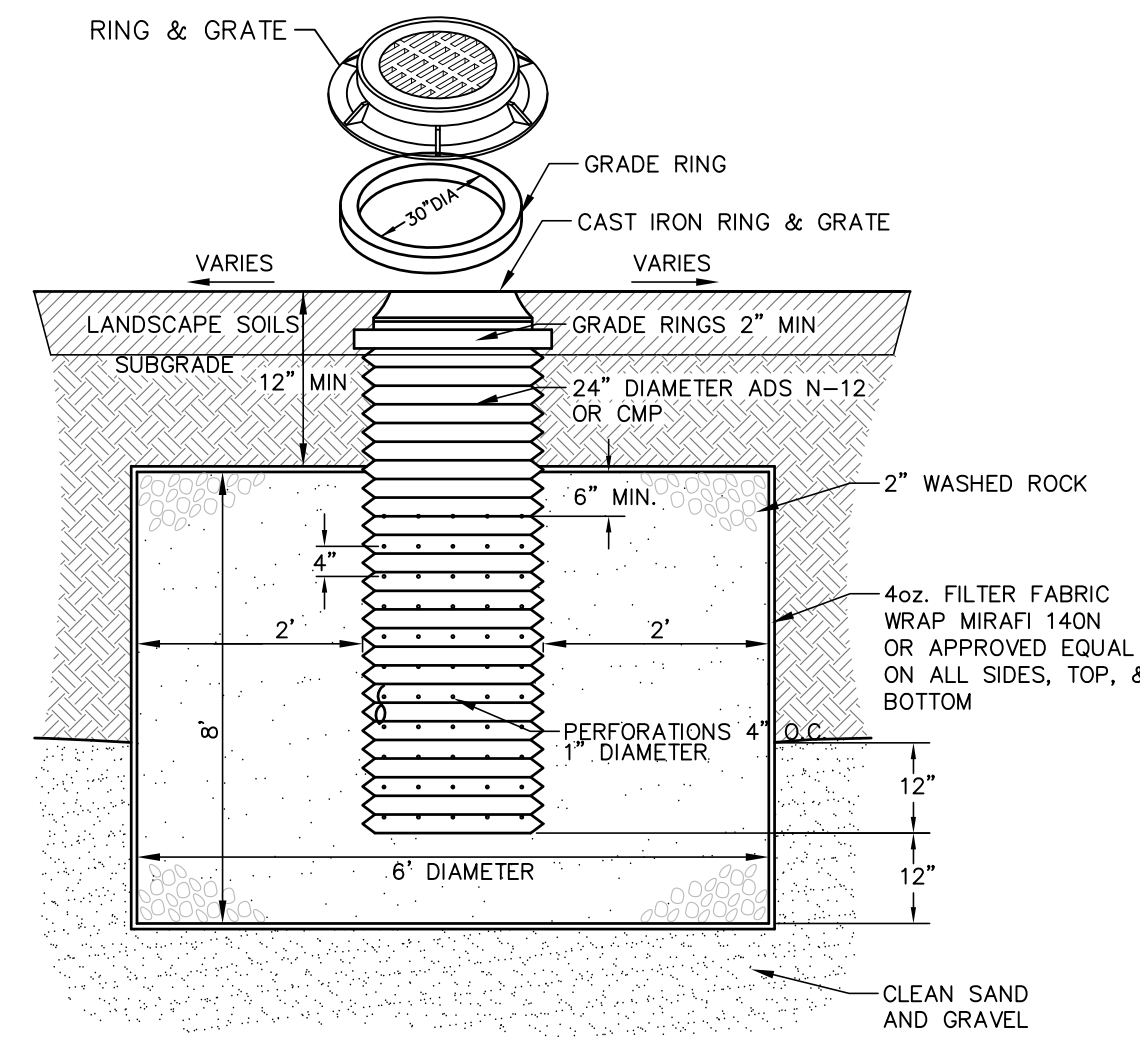
PROJECT INFORMATION  
 P:\sdpkproj\7208\dwg\Construction\7208\_const.dwg 2/18/2016 9:38:45 AM MST



**C1**

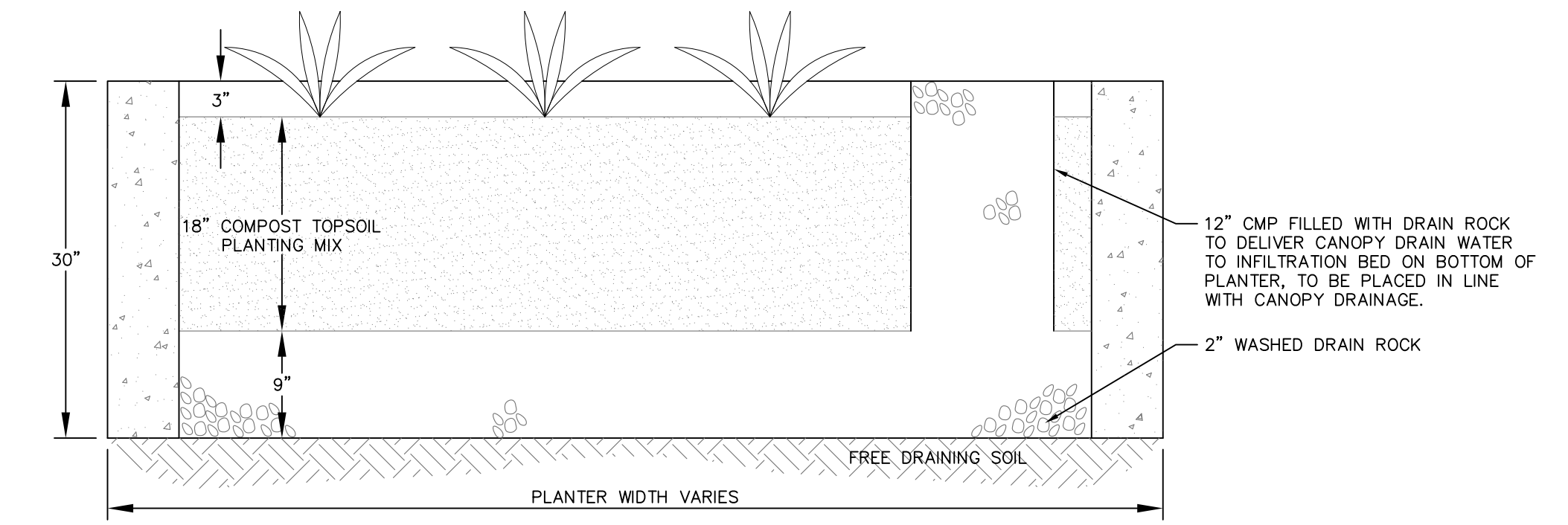
NOTES

- ALL CONSTRUCTION WITHIN THE CITY OF KETCHUM RIGHT OF WAY SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC) AND THE CITY OF KETCHUM STANDARD DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE PREVIOUSLY MENTIONED STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) AND APPROPRIATE UTILITY OWNERS TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL THE NECESSARY PERMITS PRIOR TO CONSTRUCTION IF NOT ALREADY OBTAINED BY THE OWNER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITS STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITS STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 12" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER MUTCD STANDARDS.
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1.C.
- ALL TRENCH WORK SHALL CONFORM TO ISPC SECTION 300. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698, AT A UNIFORM MOISTURE CONTENT.
- ALL GRAVITY SEWER WORK SHALL CONFORM TO ISPC SECTION 500. SEWER SERVICE PIPE AND FITTINGS SHALL CONFORM TO ASTM D3034, SDR35 STANDARDS. THE SEWER SERVICE SHALL BE BEDDED WITH 1" MAXIMUM IMPORTED BEDDING MATERIAL TO A DEPTH OF 4" UNDER THE PIPE AND 6" OVER THE PIPE. THE SEWER SERVICE SHALL BE PRESSURE TESTED ACCORDING TO ISPC SECTION 501.3.4.
- THE WATER SERVICE SHALL BE CONSTRUCTED IN CONFORMANCE WITH ISPC SECTION 404. ALL SERVICE PIPE SHALL BE ULTRA-HIGH MOLECULAR POLYETHYLENE PIPE CONFORMING TO ASTM D2239, DESIGNATION P.E. 3408 IRON PIPE SIZE. WATER SERVICE PIPE SHALL BE BEDDED 4" UNDER PIPE AND 6" OVER PIPE WITH 1" MAXIMUM IMPORTED BEDDING MATERIAL.
- ALL NO PARKING AREAS TO HAVE TOP OF CURB AND FACE OF CURB PAINTED RED.

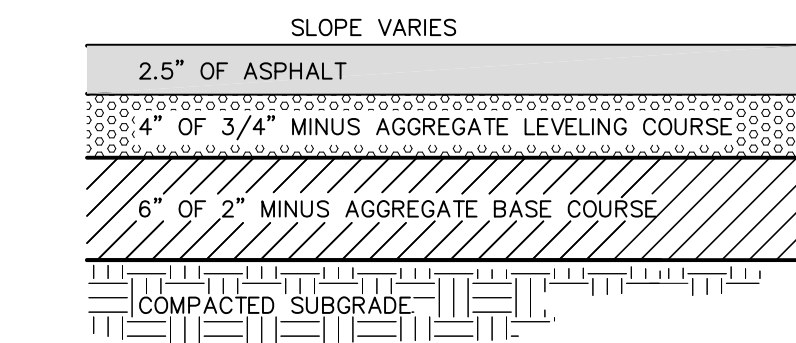


NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.

DRYWELL DETAIL  
N.T.S.



PLANTER INFILTRATION BED DETAIL  
N.T.S.

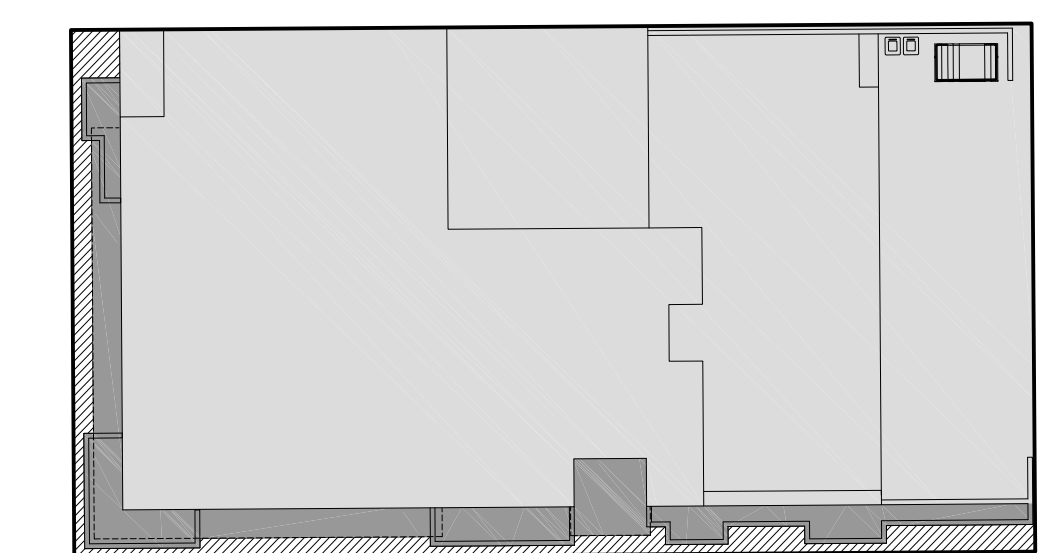


TYPICAL ASPHALT SECTION  
N.T.S.

DRYWELL SIZING METHODOLOGY

- THE DESIGN CALCULATIONS ARE SHOWN ON THE ADJACENT SPREADSHEET. THE SPREADSHEET IS SETUP AS AN ITERATIVE MODEL WHERE ONE INPUTS THE DIFFERENT PARAMETERS (DESIGN STORM, INFILTRATION RATE, DRYWELL DIMENSIONS, ETC.). THE SPREADSHEET THEN COMPUTES THE STORAGE REQUIRED (BEING THE RUNOFF VOLUME OF THE STORM MINUS THE VOLUME OF WATER THAT PERCOLATES INTO THE GROUND) AND COMPARES THAT TO THE STORAGE PROVIDED. IF THE STORAGE PROVIDED IS LARGER THAN THE STORAGE REQUIRED, THE LAST NUMBER IS LESS THAN ZERO, THE DESIGN PARAMETERS ARE SATISFIED AND THE DRYWELL IS SIZED ADEQUATELY.
- A 1-INCH, 1-HOUR STORM WAS USED FOR THE SIZING CALCULATIONS. DESIGNING TO THIS STORM IS A CONSERVATIVE APPROACH, EXCEEDING THE STANDARDS USED IN THIS GEOGRAPHICAL AREA.
- AN INFILTRATION RATE OF 100 IN/HR WAS USED TO CALCULATE THE AMOUNT OF WATER THAT PERCOLATES DURING THE 1 HOUR STORM.
- THE CALCULATIONS SHOW THAT A 3' DIAMETER, 8' DEEP DRYWELL IS SUFFICIENT TO INFILTRATE THE 4,700 SF DRAINAGE AREA. HOWEVER, A 6' DIAMETER, 8' DEEP DRYWELL WILL BE CONSTRUCTED.

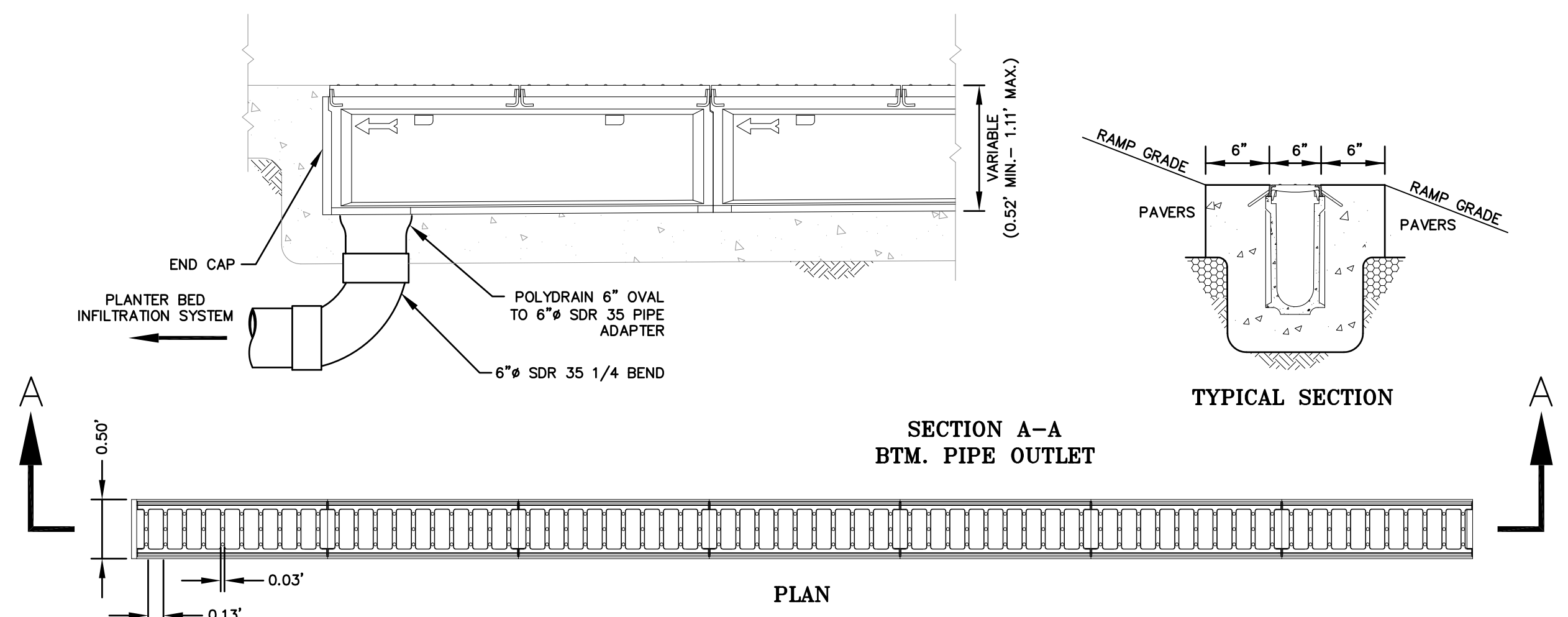
Project	Kneebone Building	Computed by	SMF
Project No.	7208	Date	2/16/2016
Drywell	Covered Parking		
Storm Duration =	1 hr		
Intensity =	1 in/hr		
Runoff Coefficient =	1		
Runoff Area =	0.108 Acres		
Runoff Volume =	4,700 ft <sup>3</sup>		
Drain Bed Voids =	40 %		
Infiltration Rate =	100 in/hr		
Drywell Dimensions =			
A =	3 ft		
B =	2 ft		
C =	7 ft		
D =	8 ft		
Bottom Area (A <sub>b</sub> ) =	7.07 ft <sup>2</sup>		
Sidewall Area (A <sub>s</sub> ) =	75.40 ft <sup>2</sup>		
Volume Rock =	34.56 ft <sup>3</sup>		
Volume Pipe =	21.99 ft <sup>3</sup>		
Q <sub>peak</sub> =	C*I*A = 0.11 cfs		
Runoff Volume =	Q <sub>peak</sub> *Time = 391.67 ft <sup>3</sup>	Volume of water that needs to be infiltrated for the 1 hour storm	
Perc Area =	A <sub>b</sub> +x*A <sub>s</sub>	x = 67 %	Percentage of walls that water will infiltrate out of
Perc Area =	57.59 ft <sup>2</sup>		Surface area available for water to flow from the drywell and infiltrate
Perc Volume =	479.88 ft <sup>3</sup>		Volume of water infiltrated during 1 hour storm
Storage Required =	Runoff Volume - Perc Volume		You need to store the portion of the storm that will not infiltrate
	-88.21 ft <sup>3</sup>		
Storage Volume =	(V <sub>v</sub> *Void Ratio)+V <sub>p</sub>		Storage available in drywell
	35.81 ft <sup>3</sup>		
Storage Required - Storage Volume			Compares required storage with provided storage.
	-124.03 ft <sup>3</sup>	must be less than zero	If provided storage is greater, number will be negative and the drywell is adequately sized.



LEGEND  
 - PROPERTY BOUNDARY  
 - AREA COLLECTED IN DRYWELL  
 - AREA COLLECTED IN PLANTER BEDS  
 - AREA DRAINING TO CURB

Drainage Area Information		
	Square Footage	% of Total Lot
Collected in Drywell	4713	85.61%
Collected in Planter Beds	505	9.17%
Drains to Curb	287	5.21%
	5505	100.00%

DRYWELL SIZING INFORMATION



TYPICAL TRENCH DRAIN DETAIL  
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)  
N.T.S.

- LINE DRAIN NOTES
- LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
  - THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
  - CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
  - TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8" BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.
  - INSTALL HEAT TAPE IN TRENCH DRAIN.

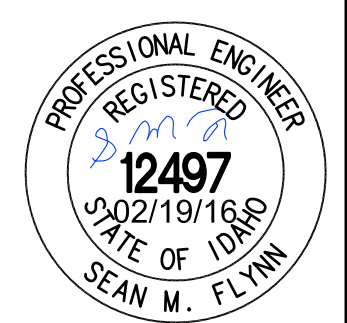
NO	DATE	BY	REVISIONS

Galena Engineering Inc.  
 317 North River Street  
 Hailey, Idaho 83333  
 (208) 788-1705  
 (208) 788-4612 fax  
 email galena@galena-engineering.com

Civil Engineers & Land Surveyors  
 REUSE OF DRAWINGS  
 These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

SMF DESIGNED BY	02/19/16	DATE
SMF DRAWN BY	02/19/16	DATE
SMF CHECKED BY	02/19/16	DATE

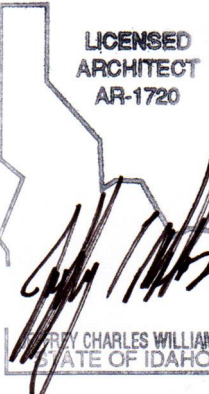
GRADING AND UTILITY DETAILS  
**KNEEBONE BUILDING**  
 LOCATED WITHIN SECTION 13, T4N, R17E, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR WILLIAMS PARTNERS ARCHITECTS  
 PROJECT INFORMATION  
 P:\sdsproj\7208\dwg\Construction\7208\_const.dwg 2/18/2016 9:38:45 AM MST



C2



OWNERSHIP OF DOCUMENTS: The instruments of Service herein are solely for use with respect to this Project. Plans, drawings, specifications and other documents shall remain the property of the architect and shall not be used for any other project without the written consent of the architect. The architect shall retain all rights, including copyright.



# KNEEBONE BUILDING

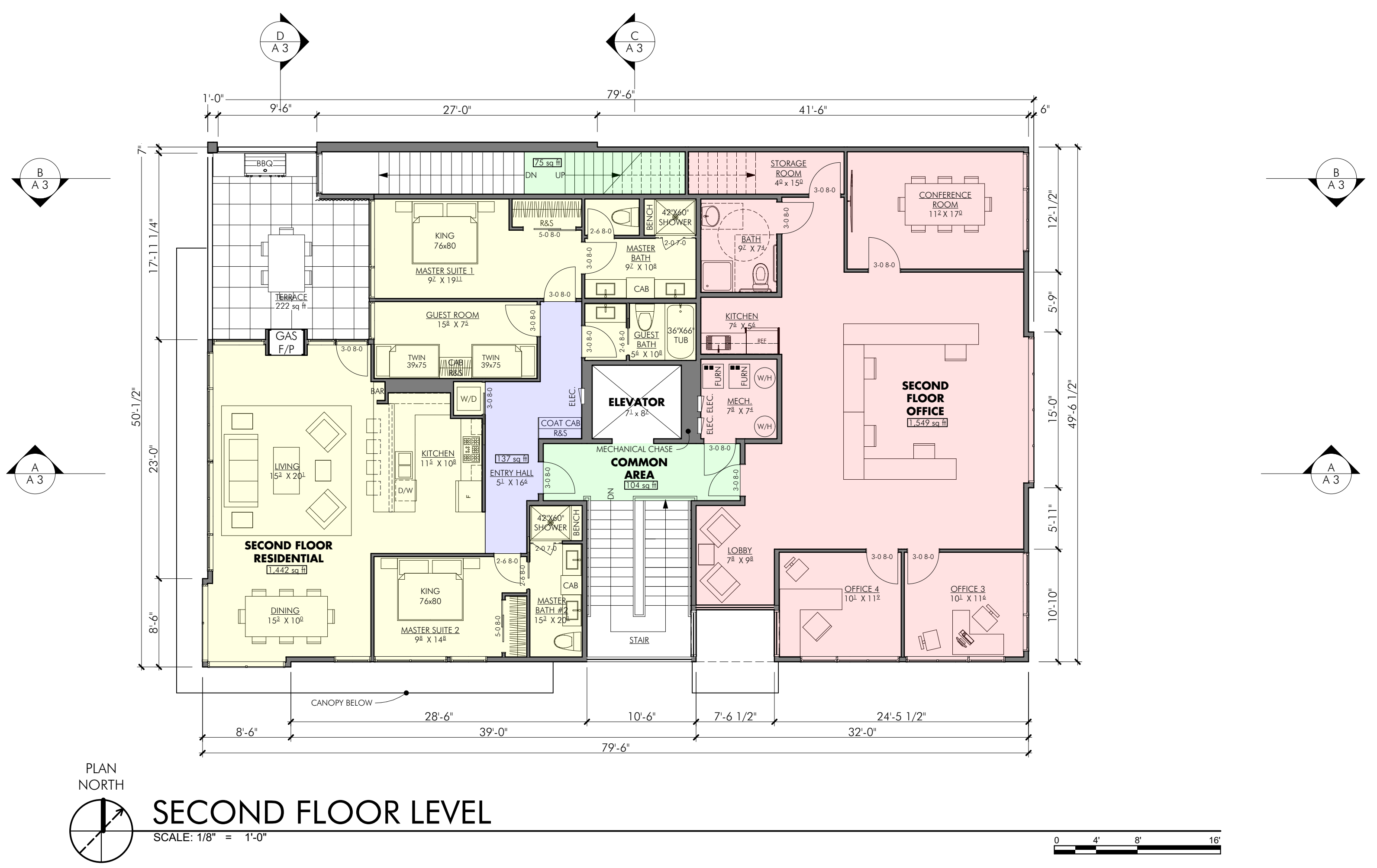
500 North Washington Avenue, Ketchum, Idaho

**WILLIAMS PARTNERS**  
ARCHITECTS

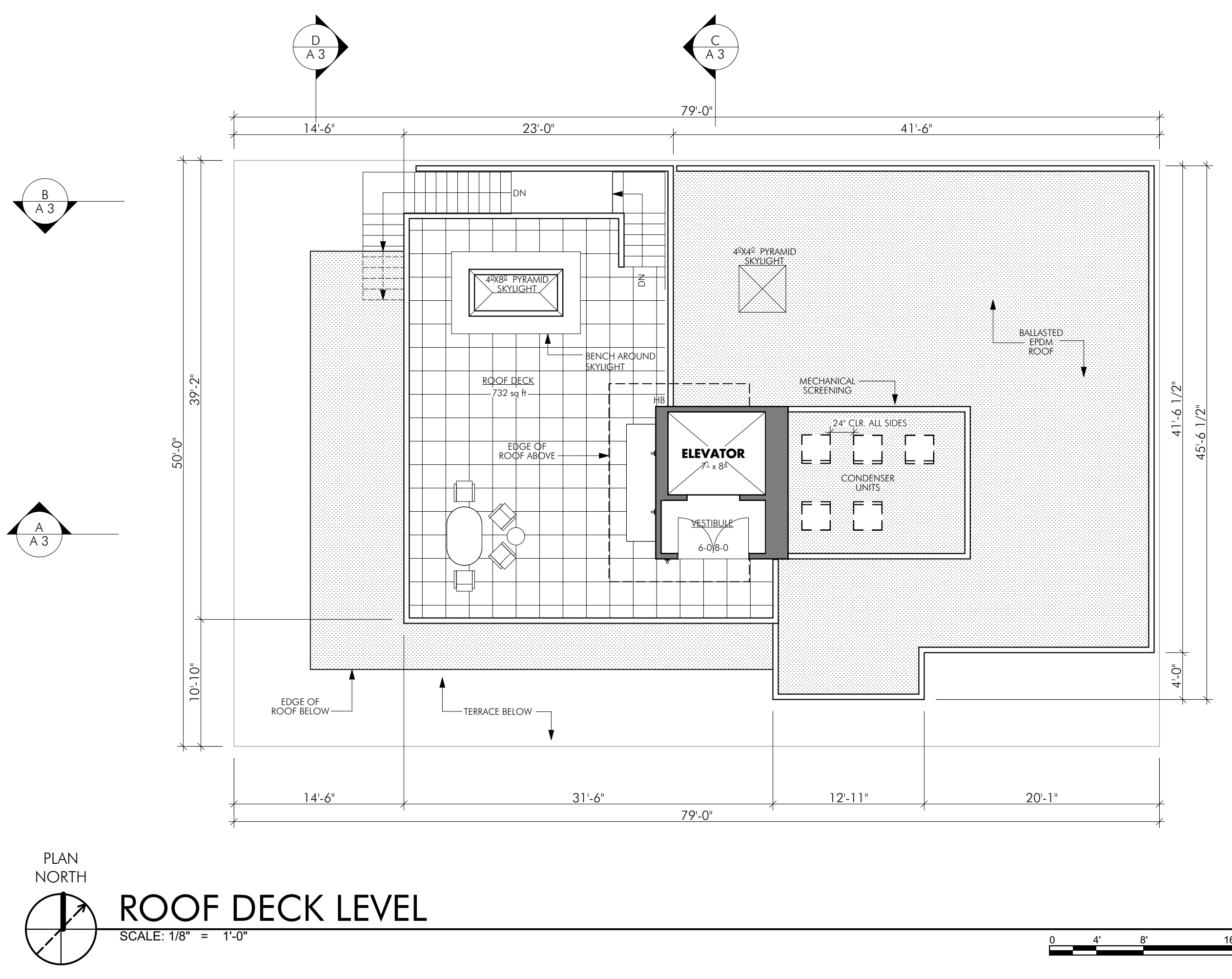
MAL P.O.B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW WILLIAMS-PARTNERS.COM

DATE 2/19/2016  
REVISION DESIGN REVIEW SET

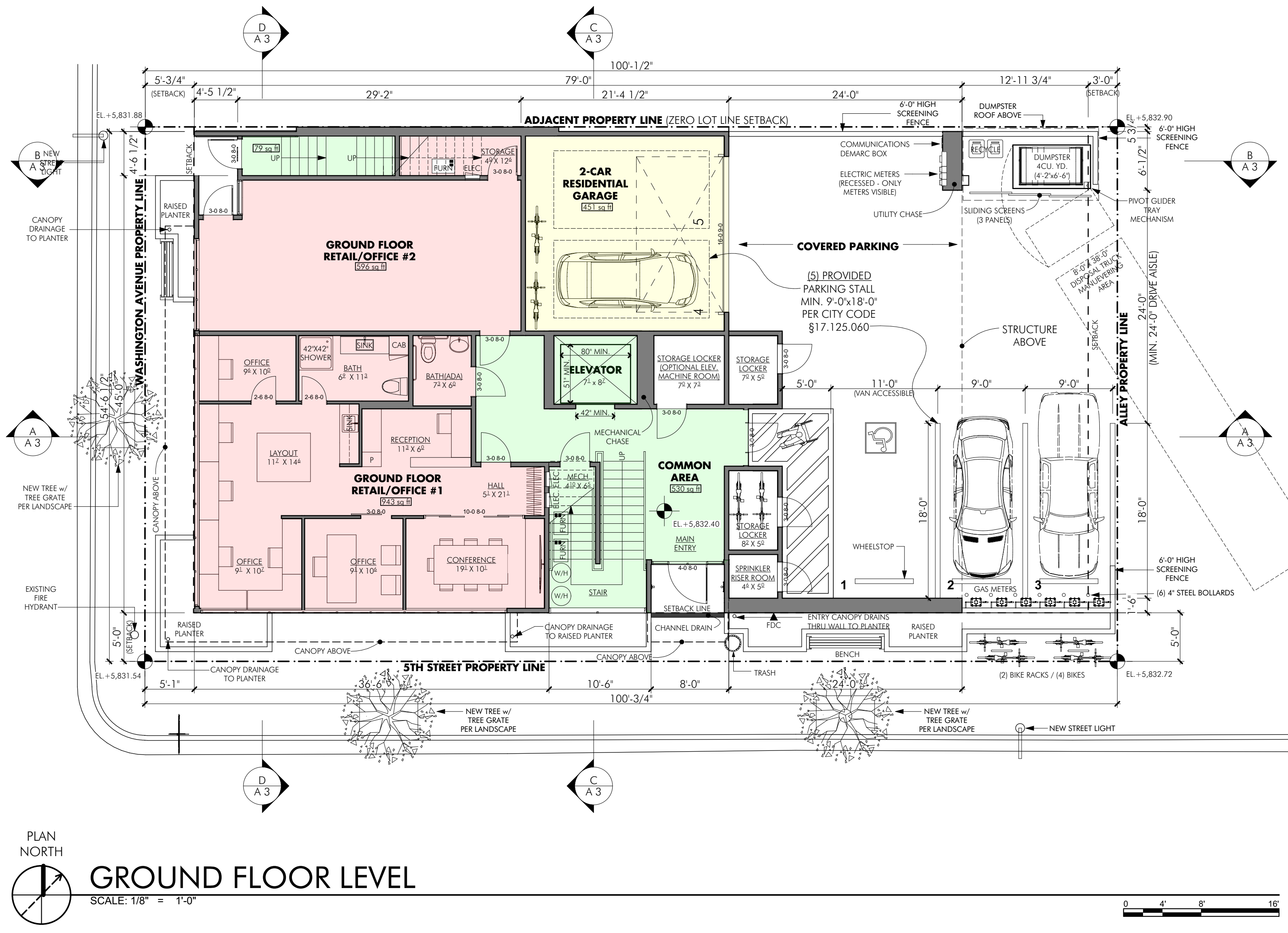
# A1



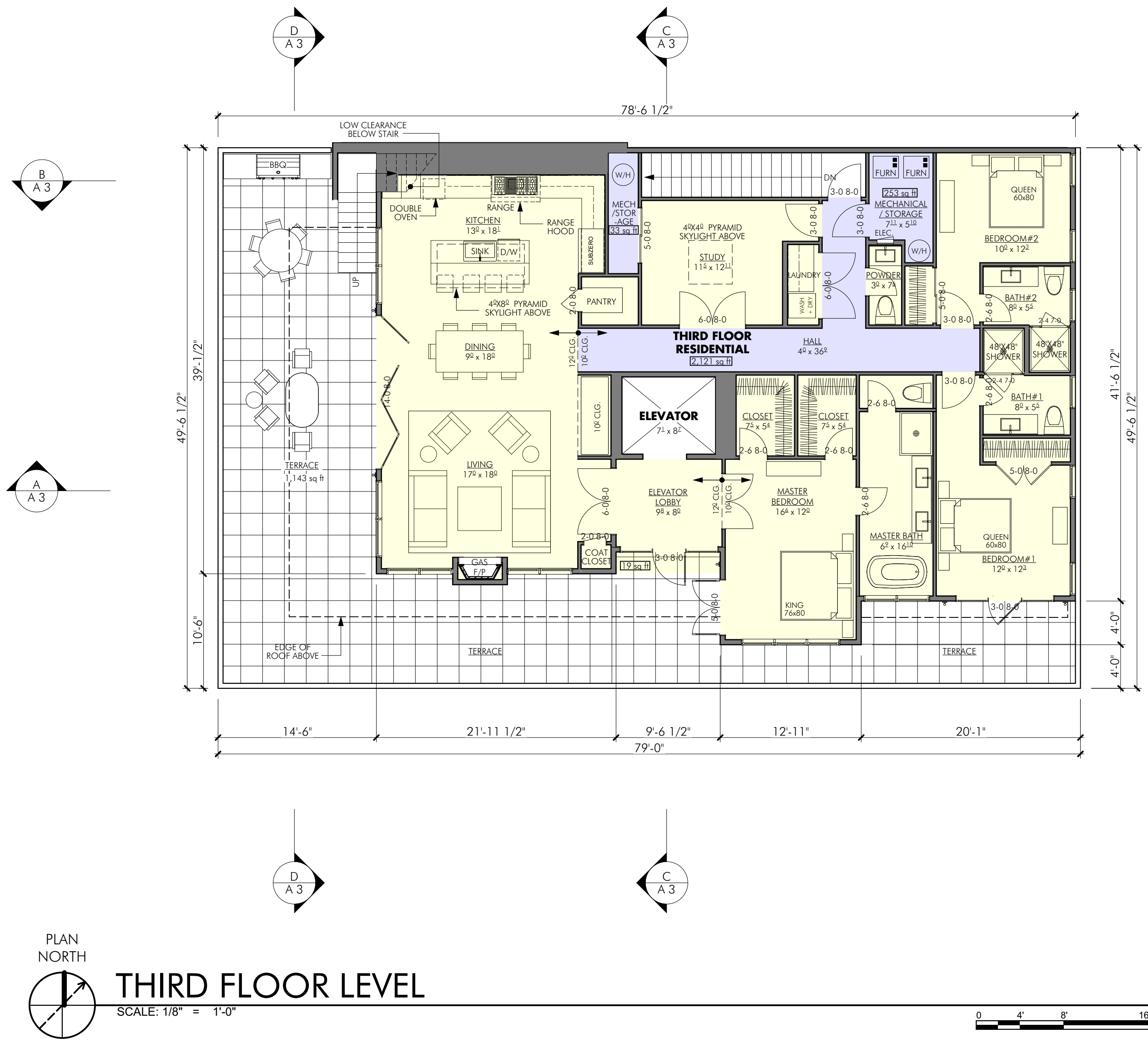
PLAN NORTH  
**SECOND FLOOR LEVEL**  
SCALE: 1/8" = 1'-0"



PLAN NORTH  
**ROOF DECK LEVEL**  
SCALE: 1/8" = 1'-0"

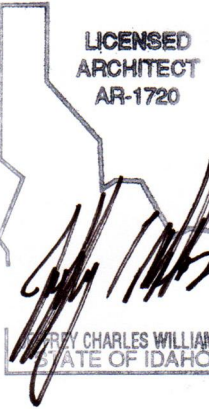


PLAN NORTH  
**GROUND FLOOR LEVEL**  
SCALE: 1/8" = 1'-0"



PLAN NORTH  
**THIRD FLOOR LEVEL**  
SCALE: 1/8" = 1'-0"

OWNERSHIP OF DOCUMENTS: The Instruments of Service herein are solely for use with respect to the Project. Williams | Partners and its architects and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights.



# KNEEBONE BUILDING

500 North Washington Avenue, Ketchum, Idaho

**WILLIAMS PARTNERS**

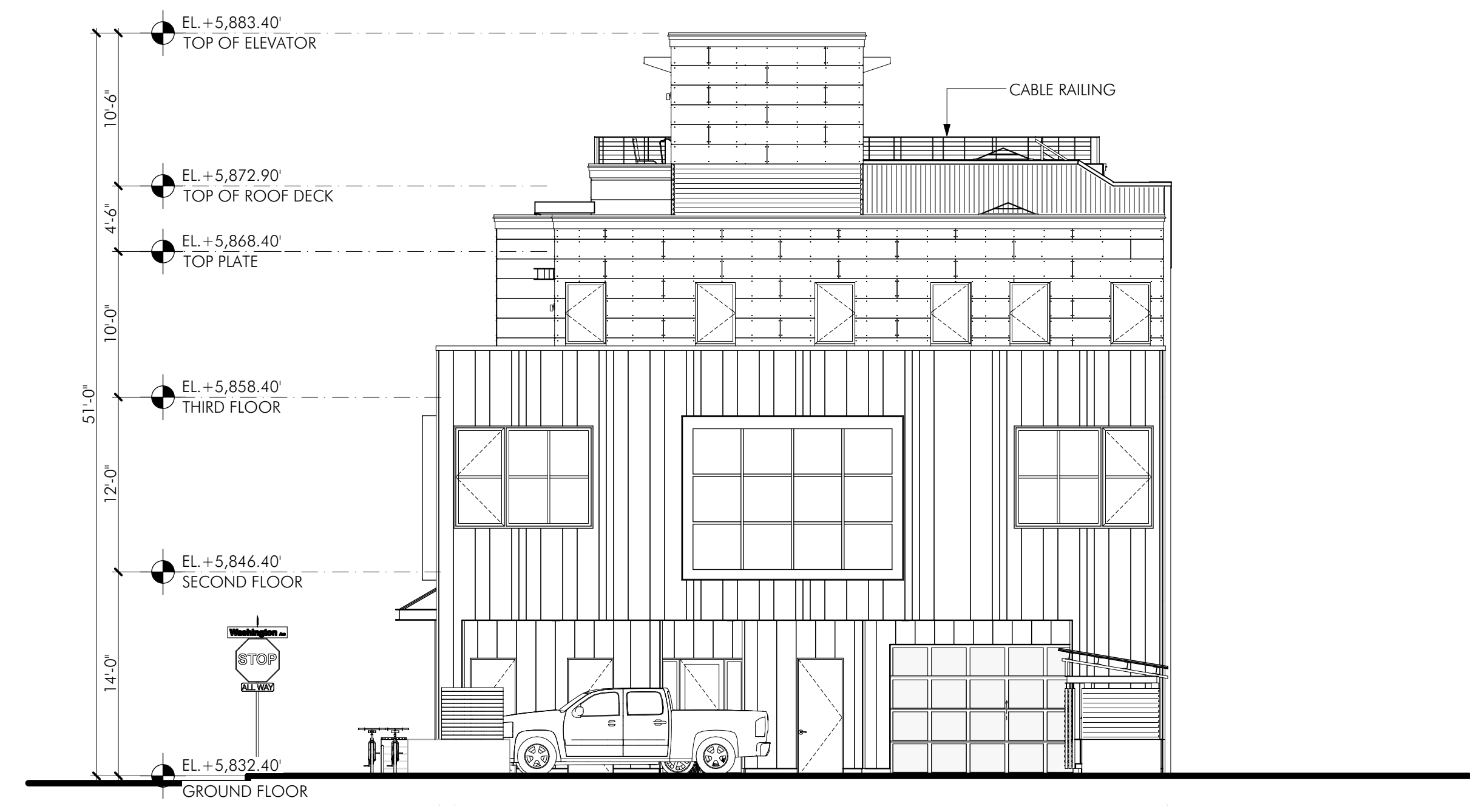
**ARCHITECTS**

MAL P.O.B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW.WILLIAMS-PARTNERS.COM

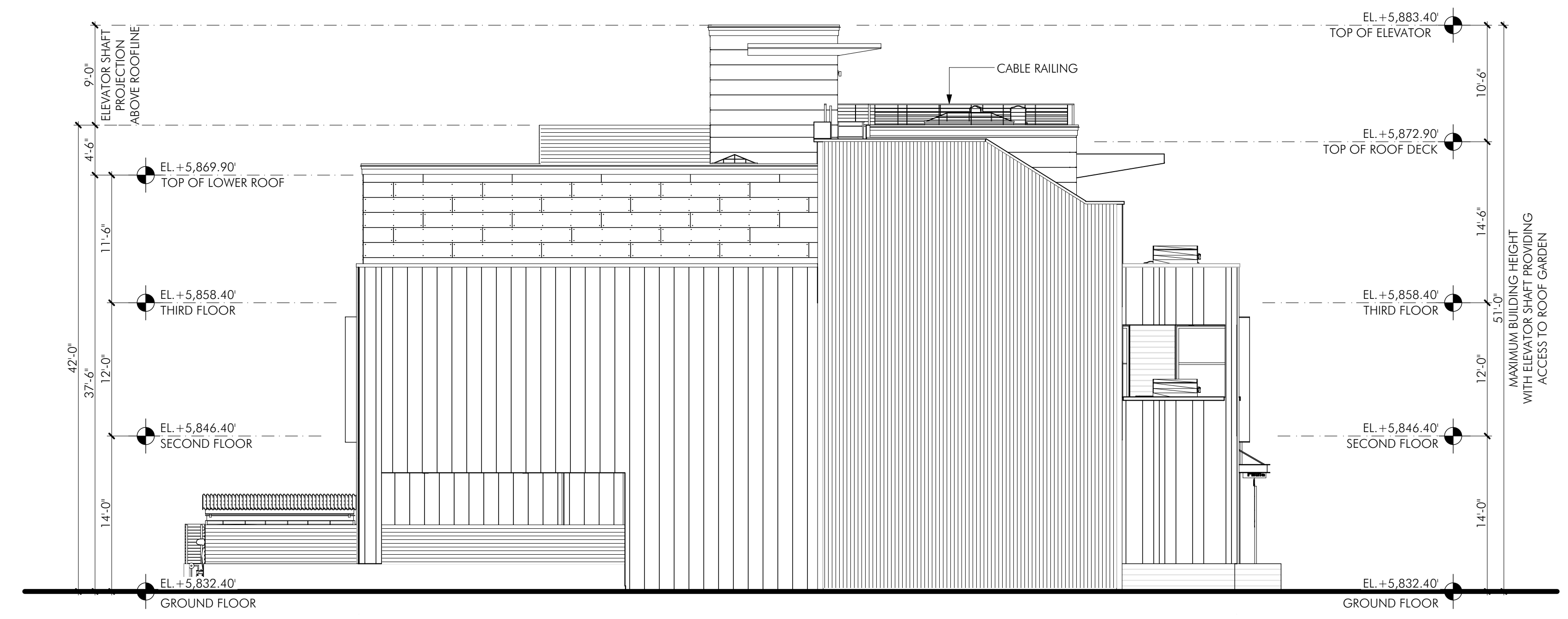
DATE 2/19/2016  
REVISION DESIGN REVIEW SET

# A2

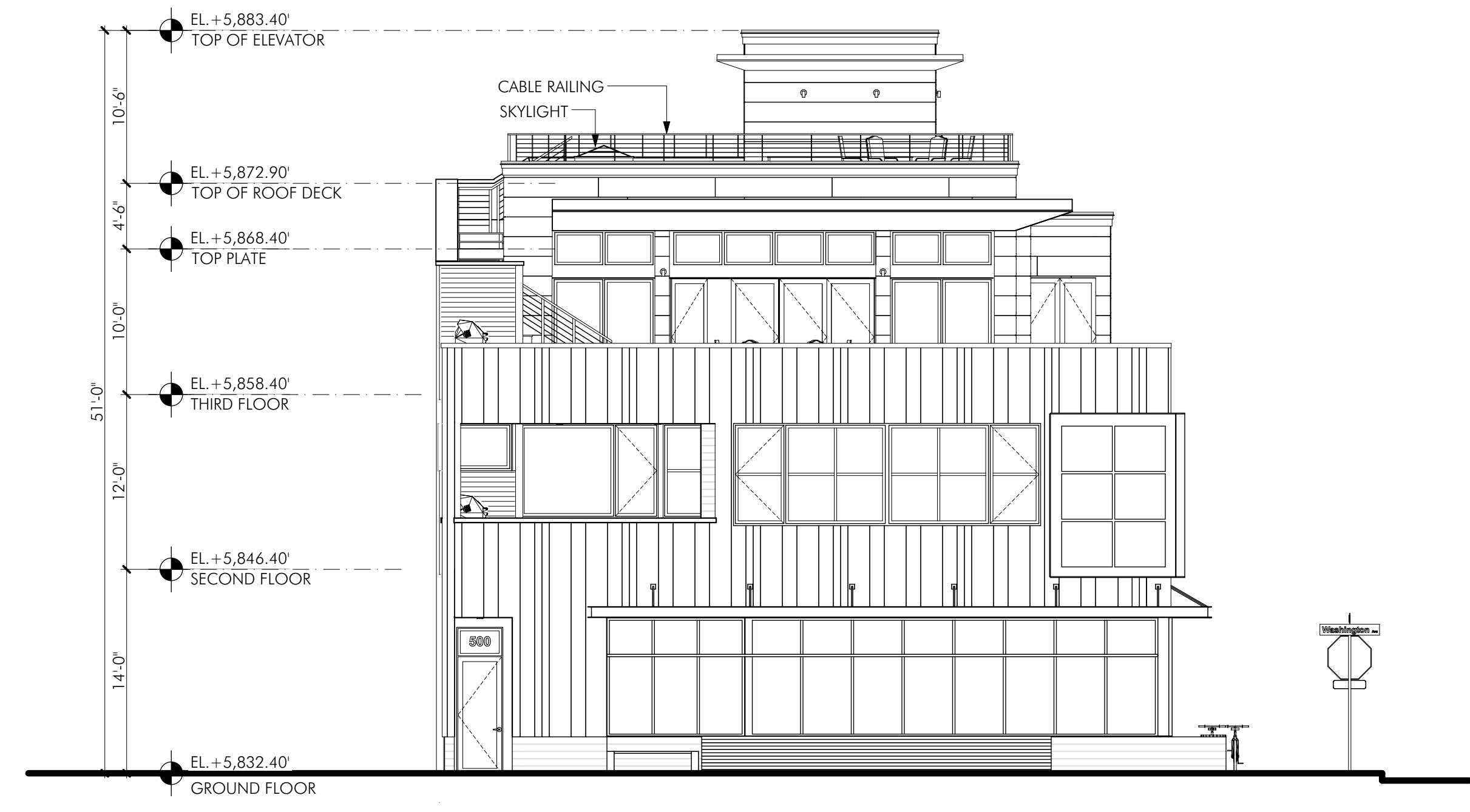
C:\Users\Ryan\Desktop\Kneebone\04 - BIM Project Files\Kneebone-121.rvt



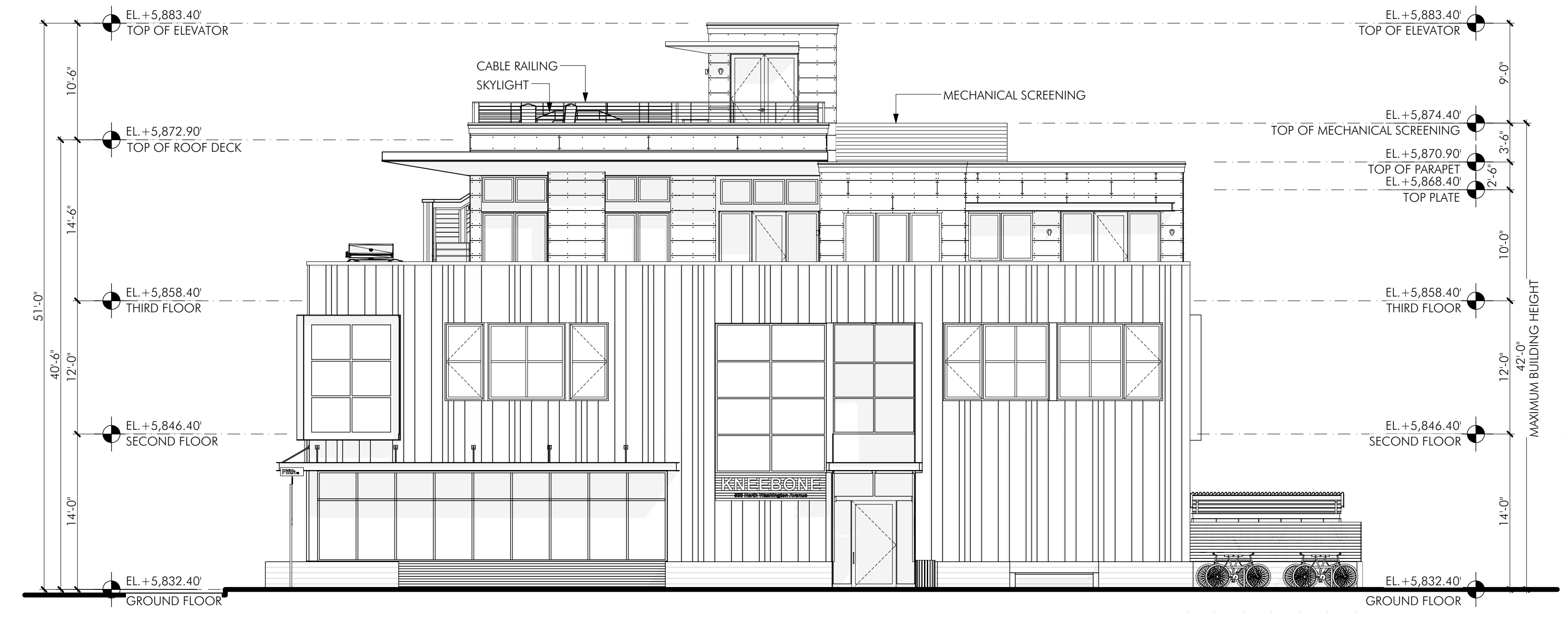
**4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

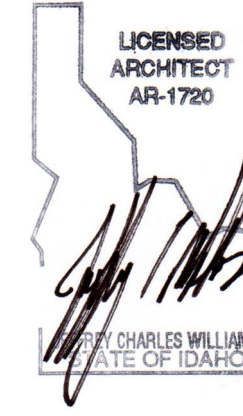


**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

OWNERSHIP OF DOCUMENTS: The Instruments of Service herein are solely for use with respect to the Project. Williams Partners, its architects and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights.



# KNEEBONE BUILDING

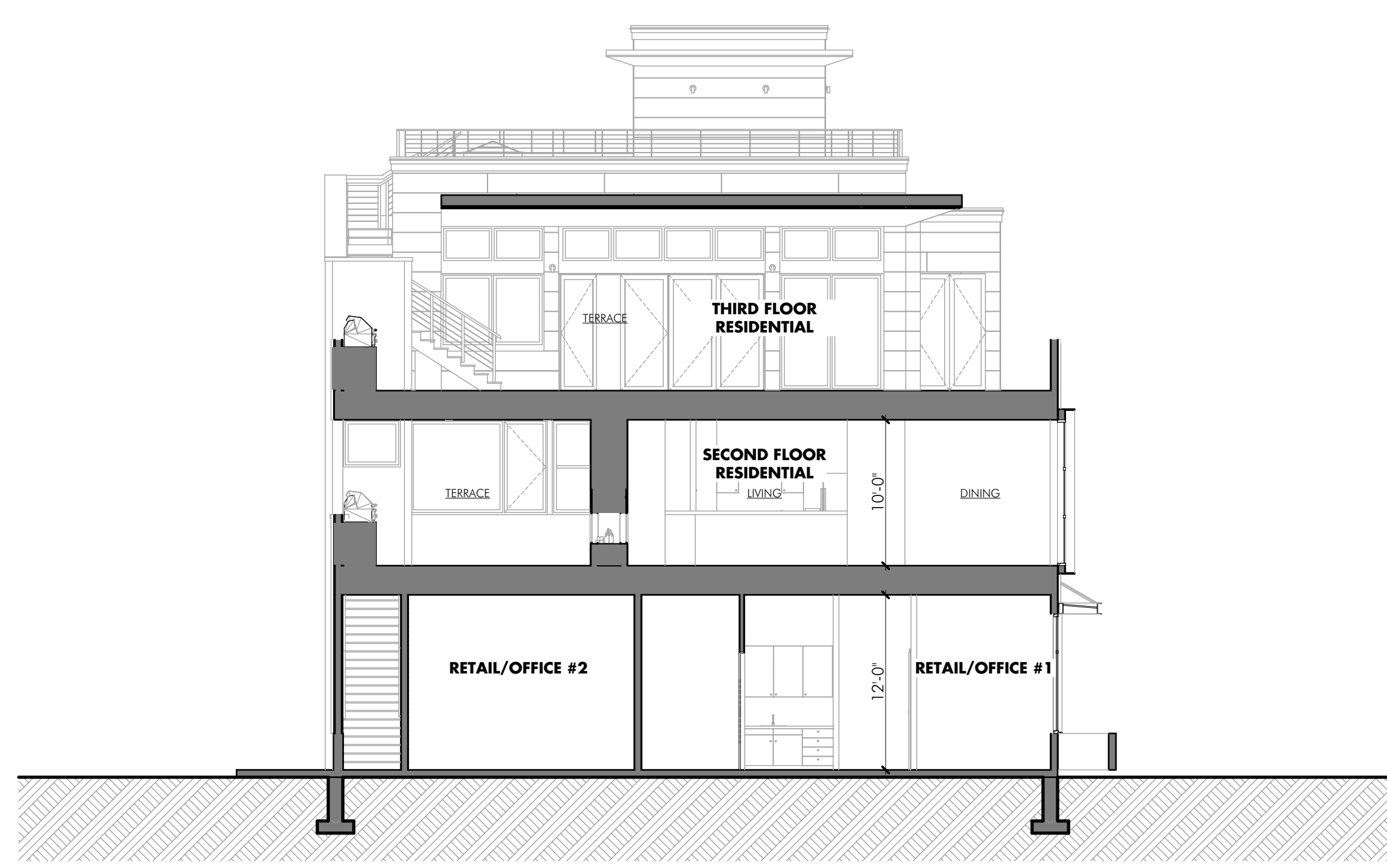
500 North Washington Avenue, Ketchum, Idaho

**WILLIAMS PARTNERS**

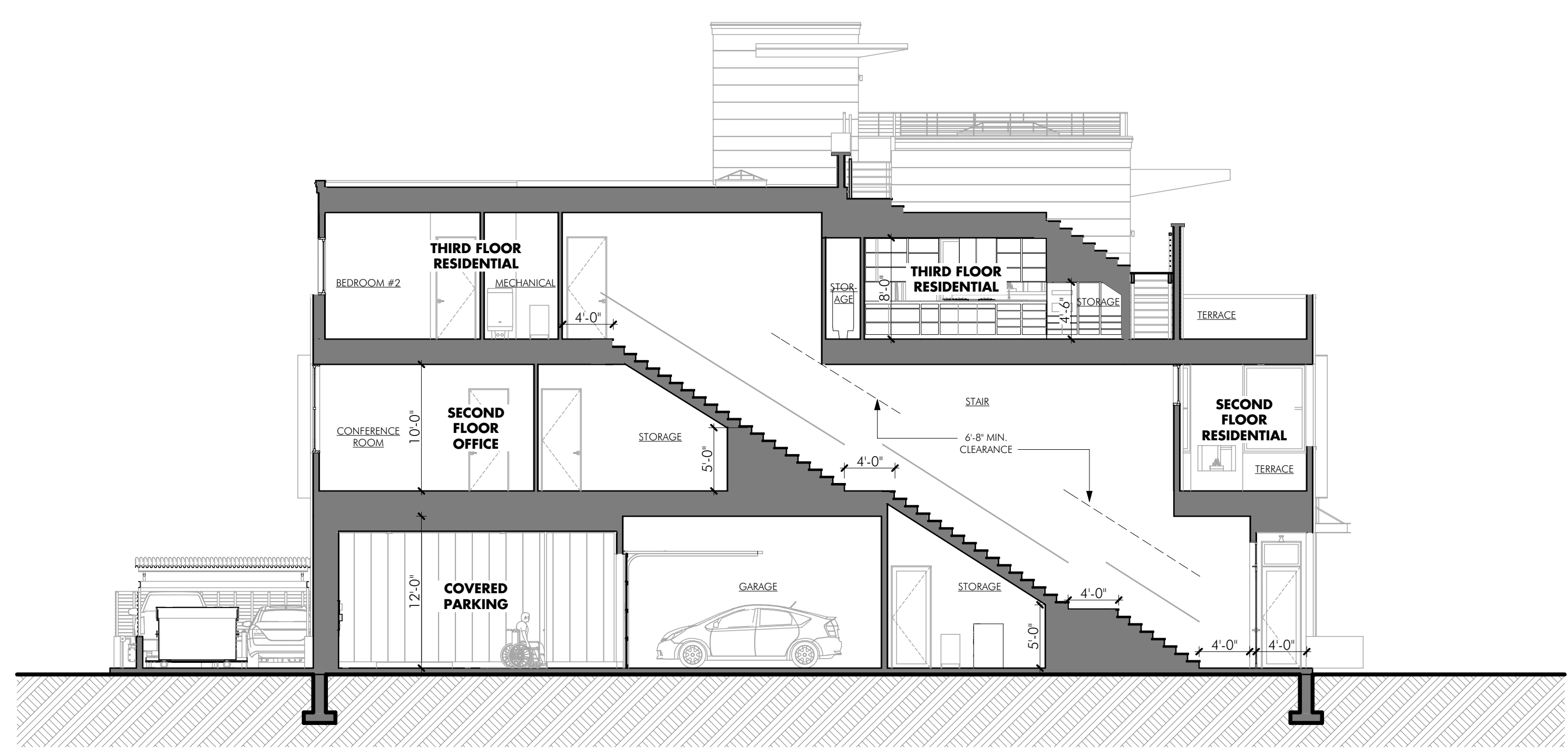
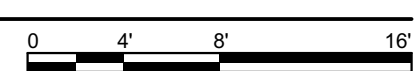
**ARCHITECTS**

MAIL P.O.B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW WILLIAMS-PARTNERS.COM

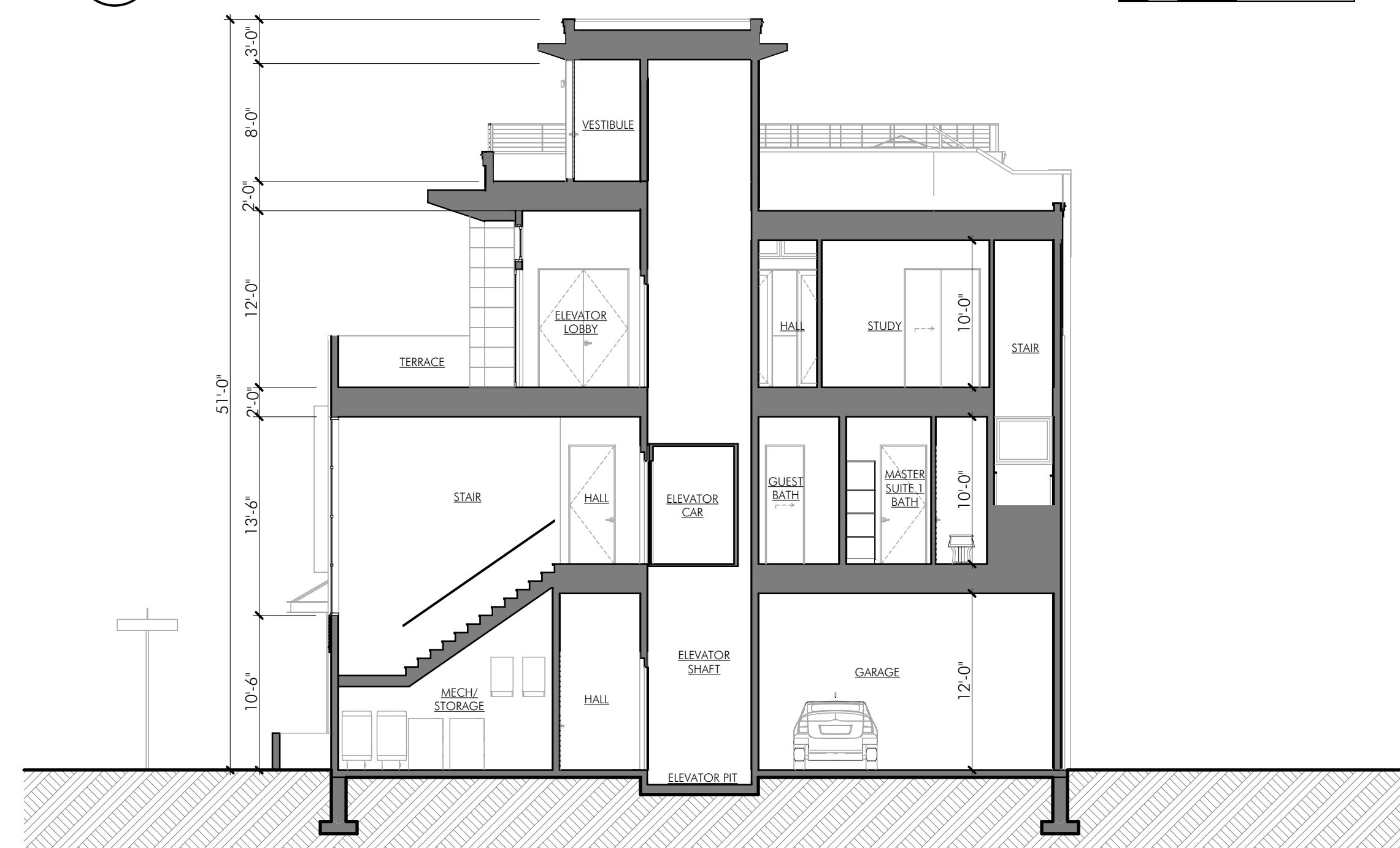
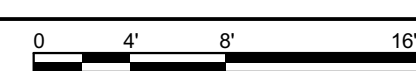
DATE 2/19/2016  
REVISION DESIGN REVIEW SET



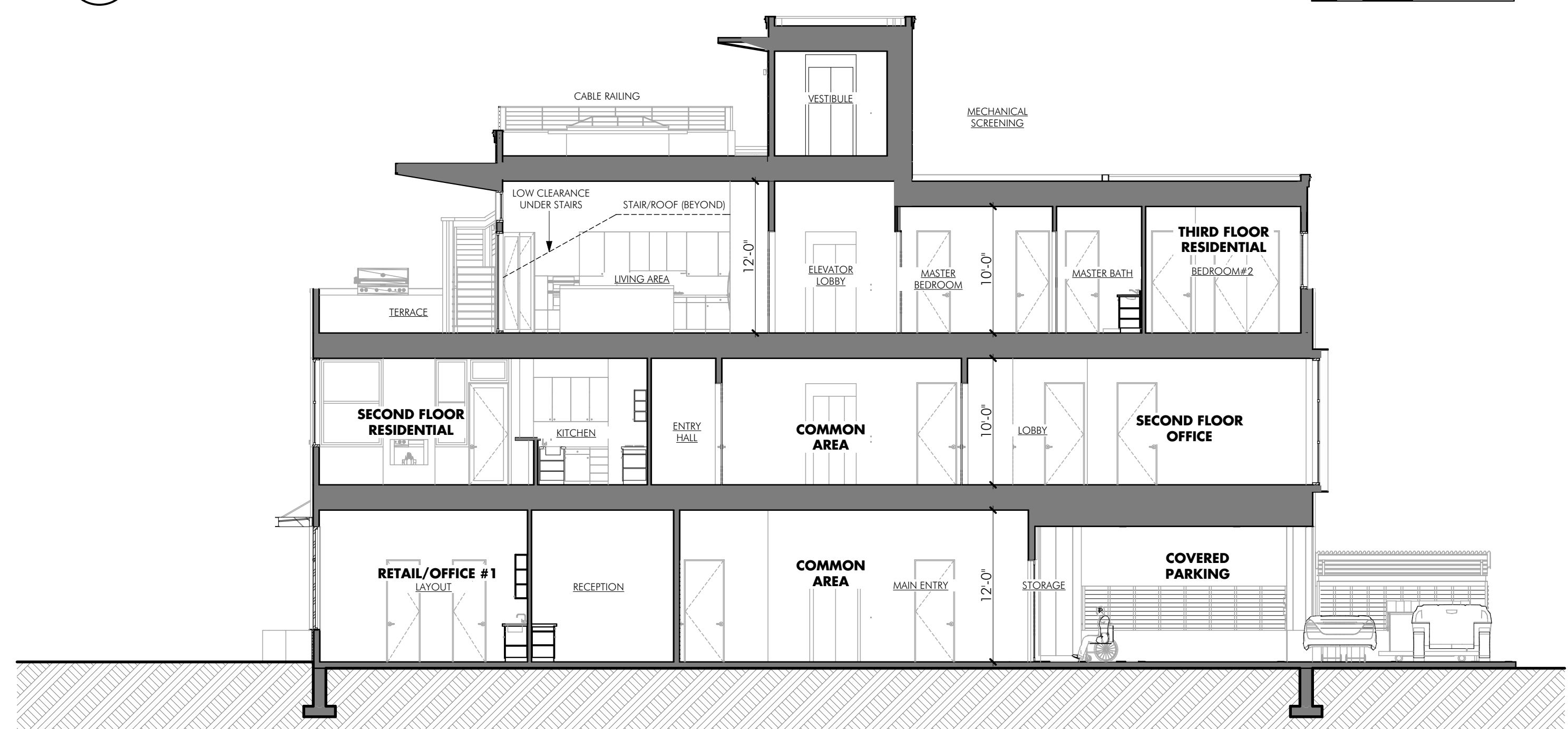
**D SECTION**  
SCALE: 1/8" = 1'-0"



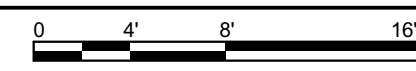
**B SECTION**  
SCALE: 1/8" = 1'-0"



**C SECTION**  
SCALE: 1/8" = 1'-0"



**A SECTION**  
SCALE: 1/8" = 1'-0"



OWNERSHIP OF DOCUMENTS: The instruments of Service herein are solely for use with respect to the Project. Williams Partners, its employees, agents, consultants, authors and owners of their respective instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights.



# KNEEBONE BUILDING

500 North Washington Avenue, Ketchum, Idaho

**WILLIAMS PARTNERS**  
**ARCHITECTS**  
MAIL P.O.B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW.WILLIAMS-PARTNERS.COM

DATE 2/19/2016  
REVISION DESIGN REVIEW SET

# A 4

C:\Users\Ryan\Desktop\Kneebone\04 - BIM Project Files\Kneebone - 12.pln



VIEW FROM SOUTHEAST (WASHINGTON AVENUE)



VIEW FROM SOUTHEAST (5th STREET)



VIEW FROM NORTHEAST (5TH STREET)



CONTEXT VIEW FROM NORTHEAST



CONTEXT VIEW FROM SOUTHWEST



CONTEXT VIEW FROM SOUTHEAST

OWNERSHIP OF DOCUMENTS: The instruments of service herein are solely for use with respect to the Project. Williams Partners and its affiliates and owners of their respective instruments of service and shall retain all common law, statutory and other reserved rights, including copyrights.



# KNEEBONE BUILDING

500 North Washington Avenue, Ketchum, Idaho

## WILLIAMS PARTNERS ARCHITECTS

MAIL P.O.B. 4373  
KETCHUM, IDAHO 83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW.WILLIAMS-PARTNERS.COM

DATE 2/19/2016  
REVISION DESIGN REVIEW SET

# A5

C:\Users\Ryan\Desktop\Kneebone\04 - BIM Project Files\Kneebone - 12.pln



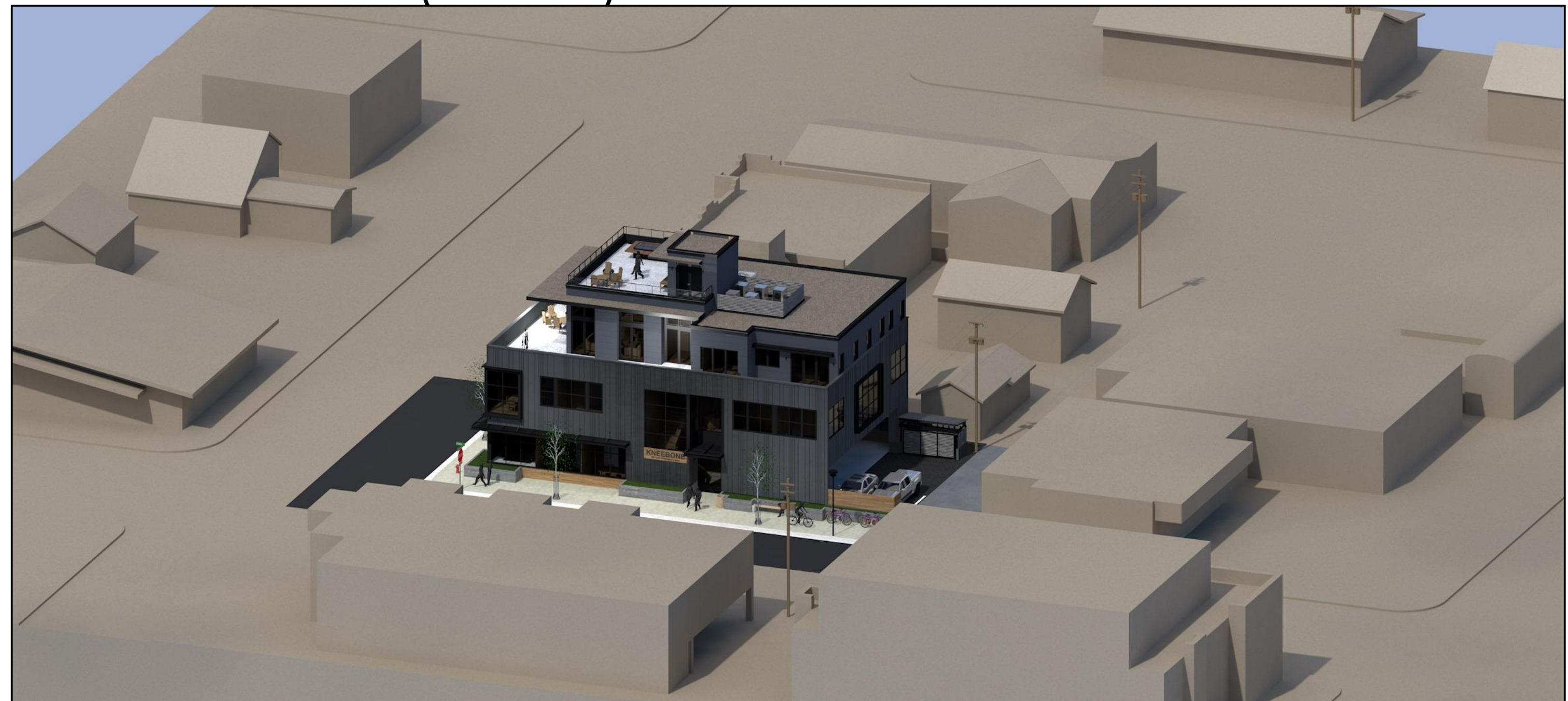
VIEW FROM SOUTHEAST (WASHINGTON AVENUE)



VIEW FROM SOUTHEAST (5th STREET)



VIEW FROM NORTHEAST (5TH STREET)



CONTEXT VIEW FROM NORTHEAST



CONTEXT VIEW FROM SOUTHWEST



CONTEXT VIEW FROM SOUTHEAST

Attachment C: Letters from Clear Creek, snow removal contractor and Idaho Power

**C L E A R   C R E E K   D I S P O S A L**

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • Fax: 208.726.8041

February 11, 2016

Morgan Brim, Senior Planner  
City of Ketchum  
P O Box 2315  
Ketchum, ID 83340-2315

Re: 500 Washington Ave N

Dear Mr. Brim,

Please allow this letter to serve that Steve Kearns has engaged in conversations with me, regarding a new enclosure at the building mentioned above. The conversations have been to the following:

This site will provide enough space for a dumpster to adequately handle garbage service to the building as per the attached drawing. There is enough space and access to service the dumpster adequately, utilizing a "Garbage Glider." As this site does not have enough room to allow for straight access to the dumpster, this scenario will only work with a mechanized mode of transporting the dumpsters to the alley for servicing. (Snow, Ice, Weight)

This enclosure when finished as per the plans will satisfy any and all concerns for the safe and efficient removal of garbage via the alley. If I may be of further assistance during this process or in the future, please call.

Sincerely,



Mike Goitiandia  
Clear Creek Disposal

Enclosure

CC. Steve Kearns

.500 Washington Ave N - 1



02/12/16

Kearns, McGinnis & Vandenberg, Inc  
PO Box 3233  
Ketchum, Id 83333

Re: Inquiry Concerning Electrical Service At:

500 N Washington, Ketchum Id

Dear Steve Kearns:

You have inquired as to whether the property located at 500 N Washington, Ketchum Id is within the certificated service territory of Idaho Power Company in the State of Idaho. This letter is to advise you that the property described above is currently located within the certificated service territory of Idaho Power Company (the Company) in the State of Idaho.

The Company will provide electrical service to the above location subject to the obtaining of any required easements, rights of way, and in compliance with the statutes of the State of Idaho and the tariffs of the Company on file with the Idaho Public Utilities Commission, in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the Idaho Public Utilities Commission.

Sincerely,

Bob Rubel  
Distribution Designer  
208-788-8015  
brubel@idahopower.com



Morgan,

I am writing in regards to the snow removal for the proposed Kneebone Building on 5<sup>th</sup> and Washington. After reviewing the proposed parking and the lack of adequate long term snow storage the snow would have to be hauled after every storm. This can be coordinated quite easily as we already perform this service for multiple businesses in Ketchum and will also be in line with the current city ordinance concerning snow removal in the downtown core.

Cordially,

Michael Koleno, Evergreen Landscaping



City of Ketchum  
City Hall

March 14, 2016

Planning and Zoning Commission  
City of Ketchum  
Ketchum, Idaho

Commissioners:

**STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
MARCH 14, 2016**

**PROJECT:** Alfs Residence Design Review

**FILE NUMBER:** #16-008

**OWNERS:** Susan Alfs Trustee & Alfs Family Trust Dated 7-3-14

**REPRESENTATIVE:** Chad Blincoe with Blincoe Architecture

**REQUEST:** Design Review for one detached residence

**LOCATION:** 731 N. 3<sup>rd</sup> Avenue (Lots 2, 3 and 4, Block 72, Ketchum Townsite)

**NOTICE:** Posted in three public places and mailed to adjacent property owners on February 19, 2016.

**ZONING:** General Residential – Low Density (GR-L)

**STAFF RECOMMENDATION:**

Staff recommends approval of the Alfs Residence Design Review application with conditions 1-6.

**INTRODUCTION:**

The applicant is proposing to replace a small existing single family residence on the southeast portion of the property with a new two story residence. The proposed residence will contain a total of 2,066 square feet with 789 square feet located in a basement level, 844 square feet on the main level and 433 square feet on the second floor level. No garage is being proposed.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.080	<b>Complete Application</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>City Department Comments</b>	<b>Police Department</b> <ul style="list-style-type: none"> <li>○ No concerns were identified.</li> </ul>
				<b>Fire Department</b> <ul style="list-style-type: none"> <li>○ New addresses must be attained from the Fire Department prior to building permit issuance.</li> </ul>
				<b>Streets</b> <ul style="list-style-type: none"> <li>○ Drainage plans will be required at the time of building permit.</li> <li>○ The right-of-way adjacent to the new construction will need to meet city standards.</li> </ul>
				<b>City Engineer</b> <ul style="list-style-type: none"> <li>○ No comments provided.</li> </ul>
				<b>Utilities</b> <ul style="list-style-type: none"> <li>○ The existing structure is on a private well and will be required to connect to city water.</li> <li>○ Appropriate impact fees and meter charges will be required.</li> <li>○ The nearest water main is on 3<sup>rd</sup> Avenue.</li> </ul>
				<b>City Arborist</b> <ul style="list-style-type: none"> <li>○ No comments provided.</li> </ul>
				<b>Building:</b> <ul style="list-style-type: none"> <li>○ A demolition permit is required.</li> </ul>
				<b>Planning and Zoning:</b> <ul style="list-style-type: none"> <li>○ Comments are listed throughout the staff report.</li> </ul>
Compliance with Zoning District and Overlay Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Standard	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Lot Area/Coverage</b>
			<b>Staff Comments</b>	<i>The applicant is proposing a total lot coverage of 25%. The GR-L District allows for a maximum coverage of 35%.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Building Height</b>
			<b>Staff Comments</b>	<i>Required: 35' Proposed: 28'</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>SETBACKS:</b>
			<b>Staff Comments</b>	<i>Required: Front: 15' Interior North Side: 9'-4" Street Side: 10' Rear: 10' Proposed:</i>

				<p>Front: 20' Rear: 88' Interior Side: 9'-6" Street Side: 21'</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.124.060.M</b>	<p><b>Curb Cut</b></p> <p><i>Required:</i> A maximum of 35% of street frontage may be devoted towards access to off street parking.</p> <p><i>Proposed:</i> The existing home on the same property to the west contains a 24' wide driveway and the subject property is proposing an 18' wide driveway; totaling 42' which translates to a total access of 29.7% of the street frontage.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.050</b>	<p><b>Parking Spaces</b></p> <p><i>Required:</i> One space per residential unit is required.</p> <p><i>Proposed:</i> Two parking spaces are proposed adjacent to 7<sup>th</sup> Street.</p>
<b>Design Review Requirements</b>				
<b>EVALUATION STANDARDS: 17.96.090(B)</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>Standard</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (1) SITE DESIGN</b>	<p>The site's significant natural features such as hillsides, mature trees and landscaping shall be preserved. Cuts and fills shall be minimized and shall be concealed with landscaping, revegetation and/or natural stone material.</p> <p><i>Staff Comments</i> The plans indicate that existing landscaping and vegetation will be retained onsite. Pine trees are located adjacent to 3<sup>rd</sup> Avenue and one Oak Tree is located along 7<sup>th</sup> Street. The applicant's arborist indicates that the Oak tree will need to be trimmed back, but will be retained.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (2)a COMPATIBILITY</b>	<p>The structure shall be compatible with the townscape and surrounding neighborhoods with respect to height, bulk, setbacks and relationship to the street.</p> <p><i>Staff Comments</i> The proposed residence appears to be compatible and in scale with the modern architecture of surrounding properties.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (2)b</b>	<p>The project's materials, colors and signing shall be compatible with the townscape, surrounding neighborhoods and adjoining structures.</p> <p><i>Staff Comments</i> Cedar vertical paneling siding is proposed for exterior walls. Bronze/black window frames are incorporated and asphalt shingles are being utilized for the roof.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (2)c</b>	<p>Consideration shall be given to significant view corridors from surrounding properties.</p> <p><i>Staff Comments</i> This project is not located on or near an identified significant corridor.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (2)d</b>	<p>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</p>

			<b>Staff Comments</b>	<i>No significant landmarks have been identified.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)a ARCHITECTURAL QUALITY</b>	<b>Consideration shall be given to natural light reaching public streets, sidewalks and open spaces.</b>
			<b>Staff Comments</b>	<i>The proposed residence only contains a height of 28 feet which is well below the maximum allowed for the GR-L District. In addition to large setbacks there are no perceived conflicts with solar access to the street and public ways.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)b</b>	<b>The building character shall be clearly defined by use of sloped roofs, parapets, cornices or other architectural features.</b>
			<b>Staff Comments</b>	<i>The building contains a simple design that utilized windows that help to distinguish between horizontal levels within the structure. Decks and metal railings further break up the bulk of the building's massing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)c</b>	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<b>Staff Comments</b>	<i>The same materials for exterior wood paneling, window frames and metal railing are used throughout the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)d</b>	<b>There shall be continuity among accessory structures, fences, walls and landscape features within the project.</b>
			<b>Staff Comments</b>	<i>No accessory structures are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)e</b>	<b>Building walls which are exposed to the street shall be in scale with the pedestrian.</b>
			<b>Staff Comments</b>	<i>A walkway is proposed from the driveway along 7<sup>th</sup> Street to the building's main entrance on the west elevation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)f</b>	<b>Building walls shall provide undulation/relief thus reducing the appearance of bulk and flatness.</b>
			<b>Staff Comments</b>	<i>Building walls appear to be mainly flat. However, windows and decks are oriented to help break up the wall's surface.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)g</b>	<b>Exterior lighting shall not have an adverse impact upon other properties and/or public streets.</b>
			<b>Staff Comments</b>	<i>The applicant is proposing an "urban barn" high bronze outdoor wall light. The detail in the plans appears to be dark sky compliant. The applicant will need to provide further details to the Commission regarding the location of exterior lighting.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)h</b>	<b>Garbage storage areas and satellite receivers shall be screened from public view.</b>
			<b>Staff Comments</b>	<i>The garage will be stored in the residence and then taken out for collection at the appropriate time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)i</b>	<b>Utility, power and communication lines within the development site are concealed from public view where feasible.</b>
			<b>Staff Comments</b>	<i>All onsite utilities are required to be located underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)j</b>	<b>Door swings shall not obstruct or conflict with pedestrian traffic.</b>
			<b>Staff Comments</b>	<i>No conflict was identified.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)k</b>	<b>Building design should include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or to adjacent properties.</b>
			<i>Staff Comments</i>	<i>The roof plans show snow clips and a gutter system will be installed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (3)l</b>	<b>Exterior siding materials shall be of natural wood or masonry origin or similar quality. Metal siding is discouraged in all zoning districts.</b>
			<i>Staff Comments</i>	<i>Cedar wood siding is proposed for exterior walls. No metal siding is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (4)d</b>	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<i>Staff Comments</i>	<i>The street department has approved of the location of the driveway and has not indicated any concerns regarding traffic flows.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (4)e</b>	<b>Parking areas have functional aisle dimensions, backup space and turning radius.</b>
			<i>Staff Comments</i>	<i>The proposed parking spaces meet the minimum dimensional requirements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (4)f</b>	<b>Location of parking areas is designed for minimum adverse impact upon living areas within the proposed development and minimizes adverse impact upon adjacent properties with regard to noise, lights and visual impact.</b>
			<i>Staff Comments</i>	<i>The proposed spaces are located so that head lights of vehicles will be directed inward.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (4)g</b>	<b>Curb cuts are located away from major intersections and off high volume roadways where possible.</b>
			<i>Staff Comments</i>	<i>The proposed driveway is located 62 feet from the 3<sup>rd</sup> Avenue and 7<sup>th</sup> Street intersection.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (4)h</b>	<b>Adequate unobstructed access for emergency vehicles, snow plows, garbage trucks and similar service vehicles to all necessary locations within the proposed project is provided.</b>
			<i>Staff Comments</i>	<i>The Fire Department has not expressed concerns regarding emergency access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (4)i</b>	<b>The project is designed so as to provide adequate snow storage areas or removal for snow cleared from the parking areas and roadways within the project. (50 percent)</b>
			<i>Staff Comments</i>	<i>The site contains large open areas to accommodate snow storage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (5)b</b>	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and compliment the neighborhood and townscape. Consideration should be given to the use of native, drought-resistant plant materials.</b>
			<i>Staff Comments</i>	<i>The plans indicate that existing vegetation will be maintained to a large extent.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (5)d</b>	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate shall be encouraged.</b>

			<b>Staff Comments</b>	<i>The plans indicate that existing vegetation will be maintained to a large extent.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)a Master Signage Plans Design Guidelines</b>	<b>Exposed support structures for signs, including, but not limited to, posts, poles and sign sides or edges, must be faced or covered with wood, stone or metal which is corrosion resistant, painted or anodized, or such other material as may be approved by the city as a reasonable, natural textured substitute.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)b</b>	<b>All freestanding signs shall have landscaping around the base of the support structure in order to provide a transition from the ground to the sign.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)c</b>	<b>All materials should prevent reflective glare.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)d</b>	<b>Simple and easy to read typefaces should be used on signs. Hard to read and overly intricate typefaces should be avoided.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)e</b>	<b>Signs that have symbols, characters, or graphics are encouraged. The symbol, character, or graphic should relate to the products sold in the business or to the name of the business.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)f</b>	<b>Signs that show depth and cast shadows are encouraged. Depth and shadows can be created by mounting individually cut letters and symbols on the sign base or carving letters and symbols into the base of the sign.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)g</b>	<b>Projecting signs are preferred over portable or sandwich board signs. Projecting signs generally are more effective for increasing visibility to both pedestrians and motorists.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)h</b>	<b>Sign materials and colors should complement the building facade. Basic and simple color applications are encouraged and vibrant colors should be avoided.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)i</b>	<b>The color of letters and symbols should contrast the base or background color of the sign to maximize readability.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)j</b>	<b>Signs shall not cover or obscure windows, doors, storefronts, building entrances, eaves, cornices, columns, horizontal expression lines, or other architectural elements or details.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.090(B) (9)k</b>	<b>Signage on buildings with multiple tenants shall be limited to prevent sign clutter. Individual signs for tenants with ground floor storefront entrances are permitted. A directory sign with the names and suite numbers of all tenants without a ground floor storefront entrance may be provided at the lobby entrance for those tenants.</b>
			<b>Staff Comments</b>	<i>Not applicable, no signage is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.090(B) (9)l</b>	<b>An address marker shall be provided at the main entrance to all buildings.</b>
			<b>Staff Comments</b>	<i>The standard will be verified at final inspection.</i>

**MOTION LANGUAGE:**

"I move to approve the Design Review application by Susan Alfs for the Alfs Residence with conditions 1-6"; or

"I move to deny the Design Review application by Susan Alfs for the Alfs Residence because of the following standards (Commission to insert reasons for denial)."

**RECOMMENDED CONDITIONS:**

1. Design Review approval shall expire one (1) year from the date of approval;
2. Design Review elements shall be completed prior to final inspection/occupancy;
3. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
4. Approval and recordation of a final plat is required before residential units may be sold separately from each other;
5. Prior to issuance of a certificate of occupancy all public improvement shall be installed and finalized as approved by the Public Works Department; and
6. In addition to the requirements set forth in this design review approval, this project shall comply with all applicable local, state and federal laws.

**ATTACHMENTS:**

- A. Application
- B. Plans



Attachment A: Application

**DESIGN REVIEW APPLICATION**

Project Name: ALFS RESIDENCE

Owner: SUSAN ALFS Phone No.: \_\_\_\_\_

Mailing Address: PO BOX 2355 KETCHUM ID 83340

Architect/Representative: BLINCOE ARCHITECTURE/CHAD BLINCOE Phone No.: 208-376-5710

Mailing Address: P.O. BOX 4424 KETCHUM ID, 83340

Architect License No.: AR-984802

Engineer License No.: 8618 Engineer of Record: KONRAD & STOHLER STRUCTURAL ENGINEERING

All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.

Preapplication Fee: N/A Date Paid: \_\_\_\_\_

Design Review Fee: \$ 2150 Date Paid: \_\_\_\_\_

Legal Land Description: LOTS 2,3,4 BLK 72

Street Address: 731 N 3RD AVE KETCHUM ID,83340

Lot Area: 24,750 SF Zoning District: CITY/ GR-L

Overlay District: Flood  Avalanche  Pedestrian  Mountain

Anticipated Use: R

Type Construction: New  Remodel  Addition  Other

Number of Residential Units: \_\_\_\_\_ Number of Hotel Units: \_\_\_\_\_

Total Floor Area: Proposed Existing Setbacks (CC Zone) (CC Zone Only)

Basements: 789 SQ. FT \_\_\_\_\_ Ground Floor Open Space \_\_\_\_\_

1st Floor: 844 SQ. FT. \_\_\_\_\_ Roofline Length \_\_\_\_\_

2nd Floor: 433 SQ. FT. \_\_\_\_\_ Building Width \_\_\_\_\_

3rd Floor: N/A \_\_\_\_\_ Horizontal Breaks Every \_\_\_\_\_ Feet

Mezzanine: N/A \_\_\_\_\_ Break Depth \_\_\_\_\_ Width \_\_\_\_\_

Total: 2,066 SQ. FT. \_\_\_\_\_ Floor Area Ratio \_\_\_\_\_

Percent of Building Coverage: 23 % OF LOT 4 (EXISTING BUILDNGS & NEW CONSTRUCTION)

Curb Cut: 15 %

Setbacks: Front 15 FT Side 10 FT Side 9.5 FT Rear 15 FT

Height: 28 FT Parking Spaces Provided: 2

Construction Phasing: SINGLE

Will fill or excavation be required? If yes, amount in cubic yards- Fill \_\_\_\_\_ Excavation X

Will existing trees or vegetation be removed? Yes X No \_\_\_\_\_

Water System: Municipal Service X Ketchum Spring Water \_\_\_\_\_

**The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the City of Ketchum is the prevailing party to pay the reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum.**

**I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.**

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Approved/Denied: \_\_\_\_\_ Date: \_\_\_\_\_

Pursuant to Resolution No. 08-123, any direct costs incurred by the City of Ketchum to review this application will be the responsibility of the applicant. Costs include but are not limited to: engineer review, attorney review, legal noticing, and copying costs associated with the application. The City will require a retainer to be paid by the applicant at the time of application submittal to cover said costs. Following a decision or other closure of an application, the applicant will either be reimbursed for unexpended funds or billed for additional costs incurred by the City.



**Urban Barn Collection 11 1/4" High Bronze Outdoor Wall Light  
By John Timberland lighting**

Style # W4596

- Urban Barn rustic style outdoor wall light.
- Oil-rubbed bronze finish.
- Metal shade.
- For indoor or outdoor use.
- Maximum 72 watt or equivalent bulb (not included).
- 11 1/4" high.
- 8 1/2" wide.
- Shade only is 8 1/2" wide, 4 1/4" high.
- Extends 10 1/2" from wall.
- Backplate is 6 1/4" wide.

PLYWOOD SOFFIT

WOOD VENT

BLACK/BRONZE WINDOW FRAME

ASPHALT SHINGLES

METAL RAILING

ASPHALT SHINGLES

CEDAR FASCIA

CEDAR SIDING

METAL RAILING

EXPOSED CONCRETE



BLINCOE ARCHITECTURE

ALPS RESIDENCE

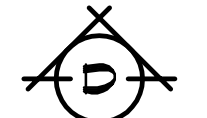
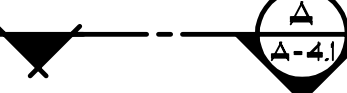

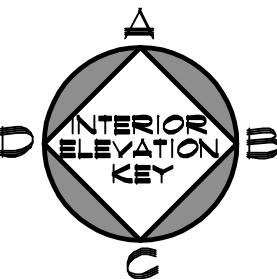
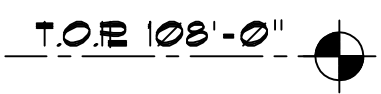





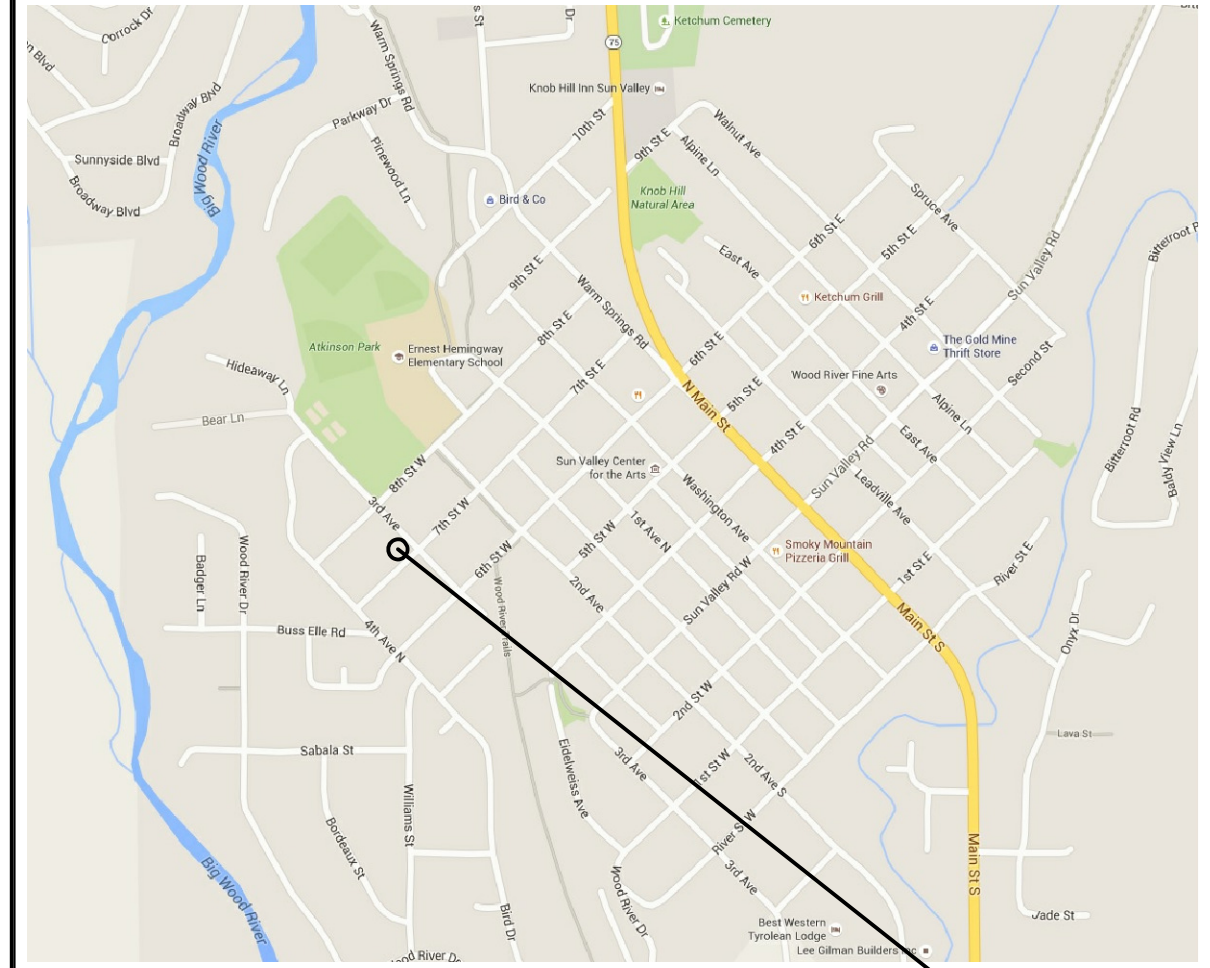
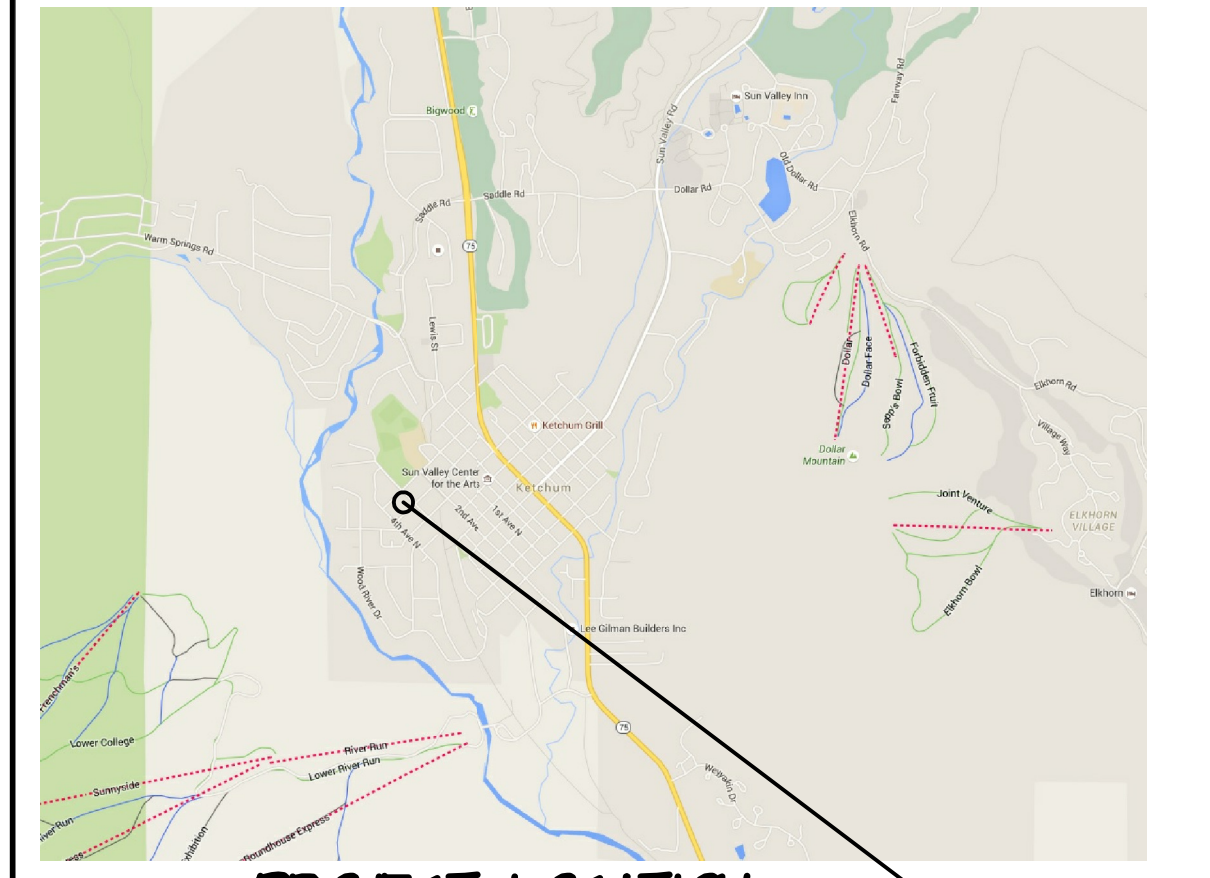
SOUTHEAST VIEW

BA

Attachment B: Plans

# ALFS RESIDENCE

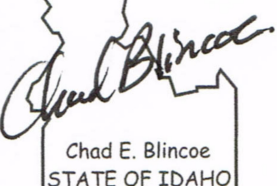
JANUARY 25th, 2016  
731 N 3rd AVE.  
KETCHUM, IDAHO 83340

<p style="text-align: center;"><b>PROJECT TEAM</b></p> <p><b>ARCHITECT:</b> <b>Blincoe Architecture</b> POST OFFICE BOX 4424 KETCHUM, IDAHO 83340 (208) 720-1925</p> <p><b>STRUCTURAL ENGINEER:</b> <b>Konrad &amp; Stohler Structural Engineering</b> 614 S. MAIN BELLEVUE, IDAHO 83213 (208) 928-7810</p> <p><b>BUILDER:</b> <b>Dave Wilson Construction</b> 251 NORTHWOOD WAY SUITE F KETCHUM, IDAHO 83340 (208) 726-9716</p>	<p style="text-align: center;"><b>GENERAL NOTES:</b></p> <p>NOTE: 1. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK. 2. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. 3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. 4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED. 5. ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AN AUTHORIZED BUILDING PERMIT AND NOTIFYING THE KETCHUM BUILDING DEPARTMENT, STATE ELECTRICAL, MECHANICAL, AND PLUMBING INSPECTORS FOR APPROPRIATE SITE INSPECTIONS. 6. THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO PREVENT DAMAGE. 7. THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE, APPLICATION MATERIAL, AND TRASH. ALL MATERIAL MUST BE DISPOSED OF IN A SAFE AND PROFESSIONAL MANNER. 8. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION, NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR THEIR EMPLOYEES.</p>	<p style="text-align: center;"><b>CODE COMPLIANCE:</b></p> <p>1. MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE W/ THE 2012 INTERNATIONAL BUILDING CODE, 2012 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2012 INTERNATIONAL MECHANICAL CODE. 2. PLUMBING VENTING TO REFLECT COMPLIANCE W/ 2012 INTERNATIONAL BUILDING CODE AND 2012 INTERNATIONAL ENERGY CONSERVATION CODE. 3. ALL ELECTRICAL SHALL CONFORM TO 2012 INTERNATIONAL BUILDING CODE AND 2012 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p><b>ROOFING:</b> * ALL ROOFING SHALL COMPLY WITH CHAPTER 9 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE. <b>HANDRAILS &amp; GUARDRAILS:</b> * ALL STAIRWAYS SHALL COMPLY WITH CHAPTER 10 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE. <b>BUILDING ENVELOPE:</b> * SHALL COMPLY WITH SECTION 402 OF THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE. <b>LIGHTING EQUIPMENT:</b> * SHALL COMPLY WITH SECTION 404.1 OF THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE. <b>ATTIC ACCESS:</b> * SHALL COMPLY WITH SECTION 402.2.3 OF THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE. <b>CHIMNEYS AND FIREPLACES:</b> * ALL CHIMNEYS AND FIREPLACES SHALL COMPLY WITH CHAPTER 10 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE AND SECTION 402.4.3 OF THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE. <b>GLASS AND GLAZING:</b> * SHALL COMPLY WITH SECTION R612 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE. <b>DUCTS:</b> * SHALL COMPLY WITH SECTION 403.2 OF THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE. <b>CRAWLSPACE VENTING:</b> * SHALL COMPLY WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE. <b>LIVING SPACE VENTILATION:</b> * SHALL HAVE A RECOMMENDED AIR EXCHANGE OF .35 EXCHANGES PER HOUR. VERIFY WITH THE MECHANICAL SYSTEM.</p>	<p style="text-align: center;"><b>SHEET INDEX</b></p> <p>CS COVER SHEET L-1 SITE PLAN L-2 CONSTRUCTION ACTIVITY STANDARDS &amp; PLAN A-1 BASEMENT/MAIN LEVEL/LOFT FLOOR PLAN/ROOF PLAN A-2 BUILDING SECTIONS A-3 EXTERIOR ELEVATIONS A-4 EXTERIOR PERSPECTIVES</p>
<p style="text-align: center;"><b>ARCHITECTURAL SYMBOLS</b></p> <p>INTERIOR ELEVATION CALL OUT: </p> <p>SECTION REFERENCE: </p> <p>DETAIL REFERENCE: </p> <p>INTERIOR ELEVATION KEY: </p> <p>ELEVATION CALL OUT: </p> <p>NORTH ARROW: </p> <p>ROOM NUMBER: </p> <p>DOOR REFERENCE: </p> <p>WINDOW REFERENCE: </p> <p>REVISION REFERENCE: </p>	<p style="text-align: center;"><b>BUILDING DATA</b></p> <p>OCCUPANCY : R3 CONSTRUCTION TYPE : I WOOD FRAME</p> <p>SQUARE FOOTAGE : BASEMENT AREA 789 # MAIN LEVEL AREA 844 # LOFT AREA 433 # TOTAL LIVING AREA: 2,066 # GARAGE N/A # TOTAL BUILDING AREA: 2,066 #</p> <p>PROPERTY AREA : TOTAL LOT AREA: 24,750 SQ. FT./0.568 ACRES LOT 4 AREA: 8,250 SQ. FT. LOT COVERAGE: 23% LOT COVERAGE</p> <p>BUILDING CODE : 2012 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY CITY OF KETCHUM : 2012 INTERNATIONAL FIRE CODE AS ADOPTED BY KETCHUM FIRE DEPARTMENT : 2012 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY CITY OF KETCHUM</p> <p>ZONING : GR-L PHYSICAL ADDRESS : 731 N 3rd AVE. LEGAL DESCRIPTION : KETCHUM LOTS 2,3,4 BLK 72 24,750 SF PARCEL NUMBER : RPK0000071001A</p> <p>CITY OF KETCHUM BUILDING DEPARTMENT. KETCHUM FIRE DEPARTMENT</p>	<p style="text-align: center;"><b>ENERGY REPORT</b></p> <p>* SEE REPORT FROM JOHN REUTER W/ GREENWORKS.</p>	<p style="text-align: center;"><b>VICINITY MAP</b></p>  <p style="text-align: center;"><b>SITE</b></p>
			<p style="text-align: center;"><b>NEIGHBORHOOD MAP</b></p>  <p style="text-align: center;"><b>PROJECT LOCATION</b></p>

www.BlincoeArchitecture.com  
**Blincoe Architecture**  
UPSI/FEDEC  
P.O. Box 4424  
Ketchum, Idaho 83340  
Tel: (208) 720-1925  
Email: info@blincoearchitecture.com

BA

LICENSED ARCHITECT  
AR-984802



Chad E. Blincoe  
STATE OF IDAHO

## ALFS RESIDENCE

731 N 3rd AVE.  
KETCHUM, IDAHO 83340

**DESIGN REVIEW SET**  
NOT FOR CONSTRUCTION

JOB #:	003.16
PLOT DATE:	1/22/16
DESIGN REVIEW:	1/25/16
PERMIT:	
CONSTRUCTION:	
REVISIONS:	

CS



1 SITE PLAN  
L1 3/32" = 1'-0"



EXISTING STRUCTURE TO BE REMOVED



EXISTING STRUCTURE TO BE REMOVED

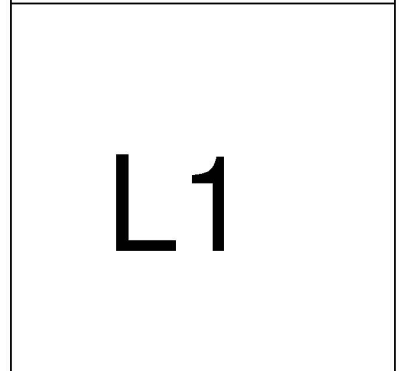
DESIGN REVIEW SET  
NOT FOR CONSTRUCTION

www.BlincoeArchitecture.com  
**Blincoe Architecture**  
 Mail: UPS/FedEx: 251 Northwood Way Suite E  
 Ketchum, Idaho 83340  
 Tel: 208-720-1325  
 Email: info@BlincoeArchitecture.com

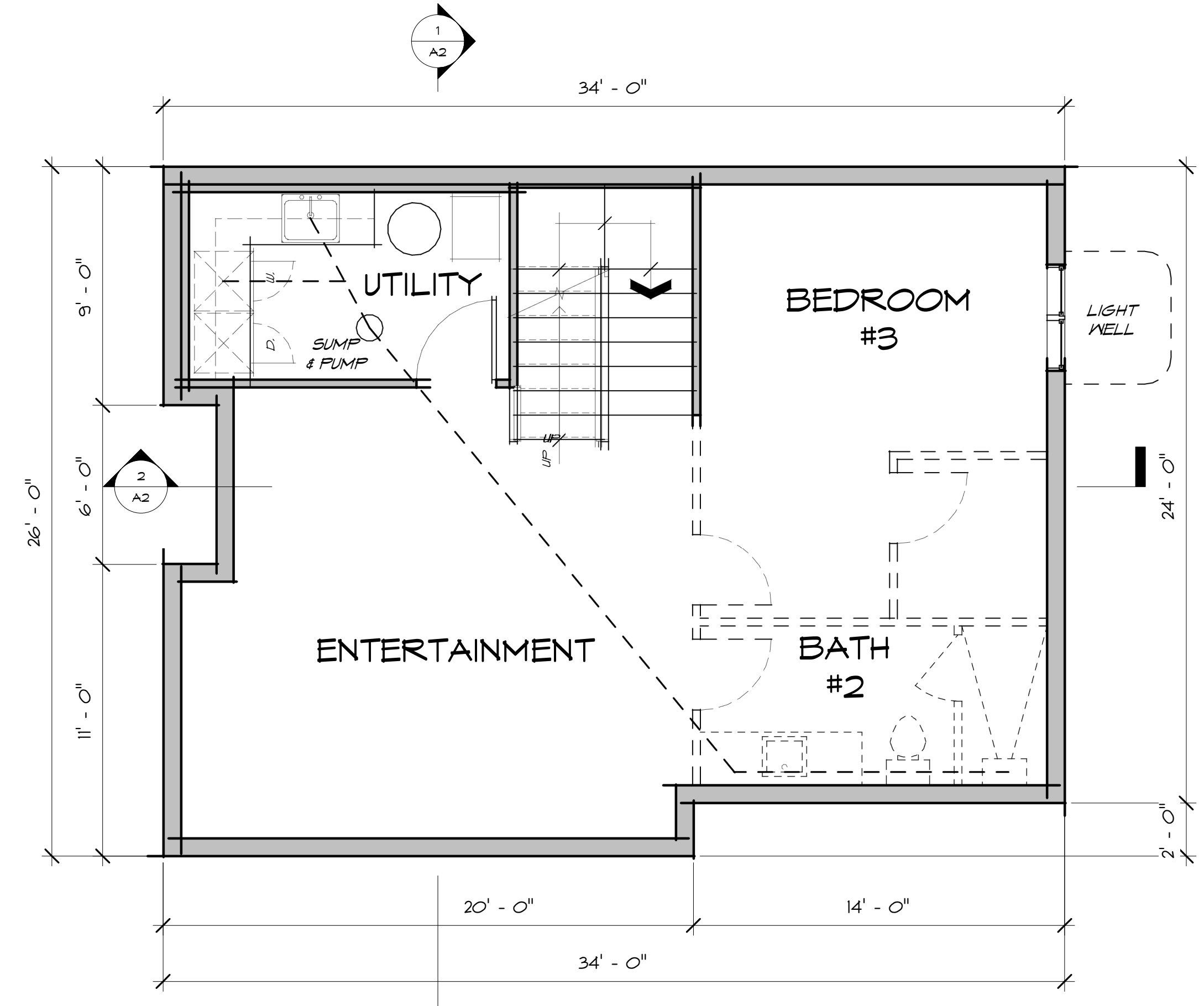
LICENSED ARCHITECT  
 AR-984802  
  
 Chad E. Blincoe  
 STATE OF IDAHO

**ALFS RESIDENCE**  
 731 N 3RD AVE.  
 KETCHUM, ID 83340

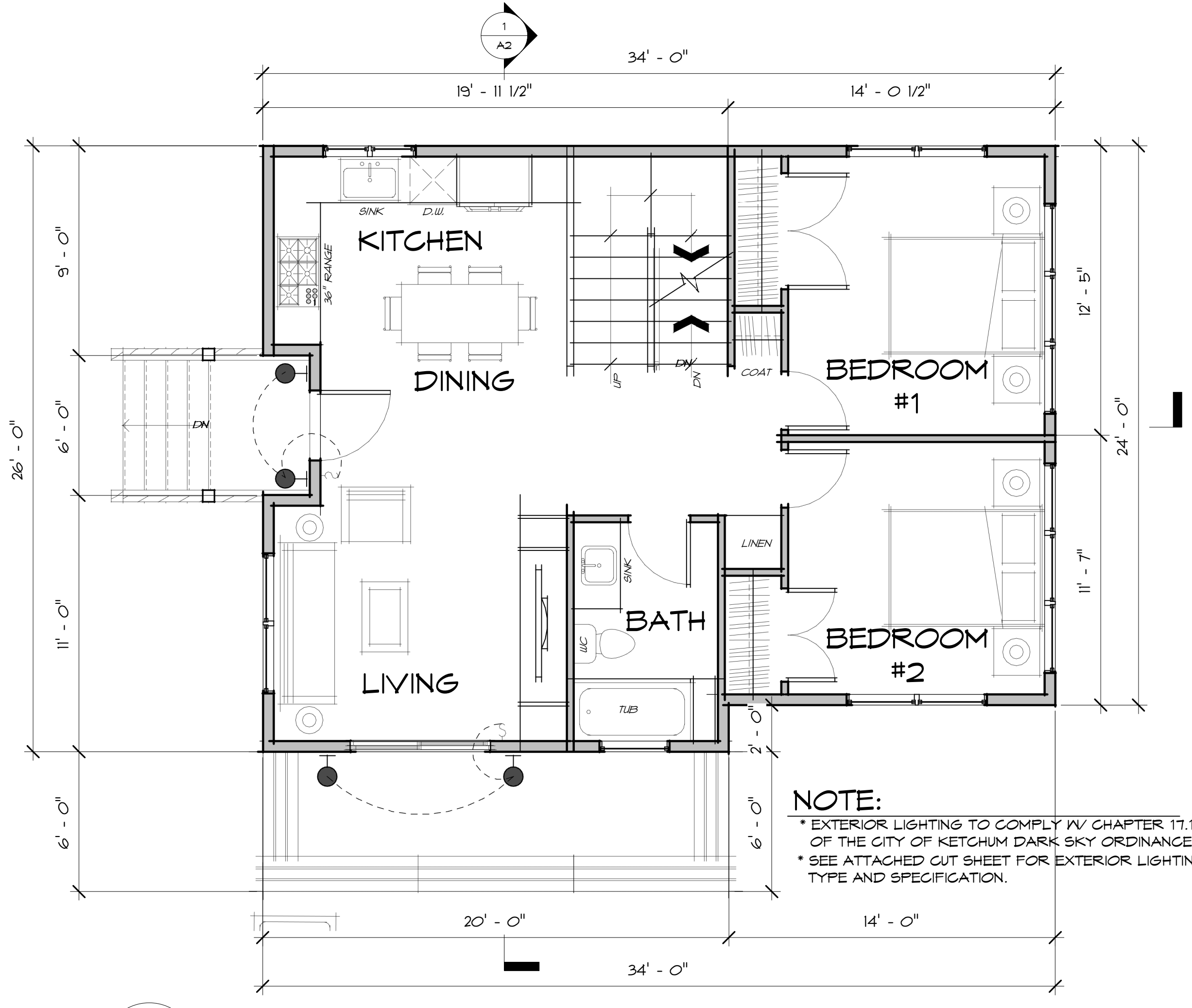
JOB #:	003.16
PLOT DATE:	01/22/15
DESIGN REVIEW:	01/25/16
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
▲	
▲	
▲	
▲	



OWNERSHIP OF DOCUMENTS: This drawing and specifications are instruments of service and are the property of the Architect, Blincoe Architecture and is not to be used, in whole or in part, for any other project without written authorization.

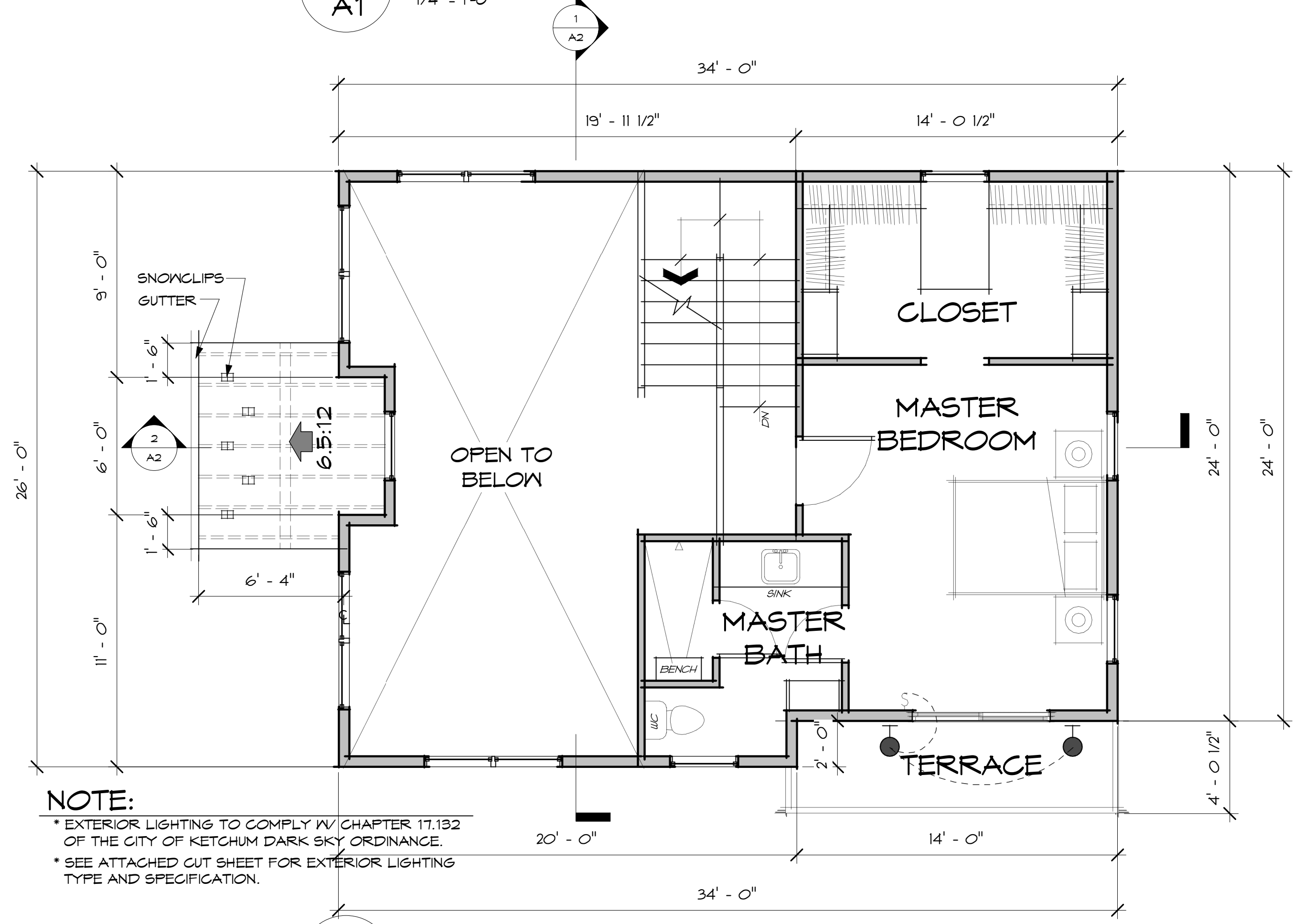


**1 BASEMENT FLOOR PLAN**  
A1 1/4" = 1'-0"



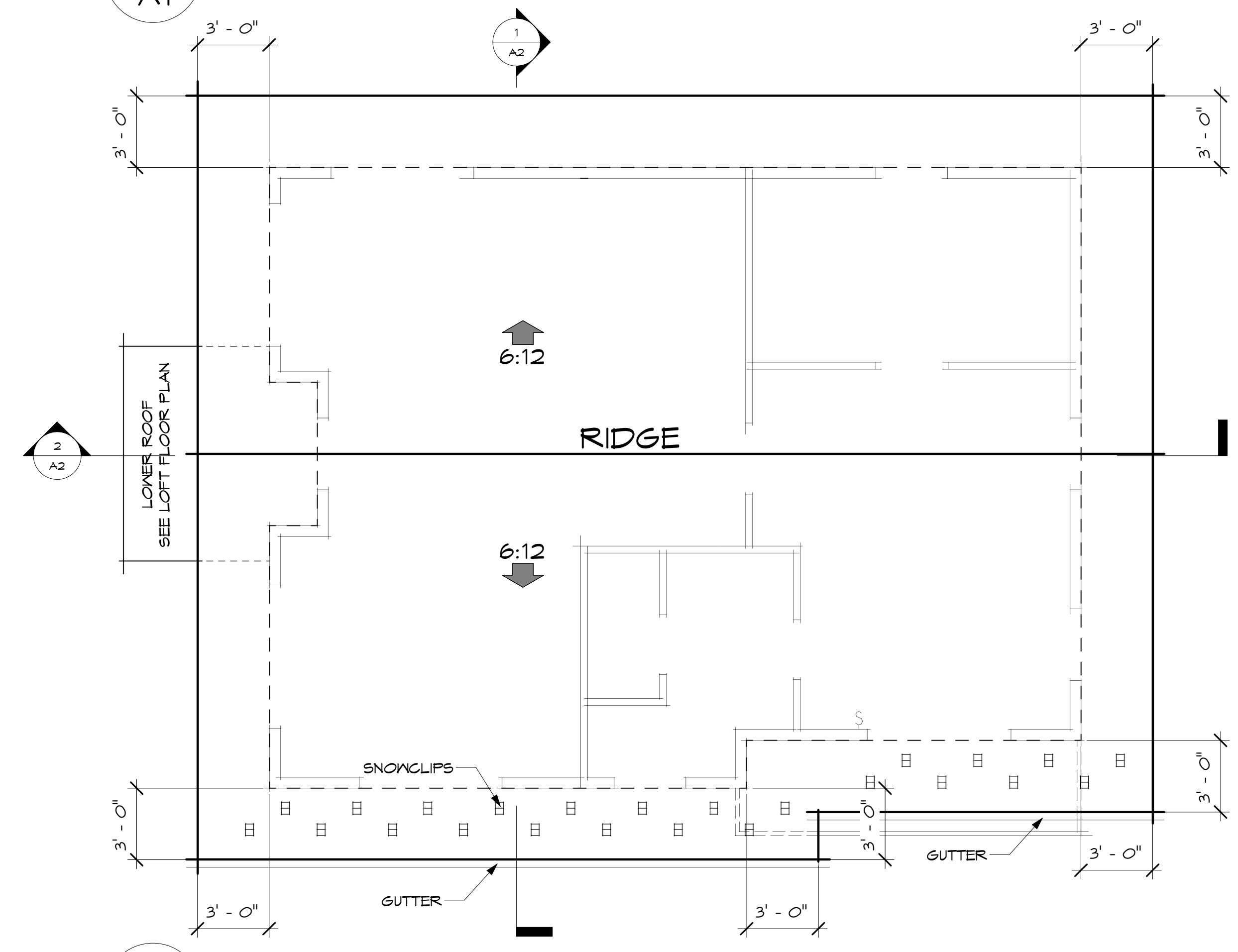
**2 MAIN LEVEL FLOOR PLAN**  
A1 1/4" = 1'-0"

**NOTE:**  
\* EXTERIOR LIGHTING TO COMPLY W/ CHAPTER 17.132 OF THE CITY OF KETCHUM DARK SKY ORDINANCE.  
\* SEE ATTACHED CUT SHEET FOR EXTERIOR LIGHTING TYPE AND SPECIFICATION.



**3 LOFT FLOOR PLAN**  
A1 1/4" = 1'-0"

**NOTE:**  
\* EXTERIOR LIGHTING TO COMPLY W/ CHAPTER 17.132 OF THE CITY OF KETCHUM DARK SKY ORDINANCE.  
\* SEE ATTACHED CUT SHEET FOR EXTERIOR LIGHTING TYPE AND SPECIFICATION.



**4 ROOF PLAN**  
A1 1/4" = 1'-0"

**ALFS RESIDENCE**  
731 N 3RD AVE.  
KETCHUM, ID 83340

www.BlincoeArchitecture.com  
**Blincoe Architecture**  
P.O. Box 424  
Ketchum, Idaho 83340  
Tel.: 208-720-1325  
info@BlincoeArchitecture.com

LICENSED ARCHITECT  
AR-984802  
Chad E. Blincoe  
STATE OF IDAHO

OWNERSHIP OF DOCUMENTS: This Drawing and specifications are instruments of service and are the property of the Architect. Blincoe Architecture and is not to be used, in whole or in part, for any other project without written authorization.


JOB #:	003.16
PLOT DATE:	01/22/15
DESIGN REVIEW:	01/25/16
PERMIT:	
CONSTRUCTION:	
REVISIONS:	

**DESIGN REVIEW SET**  
NOT FOR CONSTRUCTION

A1



www.BlincoeArchitecture.com  
**Blincoe Architecture**  
 Mail: P.O. Box 4424  
 UPS/FedEx: 251 Northwood Way Suite E  
 Ketchum, Idaho 83340  
 83340  
 Email: info@BlincoeArchitecture.com  
 Tel.: 208-720-1325

LICENSED ARCHITECT  
 AR-984802  
  
 Chad E. Blincoe  
 STATE OF IDAHO

**ALFS RESIDENCE**  
 731 N 3RD AVE.  
 KETCHUM, ID 83340

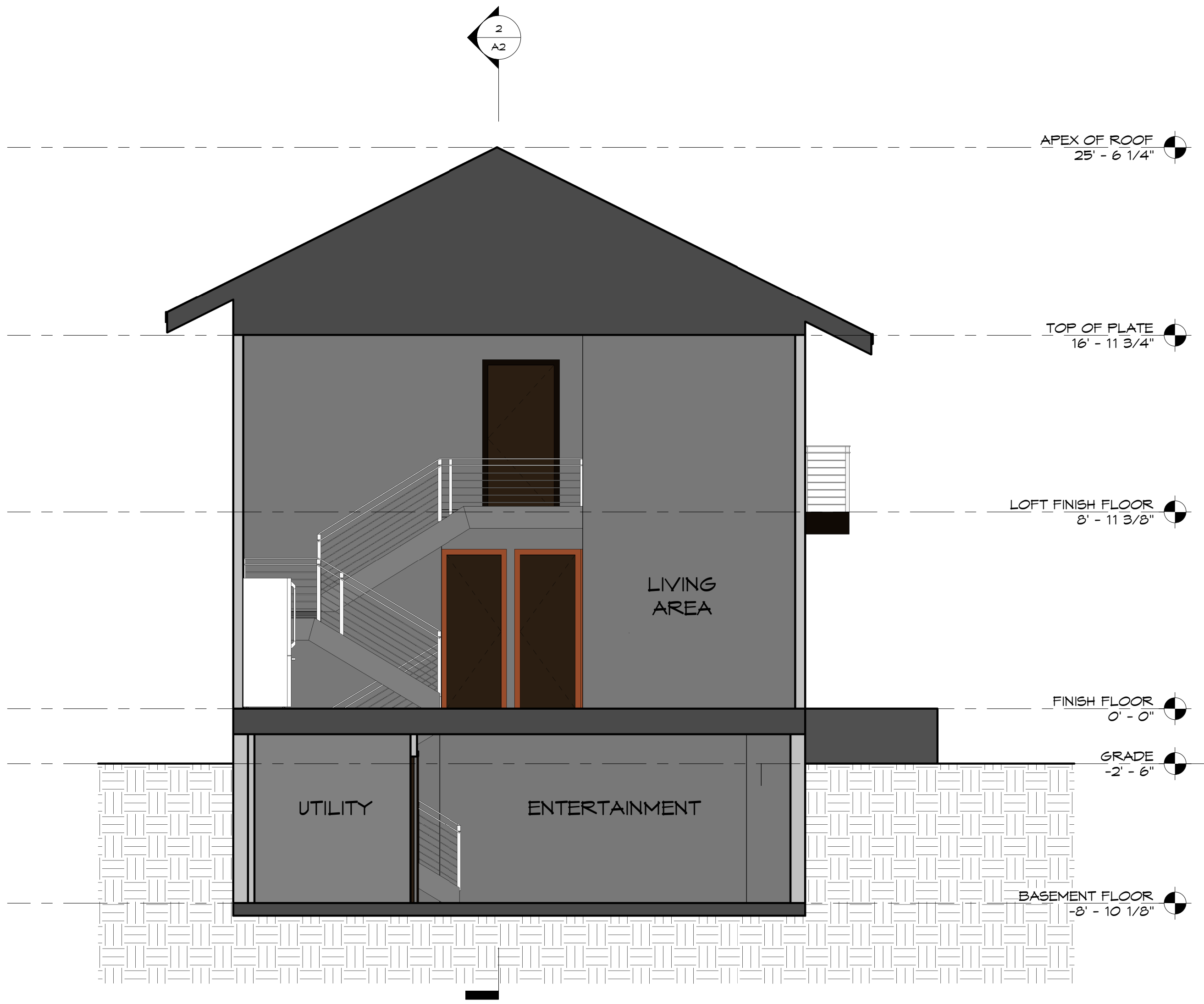
JOB #:	003.16
PLOT DATE:	01/22/15
DESIGN REVIEW:	01/25/16
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
	▲
	▲
	▲

**A2**

**DESIGN REVIEW SET**  
 NOT FOR CONSTRUCTION

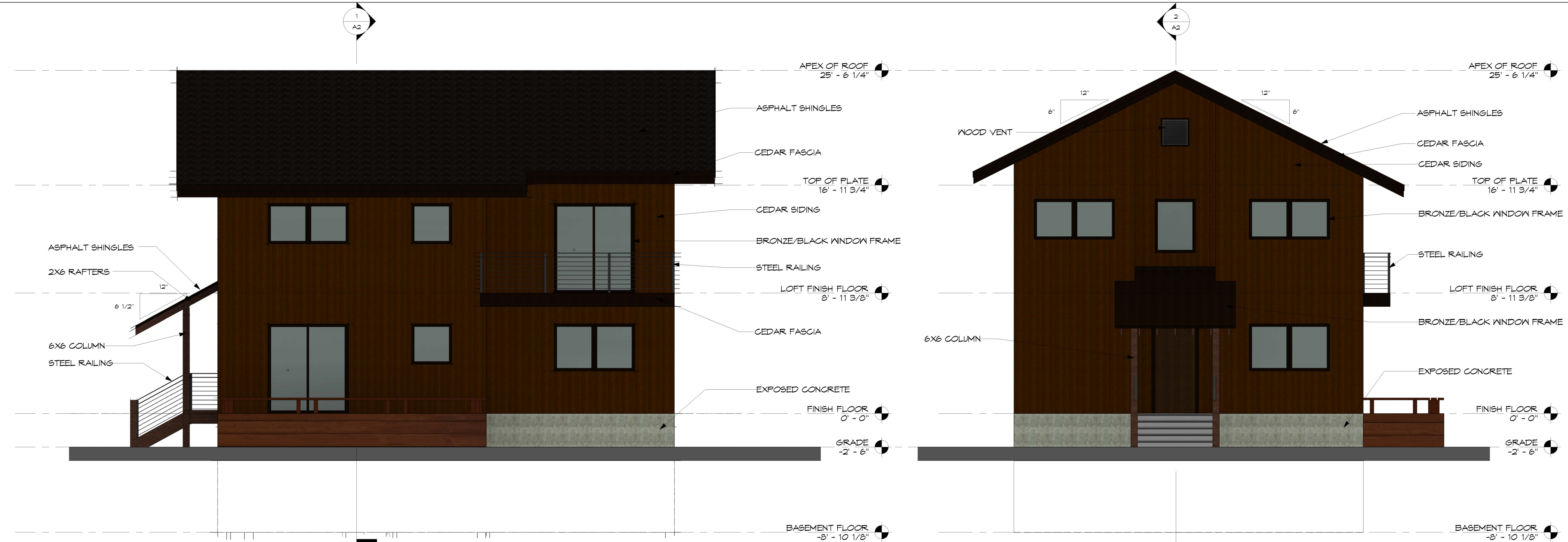


**2**  
**A2**  
**BUILDING SECTION B**  
 1/4" = 1'-0"



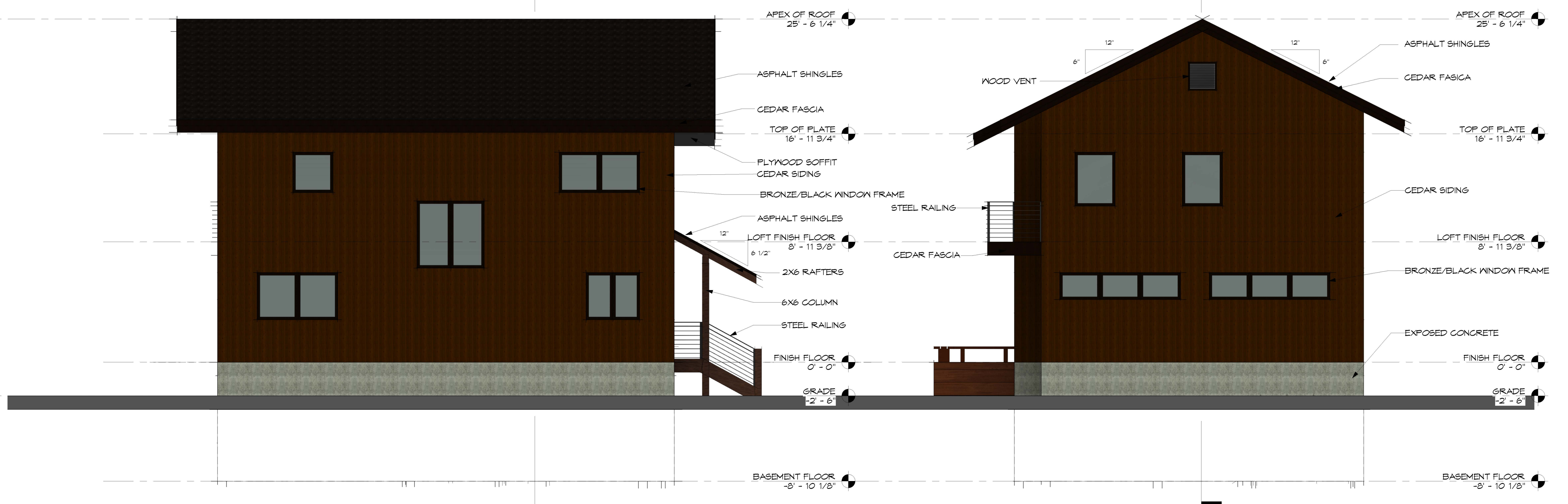
**1**  
**A2**  
**BUILDING SECTION A**  
 1/4" = 1'-0"

OWNERSHIP OF DOCUMENTS: This Drawing and specifications are instruments of service and are the property of the Architect, Blincoe Architecture and is not to be used, in whole or in part, for any other project without written authorization.



1 SOUTH ELEVATION  
A3 1/4" = 1'-0"

2 WEST ELEVATION  
A3 1/4" = 1'-0"



3 NORTH ELEVATION  
A3 1/4" = 1'-0"

4 EAST ELEVATION  
A3 1/4" = 1'-0"

www.BlincoeArchitecture.com  
**Blincoe Architecture**  
 UPS/FedEx:  
 251 Northwood Way, Suite E  
 Ketchum, Idaho 83340  
 Email: info@BlincoeArchitecture.com  
 Tel: 208-720-1325

LICENSED ARCHITECT  
 AR-984802  
  
 Chad E. Blincoe  
 STATE OF IDAHO

**ALFS RESIDENCE**  
 731 N 3RD AVE.  
 KETCHUM, ID 83340

DESIGN REVIEW SET  
 NOT FOR CONSTRUCTION

JOB #:	003.16
PLOT DATE:	01/22/15
DESIGN REVIEW:	01/25/16
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
▲	
▲	
▲	

A3

OWNERSHIP OF DOCUMENTS: This drawing and specifications are instruments of service and are the property of the Architect, Blincoe Architecture and is not to be used, in whole or in part, for any other project without written authorization.



1  
A4  
NORTHEAST PERSPECTIVE




2  
A4  
SOUTHEAST PERSPECTIVE



3  
A4  
SOUTHWEST PERSPECTIVE

www.BlincoeArchitecture.com  
**Blincoe Architecture**  
 Mail: UPS/FedEx: 251 Northwood Way Suite E  
 P.O. Box 4424 Ketchum, Idaho 83340  
 83340  
 Tel.: 208-720-1325  
 Email: info@BlincoeArchitecture.com

LICENSED ARCHITECT  
 AR-984802  
  
 Chad E. Blincoe  
 STATE OF IDAHO

**ALFS RESIDENCE**  
 731 N 3RD AVE.  
 KETCHUM, ID 83340

JOB #:	003.16
PLOT DATE:	01/22/15
DESIGN REVIEW:	01/25/16
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
▲	
▲	
▲	
▲	

**DESIGN REVIEW SET**  
 NOT FOR CONSTRUCTION

**A4**

OWNERSHIP OF DOCUMENTS: This Drawing and specifications are instruments of service and are the property of the Architect. Blincoe Architecture and is not to be used, in whole or in part, for any other project without written authorization.



City of Ketchum  
Planning & Building

IN RE: )  
 )  
 Elevation 6000 Townhomes: )  
 Phase 2 ) **KETCHUM PLANNING AND ZONING COMMISSION**  
 Final Plat ) **FINDINGS OF FACT, CONCLUSIONS OF LAW AND**  
 ) **DECISION**  
 File Number: #15-162 )  
 )

**PROJECT:** Elevation 6000 Townhomes: Phase 2  
**FILE NUMBER:** 15-162  
**OWNERS:** Elevation 6000, LLC  
**REPRESENTATIVE:** Bruce Smith, PLS, Alpine Enterprises, Inc.  
**REQUEST:** Townhouse Subdivision Final Plat approval to establish one townhouse subplot  
**LOCATION:** 310B Sage Road (Elevation 6000, Phase 2, Sublot 4; formerly a portion of Lot 18, Block 3, Warm Springs Village Subdivision, 4th Addition)  
**NOTICE:** The following notice was mailed to adjacent property owners on Friday, February 9, 2016:

**NOTICE OF CONSIDERATION BEFORE THE PLANNING AND ZONING COMMISSION**

<b>Meeting Date:</b>	February 22, 2016
<b>Meeting Time:</b>	5:30 PM, or thereafter as the matter can be heard.
<b>Meeting Location:</b>	City Hall Council Chambers, 480 East Avenue North, Ketchum, Idaho
<b>Project Name:</b>	Elevation 6000 Townhomes; Phase 2
<b>Project Location:</b>	310B Sage Road, Ketchum, Idaho (Elevation 6000 Townhomes, Phase 2, Sublot 4) (a portion of former Lot 18, Block 3, Warm Springs Village Subdivision, 4 <sup>th</sup> Addition)
<b>Applicant:</b>	Elevation 6000, LLC
<b>Representative:</b>	Bruce Smith, PLS, Alpine Enterprises, Inc.
<b>Application Type:</b>	Townhouse Subdivision-Final Plat
<b>Project Description:</b>	Townhouse Subdivision Final Plat, Elevation 6000 Townhomes, Phase 2, Sublot 4

**ZONING:** General Residential – Low Density (GR-L) with Mountain Overlay Design Review (MODR).

### FINDINGS OF FACT

1. The original townhouse subdivision preliminary plat for this project, Elevation 6000, Sublots 1 – 4, was approved by the Ketchum City Council on May 1, 2010. That approval included a phased development agreement that stipulated the following:
  - Phase I (Sublots 2 and 3): Prior to December 15, 2009, utilities shall be provided to the site and construction, including landscaping, shall be completed.
  - Phases II and III (Sublots 1 and 4): Prior to December 15, 2012, utilities shall be provided to the site and exterior construction, including landscaping, shall be completed.
  - Completion: The exterior walls, roofs, windows and doors of all the Elevation 6000 Townhomes and the landscaping of all sublots shall be completed by August 15, 2010. The interiors of Phases II and III (Sublots 1 and 4) shall be completed by August 15, 2012.
2. Townhouse subdivision final plat for Phase I, Sublots 2 and 3, was approved by the City Council on August 2, 2010, and the phased development agreement was revised to reflect the fact that the construction and landscaping for Phase 1 was complete. The required completion dates for Phases II and III remained unchanged.
3. All exterior improvements on Sublots 1 – 4 have been completed and have been inspected to Commission’s satisfaction. Currently, the interior of the townhome on Sublot 4 is complete and ready for final inspection by the building inspector. At this time, the applicant is seeking final plat approval for Sublot 4 only.
4. Per item 7 of the phased development agreement, “In the event the entire subdivision is not completed by August 15, 2012, the City Council may require appropriate amendments and plan changes to bring the Subdivision into compliance with subdivision and zoning ordinance rules and requirements in effect as of August 15, 2012.” The Commission finds that the proposed townhouse subdivision is compliant with existing regulations and with the approved preliminary plat and recommends approval to the City Council.
5. A site specific avalanche study, Snow Avalanche Hazard Evaluation and Loading Analysis, dated March 7, 2003, for the subject property was performed by Alpine Enterprises, Inc. As a condition of approval, prior to the City Clerk’s signature of the final plat, an affidavit acknowledging that said study is on file in the City of Ketchum, Planning and Building Department, shall be recorded at the Blaine County Recorder’s Office and the instrument number of said recorded affidavit shall be noted on the final plat.
6. Attachments to February 22, 2016 Staff Report:
  - A. Applicant Submittals:
    - Application, dated November 15, 2015
    - Final Plat, dated January 2016
    - Declaration of Covenants, Conditions and Restrictions and Party Wall Agreement for Elevation 6000 Townhomes, dated September 30, 2010
    - Bylaws of Elevation 6000 Townhomes, dated October 19, 2010
  - B. Approved Preliminary Plat, dated March 12, 2009
  - C. Townhouse Preliminary Plat Findings of Fact, signed March 1, 2010
  - D. Approved Phasing Agreement, dated August 8, 2010
  - E. Public Comment – None to date

7. The following provides Commission’s Findings and analysis regarding the proposed townhouse final plat:

Final Townhouse Subdivision Plat Requirements				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.030.I</b>	<b>Complete Application</b>
			<b>Commission Findings</b>	<i>The application has been reviewed and determined to be complete.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.070.B Townhouse Owners’ Documents</b>	<b>The subdivider of the townhouse project shall submit with the preliminary plat application a copy of the proposed party wall agreement and any proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control and maintenance of all commonly held facilities, garages, parking and/or open spaces. Prior to final plat approval, the subdivider shall submit to the city a final copy of such documents and shall file such documents prior to recordation of the plat, which shall reflect the recording instrument numbers.</b>
			<b>Commission Findings</b>	<i>The applicant has submitted recorded CC&amp;R’, party wall agreement and bylaws. Please note that the City does not enforce CC&amp;R’s.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.070.D Final Plat Procedure</b>	<b>1. The final plat procedure contained in subsection 16.04.030F of this chapter shall be followed. However, the final plat shall not be signed by the city clerk and recorded until the townhouse has received:</b>  <ul style="list-style-type: none"> <li>a. A certificate of occupancy issued by the city of Ketchum; and</li> <li>b. Completion of all design review elements as approved by the planning and zoning administrator.</li> </ul> <b>2. The council may accept a security agreement for any design review elements not completed on a case by case basis pursuant to section 17.96.110 of this code.</b>
			<b>Commission Findings</b>	<i>At this time, the Street and Planning staff have inspected and approved the project as constructed. As a condition of approval, prior to the City Clerk’s signature of the final plat, all requirements of the Fire, Utility, Building, Planning and Public Works departments of the City of Ketchum shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.070.E Garage</b>	<b>All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is tied to specific townhouse units on the townhouse plat and in any owner’s documents, and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development.</b>
			<b>Commission Findings</b>	<i>The final outlines the overall footprint of the each townhome, including designation of the attached garage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.070.F General Applicability</b>	<b>All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse subdivisions.</b>
			<b>Commission Findings</b>	<i>All applicable city provisions are found to be in compliance.</i>

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code.
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and subdivision ordinance, Title 16.
3. The City of Ketchum Planning Department provided adequate notice of the time, place and summary of the applicant's proposal to be heard by the Commission for review of this application.
4. The proposed final plat does meet the standards of approval under Title 16, Chapter 16.04, subject to conditions of approval.
5. This approval is given for the Elevation 6000: Phase 2 Final Townhome Plat dated January 29, 2016 by Alpine Enterprises Inc.

### DECISION

**THEREFORE**, the Ketchum Planning and Zoning Commission **approves** this final plat application this Monday, February 22, 2016, subject to the following conditions:

1. The Covenants, Conditions and Restrictions (CC&R's) shall be simultaneously recorded with the final plat, and the City will not now, nor in the future, determine the validity of the CC&R's;
2. The failure to obtain final plat approval by the Council, of an approved preliminary plat, within one (1) year after approval by the Council shall cause all approvals of said preliminary plat to be null and void. The final plat shall be filed with the Blaine County recorder within one year after final plat approval by the council. Failure to file such final plat within that time shall cause all approvals of such final plat to be null and void;
3. The recorded plat shall show a minimum of two Blaine County Survey Control Monuments with ties to the property and an inverse between the two monuments. The Survey Control Monuments shall be clearly identified on the face of the map;
4. An electronic CAD file shall be submitted to the City of Ketchum prior to final plat signature by the City Clerk. The electronic CAD file shall be submitted to the Blaine County Recorder's office concurrent with the recording of the Plat containing the following minimum data:
  - a. Line work delineating all parcels and roadways on a CAD layer/level designated as "parcel";
  - b. Line work delineating all roadway centerlines on a CAD layer/level designated as "road"; and,
  - c. Line work that reflects the ties and inverses for the Survey Control Monuments shown on the face of the Plat shall be shown on a CAD layer/level designated as "control";
5. All information within the electronic file shall be oriented and scaled to Grid per the Idaho State Plane Coordinate System, Central Zone, NAD1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a ".dwg", ".dgn" or ".shp" format and shall be submitted digitally to the City on a compact disc. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units;

6. The applicant shall provide a copy of the recorded final plat to the Department of Planning and Building for the official file on the application;
7. All requirements of the Fire, Utility, Building, Planning and Public Works departments of the City of Ketchum shall be met. All public improvements shall meet the requirements of the Public Works Department;
8. The final plat shall not be signed by the City Clerk and recorded until the townhouse has received:
  - a. An approved life safety inspection for the building shell and all common areas from the Ketchum Building Official; and,
  - b. Completion of all design review elements as approved by the Planning and Zoning Administrator; and
9. An affidavit acknowledging that the site specific avalanche study for the subject property, Snow Avalanche Hazard Evaluation and Loading Analysis, dated March 7, 2003, performed by Alpine Enterprises, Inc., is on file in the City of Ketchum, Planning and Building Department shall be recorded at the Blaine County Recorder's Office and the instrument number of said recorded affidavit shall be noted on the final plat.

Findings of Fact **adopted** this 14<sup>th</sup> day of March, 2016.

---

Steve Cook  
Planning and Zoning Commission Chairperson





**SPECIAL PLANNING AND ZONING COMMISSION MEETING**  
**Monday, January 11, 2016, 5:00 pm**  
**Ketchum City Hall, Ketchum, Idaho**

**Present:** Chairperson Steve Cook  
Commissioner Mike Doty  
Commissioner Betsy Mizell

- 1. SITE VISIT AT 255 Hillside Drive - in regard to the application by Heidelberg Hill Trust, for a Design Review, Mountain Overlay Design Review, and a Preliminary Plat.**

**Also Present:** Micah Austin, Planning and Building Director  
Rebecca Bundy, Senior Planner/Building and Development Manager  
Morgan Brim, Senior Planner/Current and Long-range Planning Manager

The Commissioners had no further questions and the special site visit was concluded at about 5:20 pm.

- 2. SITE VISIT AT 300 Huffman Drive - in regard to the application by Ashley Dartnell and Bruce Steinberg for Conditional Use Permit for an Avalanche Deflection Wall.**

The Commissioners had no further questions and the special site visit was concluded at about 5:40 pm.

**Also Present:** Micah Austin, Planning and Building Director  
Rebecca Bundy, Senior Planner/Building and Development Manager  
Morgan Brim, Senior Planner/Current and Long-range Planning Manager

---

Steve Cook  
Planning and Zoning Commission Vice Chair



**SPECIAL PLANNING AND ZONING COMMISSION MEETING**  
**Monday, February 8, 2016, 5:00 pm**  
**Ketchum City Hall, Ketchum, Idaho**

**Present:**           **Chairperson Steve Cook**  
                          **Commissioner Mike Doty**  
                          **Commissioner Betsy Mizell**  
                          **Commissioner Erin Smith**

- 1. SITE VISIT AT 500 N. Washington- in regard to the application by Kneebone Mixed Use, for a Pre-Application Design Review.**

The following features of the proposed project were viewed and discussed:

- Location of the building;
- Location of street trees;
- Onsite and street parking; and
- Height of the building and elevator shaft.

**Also Present:**   **Micah Austin, Planning and Building Director**  
                          **Rebecca Bundy, Senior Planner/Building and Development Manager**  
                          **Morgan Brim, Senior Planner/Current and Long-range Planning Manager**  
                          **Keshia Owens, Planning Technician**  
                          **Steve Kerns, Kneebone, LLC**  
                          **Ryan Botkins, Williams Partners/Kneebone**  
                          **Sean Flynn, Galena Engineering**  
                          **Rob King, Clemens Associates**  
                          **Jim Rosenfeld, Landowner**

The Commissioners had no further questions and the special site visit was concluded at about 5:20 pm.

---

Steve Cook  
Planning and Zoning Commission Chair



# Planning and Zoning

## Regular Meeting

~ Minutes ~

Monday, February 8, 2016

5:30 PM

Ketchum City Hall

Commissioners Present: Steve Cook, Chairperson  
Michael Doty, Commissioner  
Betsy Mizell, Commissioner

Absent: Erin Smith, Commissioner  
Jeff Lamoureux, Commissioner

Staff Present: Micah Austin, Director of Planning & Building  
Rebecca Bundy, Senior Planner  
Morgan Brim, Senior Planner  
Stephanie Bonney, City Attorney  
Keshia Owens, Planning Technician

1. **5:00 PM SITE VISIT: 500 N. Washington Avenue, Ketchum, Idaho (Ketchum, Lot 8, Block 15)**
2. **5:30 PM- CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**  
Chairman Cook called the meeting to order at 5:35 PM. He noted that before the meeting there was a site visit to 500 N. Washington Avenue (Kneebone Mixed Use).
3. **CONSENT CALENDAR**
4. **PUBLIC COMMENT**
  - a. **Communications from the public for items not on the agenda.**
5. **COMMUNICATIONS FROM STAFF**
  - a. **WITHDRAWN FROM AGENDA - Geneva Lofts Design Review: The Commission will discuss and take action on a Design Review application by Geneva Lofts, represented by David Hertel, located at 171 Sun Valley Road (Ketchum Townsite, East 55' X 50' of Lots 7&8, Block 57).**
  - b. **151 South Main Hotel & Residences Condominium Subdivision Preliminary Plat: The Commission will hold a public hearing and take action on an application by Limelight Ketchum, LLC, represented by James R. Laski, for a Condominium Subdivision-Preliminary Plat. The subject property is located at 151 South Main Street (Ketchum, AM Lot 1A, Block 20 Ketchum Townsite).**

### COMMENTS:

Jim Laski, on behalf of Limelight Ketchum, with Sean Flynn and Jim Garrison is submitting an application for a preliminary plat and going through design review.

- The purpose of the plat is to create 14 residential condominiums, a large hotel condominium unit, and a separate condominium unit that houses retail operation. He added that it is a 16-unit condominium.

- Commissioner's Questions:

Commissioner Smith asked how the ground floor drawing works and if the common areas that are carved are exterior bits on the building.

Laski said that the ground floor is basically the lobby of the hotel. He added that the area noted CA is common area and includes interior stairs that go up and down the building.

- Staff Comments:

Bundy stated that the project was properly noticed and that it conforms to the design review PUD and building permit plans as approved. She added that there were no concerns from city department heads about the plat, it meets the criteria of Ketchum's Municipal Code Section 16.04.060, including CC&Rs, garages, and storage, but there is a clause in the CC&Rs that states there is to be no boat or RV storage in that garage. She also noted that the project has the required maintenance facilities, common space, and open space. She also noted that Staff recommends approval with conditions 1-10, which are standard conditions for a condominium or townhouse plat. She concluded by saying there is a correction with condition number 8, as it uses the word "townhouse" instead of "condominium."

Austin stated that public comment was received and they wanted to know why the project is being platted for 16 condos, instead of 14. He said that the project is being platted for 14 residential, 1 hotel condo, and 1 common space condo.

Commissioner Smith said that the Bylaws and CC&Rs are included, but wanted to know if she should be concerned with this.

Austin commented that Staff needs to verify that they are there and that how the Bylaws and CC&Rs are formed are entirely up to the applicant.

Commissioner Smith added that she thought it was very interesting that only 20% of voting members are needed to have a meeting when the hotel has 65%. There were no public comment or deliberation from the Commissioners.

Commissioner Smith moved to approve the condominium preliminary plat by Limelight Ketchum, LLC for 151 South Main Street Hotel and Residences Condominium Subdivision with conditions 1-10 below as corrected.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Erin Smith, Commissioner
<b>SECONDER:</b>	Betsy Mizell, Commissioner
<b>AYES:</b>	Steve Cook, Mike Doty, Erin Smith, Betsy Mizell, Jeff Lamoureux

- c. **Kneebone Mixed Use Pre-Application Design Review: The Commission will take public comment and discuss a pre-application design review request by Kneebone, LLC, represented by Stephen T. Kearns, located at 500 N. Washington Ave, Ketchum, ID (Ketchum Townsite, Lot 8, Block 15).**

Chairman Cook noted that this application is a pre-application and comments are not binding at this point.

Ryan Botkins, Kneebone, LLC and Williams Partners Architects presented on the Kneebone Mixed Use Development.

- The project will be a three-story mixed use development
- Parking is accessed in the rear by the alley
- The existing structure will be demolished
- Some trees will be removed, but street trees and street lights will be added
- The ground floor level has commercial space that can be used as office or retail space

Botkins noted the materials that will be used:

- Bonderized standing seam that is staggered
- Rain screen mahogany
- Fiber cement panels in a rain screen fashion

Commissioner Cook asked for elaboration on the panels.

Botkins said that there will be a bonderized grey for the building and the sign will be mahogany.

Chairman Doty commented that bonderized is just a primer and Botkins confirmed that it will be a clear coat grey that will be sealed so that it does not continue to burn off.

Chairman Cook asked if the vertical metal siding is also what is being proposed on the north side of the building.

Botkins said that metal siding is being proposed on the north side of the building, but it is a zero lot line and either party can build a wall up. He added that there is no horizontality or break points, but the property can build up to the same height making the wall no longer visible.

Commissioner Cook said that there should be an optimum solution for softening the north side of the building and the Commission has to look at development that may be far into the future to help mitigate the mass of the lot line walls.

Commissioner Doty added that there were a number of items in the staff report where the project was not compliant with and wanted to know if those issues had been addressed.

Brim commented that one of the criteria of design review is limiting any obstruction to solar access, but it is not the most concrete standard because Ketchum has dimensional standards that allow the applicant to build up to 42 feet. He added that the Commission could request a sun chart to see the potential impacts on the neighboring parcel.

Commissioner Cook asked Botkins to go over the alley, snow removal trash, and ADA compliance.

Botkins stated that they have spoken with Clear Creek Disposal. He also noted:

- The dumpster will be on a pivot that will be accessed from the alley.
- The project has a fully accessible ADA van space
- Landscaping has been brought up to code

Commissioner Smith suggested that the applicant speak with the business next door because they also had challenges with garbage collection and getting access for Clear Creek. She also said that maybe the applicant can join with the business next door to make the collection more efficient and get a better use of space. She also wanted to know why there are two cars spots and asked if they could be covered or more hidden.

Botkins commented that one potential possibility is a screening fence, but the applicant is trying to avoid anything over 6 feet in that area.

Brim commented that a wall, as long as it is a natural extension from a building and meets setbacks, can go over 6 feet in height.

Chairman Cook said that the Commission would like the area to be screened.

Brim mentioned that the applicant can use a landscape planter instead of a wall to create more of a softened buffer.

Botkins said that an alcove may also be created for a bike rack and if the planter was brought out, it would push out the bike rack.

Commissioner Smith asked if the bike racks are meant for tenants of the building or if they will also be for public use.

Botkins added that this is a part of the requirement and that bike racks will be for private use.

Brim said that if this approach is taken the applicant will have to meet with the Public Works Department, but in some circumstances the bike rack is allowed to go into the public right-of-way.

- Staff Comments:

Brim said that because this is a pre-application, but there are few things that still have to be dealt with:

- Materials Board (reflected in the plans)
- Snow Storage

- Criteria regarding how water drips down from the building into a storm-water facility
- Landscaping and vegetation (applicant will have to show if they plan to replace trees that will be taken down)
- Master Signage Plan
- Bike racks (must be visible from the main entrance)
- Lighting details to show the applicant is conforming with the Dark Sky Ordinance

Brim added that the proposed ADA space is covered and not in an alleyway. He added that Staff is really happy with this because it provides a great access point.

Brim noted the project's evaluation standards:

- The northern wall on the zero property line will need to be further addressed and will likely need to be broken up, as it will be very visible for many years.
- Brim said that most of the criteria that was not met was because more information was needed.
- Commissioners' Questions:

Commissioner Smith asked if the ADA spot is also a public spot and Brim said that the spot is on private property and it would be for the private use.

Commissioner Mizell said that this will be a mixed use building and added that the way Ketchum recycling works is that everything has to be sorted and she noted that there should be an area for recycling.

Brim confirmed that a staging area for recycling would be a good thing to consider.

Chairman Cook noted that there are a couple of references to the Ketchum spring water in the alley.

Brim commented that this is only if the alleyway surface is changed and if the applicant is going to lower the alleyway or make a major change to it, the requirement would be a 6-foot drop in drainage plan.

Sean Flynn, Galena Engineering, said that the applicant is not planning on lowering the alley. The site drainage plan is in the works and the applicant will have it for the full design review. He added that he can assure the Commissioners that the alley will not be lowered.

Rob King, landscape architect, said that there are 2 street lights that need to go in and the Public Works Department needs them to be at least 20 ft. back from the stop sign before they want to see a street tree. He added that Public Works doesn't want a tree right on the alley and the applicant has been given the direction to do three.

- Commissioners' Comments:

Commissioner Smith said that on 231 Sun Valley Road there is another project that has a north facing wall and the architect, who is working on both projects, did vary the wall somehow.

Commissioner Doty said that the material selection is good and that a YMCA climbing wall should be avoided. He commented that there is only a 6-inch separation between second and third floor materials

on the east elevation and encouraged the applicant to give the project a bit more character. He noted that the applicant should come up with a highly evolved methodology to develop the project's design.

Chairman Cook asked if the screening could be continued into an L-configuration.

Jeff Williams, Williams Partners, said that this can be addressed with some sort of screening. He added that the applicant is thinking of repeating the wood treatment that is at the base of the store front and closing off with a screen element that faces the party wall.

Steve Kerns, KMV Builders, asked if all sidewalks should be added with concrete pavers. He noted that their intention was to continue the concrete all around without pavers.

Austin added that it is highly unlikely that pavers will be approved, so the applicant should plan on using concrete.

Kerns read from the Staff Report that "all surface parking lots shall be designed with the following landscape features and use of porous or pervious surfaces in the parking lot design" he added that they are using asphalt and wanted clarification on this.

Brim added that this would be considered a surface parking lot and Staff will work with the applicant to see what can be figured out and added that some design review items are very specific.

Kerns also wanted to know about the setback requirements for lot screening.

Brim said that the wall should be no higher than 6 feet in height, but an architectural extension from the building would allow the applicant to go higher than 6 feet in height.

Commissioner Doty added that the elevator meets the criteria for being set back from the property line and that it is nice to know that green technology is being used.

Brim said that the zoning ordinance allows for a specific height and it is a right to build up to that height.

Chairmen Cook said that wall height will be an ongoing dilemma as the Commission will likely continue to get infill projects.

**d. Zoning Ordinance Update – Phase II**

Brim said that the Design Review Chapter is scheduled for the March 7<sup>th</sup> meeting. He added that the parking ordinance is being analyzed by a parking consultant and after this the study will be brought to the Commission. Brim added that the sign code is being updated to meet the Lee v. Gilbert standards.

Austin added that Staff will agree on a parking ordinance draft and will open it up to the public.

Chairman Cook asked for an overview of Austin's study of the LI.

Austin said that he found the LI zones represent less than 3% of the city, yet it's providing more than 18% of jobs in the city. He added that these jobs are specific to the LI and can't be put anywhere else in Ketchum. He also noted that the LI is working well and introducing new uses to the zone could cause current uses to leave and never come back. Austin said that it was also recommended that the name of the LI be changed. He commented that the LI zone helps provide year round employment.



Commissioner Smith said that certain businesses have left the LI and are not coming back.

Austin confirmed that this is correct, as the image of the smokestack business is not what Staff is considering. Staff is considering businesses like studios for the LI. He noted that there is a lot of confusion on uses in the LI and many businesses that have been there still don't know what they can do in the LI.

## 6. FINDINGS OF FACT AND APPROVAL OF MINUTES

### a. Dartnell Avalanche Deflection Wall Conditional Use Permit – Findings of Fact

#### COMMENTS:

No changes or corrections.

Chairman Cook motioned “to approve the Dartnell Avalanche Deflection Wall Conditional Use Permit Findings of Fact.”

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Steve Cook, Chairman
<b>SECONDER:</b>	Betsy Mizell, Commissioner
<b>AYES:</b>	Steve Cook, Mike Doty, Betsy Mizell, Jeff Lamoureux
<b>ABSTAIN:</b>	Erin Smith

### b. Heidelberg Hill Design Review- Findings of Fact

#### COMMENTS:

No changes or corrections

Chairman Cook motioned “to approve the Heidelberg Hill Residence Design Review Findings of Fact”

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Steve Cook, Chairman
<b>SECONDER:</b>	Betsy Mizell, Commissioner
<b>AYES:</b>	Steve Cook, Mike Doty, Betsy Mizell, Jeff Lamoureux
<b>ABSTAIN:</b>	Erin Smith

### c. Heidelberg Hill Mountain Overlay Design Review- Findings of Fact

No changes or corrections

Chairman Cook motioned “to approve the Heidelberg Hill Residence Mountain Overlay Design Review Findings of Fact”

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Steve Cook, Chairman
<b>SECONDER:</b>	Betsy Mizell, Commissioner
<b>AYES:</b>	Steve Cook, Mike Doty, Erin Smith, Betsy Mizell, Jeff Lamoureux
<b>ABSTAIN:</b>	Erin Smith

d. Heidelberg Hill Townhouse Subdivision Preliminary Plat-Findings of Fact

No changes or corrections

Chairman Cook motioned “to approve the Heidelberg Hill Residence Mountain Overlay Design Review Findings of Fact”

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Steve Cook, Chairman
<b>SECONDER:</b>	Betsy Mizell, Commissioner
<b>AYES:</b>	Steve Cook, Mike Doty, Betsy Mizell
<b>ABSTAIN:</b>	Erin Smith

e. Minutes: January 11, 2016

Pg 159 (pg 5)- should be direction of flow

pg 6- should be a mechanically attached roof.

Pg 10- antique alley

Commissioner Mizell “motioned to approve the minutes from January 11, 2016 with amendments”

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Betsy Mizell, Commissioner
<b>SECONDER:</b>	Mike Doty
<b>AYES:</b>	Steve Cook, Mike Doty, Betsy Mizell, Jeff Lamoureux
<b>ABSTAIN:</b>	Erin Smith

7. FUTURE PROJECTS AND NOTICING REQUIREMENTS

- Bundy said that there will be two Waterways Design Review at 303 Broadway and the other at Trailcreek, a remodel is being proposed and they require adjacent notification.
- Austin said that the Auberge project is moving forward and they are not going to be purchasing any additional real estate. He added that the project that was approved is what the applicant will be moving forward with and if there are additional changes, they would be minor and similar to the Limelight Hotel. He noted that he does not anticipate this coming before the Commission.

- Bundy said that Elevation 6000 is coming in for a townhouse final plat and will be noticed. She added that the applicant will be coming back for the final phase of the project.
- Commissioner Smith asked about any updates on the Waterways Design Review for the Bigwood Church.
  - Bundy said that the prosecuting attorney has been working on negotiating with the attorney of the homeowners there.

## 8. STAFF REPORTS & CITY COUNCIL MEETING UPDATE

Brim said that in the last City Council meeting, the Council heard The Spot Text Amendment and the Community School. He added that it has been decided that the use for The Spot is appropriate. He also said that they are in favor are approving the use, but want to limit the occupancy 100.

Austin said that the recommendation that the Commission put forth is what City Council went with.

Commissioner Doty said that Staff's recommendation to City Council was denied and wanted to know how a disconnect happened between Staff and Commission recommendations.

Austin commented that Staff didn't have all of the information that it needed or a firm recommendation and the mayor and council directed Staff to do more research and take more time to come back with a list of development standards for the use. He added that Staff dug into details during a 2-month period and found that the LI-Zone could not accommodate for an assembly use.

Doty said that life safety for building codes is not something the Commission would look into anyway.

Austin confirmed and said that Commission doesn't get into building by building detail.

Commissioner Doty said that there's nothing going on at 6 PM and added that there is nothing but parking during this time.

Austin said that the Text Amendment was not site specific and parking had gotten to be a problem when the zone was opened for assembly uses.

Brim commented that the LI does allow for manufacturing and for things that have externalities, but Staff did not feel comfortable recommending approval because of the externalities.

Commissioner Smith said that when the Commission has a text amendment brought forth by an individual, all the Commission sees is that one project and what that one person wants to do. She added that the Commission doesn't do an analysis to see what a project could actually do.

Commissioner Doty said that with the Community School, the condition of approval encouraged that a sidewalk be built if the traffic engineer showed the need for a sidewalk, but it has come across that a traffic study is required.

Austin said that when the study came back to Staff and showed that a sidewalk was not needed. He added that after the 6 pm hour, the sidewalks would be necessary and that this came from the sidewalk study.

**9. Commission reports and ex parte discussion disclosure**

Commissioner Doty mentioned the minimal footprint of a building and wanted to know if the 12-foot building pad that extends to the alley requirement had to be met in the CC zone.

Bundy said that the 12 feet aren't there and Staff has never required it. She added that parking needs to be off of the alley and should have a screening wall, she added that the Meyer Office Building is an example.

Austin mentioned City Hall Tours and said that the Mayor is inviting the Commission to take the tour of City Hall, which is ongoing.

Austin also commented that the Planning and Zoning Commission is the only board that still receives the packet in hard copy. He noted that the time difference is 30 mins to upload electronic packet and about 3-6 hours to prepare the paper copy.

Commissioner Lamoureux, Commissioner Doty, and Chairman Cook do not need to receive extra information, such as applications, plans, and CC&Rs.

**10. ADJOURNMENT**

Commissioner Smith motioned to adjourn and Commissioner Mizell seconded; all commissioners were in favor.

---

Steve Cook  
Chairman, Planning and Zoning Commission



# Planning and Zoning

## Regular Meeting

~ Minutes ~

480 East Avenue North  
Ketchum, ID 83340  
<http://ketchumidaho.org/>

Keshia Owens  
(208) 726-7801

Monday, February 22, 2016

5:30 PM

Ketchum City Hall

Commissioners Present: Steve Cook, Chairperson  
Michael Doty, Commissioner  
Betsy Mizell, Commissioner  
Erin Smith, Commissioner  
Jeff Lamoureux, Commissioner

Staff Present: Micah Austin, Director of Planning & Building  
Rebecca Bundy, Senior Planner  
Morgan Brim, Senior Planner  
Stephanie Bonney, City Attorney  
Keshia Owens, Planning Technician

### 1. **5:30 PM- CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**

The meeting was called to order at 5:32 PM by Steve Cook.

The Barsotti work session was withdrawn from the agenda.

### 2. **CONSENT CALENDAR**

There were no items on the Consent Calendar.

### 3. **PUBLIC COMMENT**

#### a. **Communications from the public for items not on the agenda.**

Gary Hoffman, resident of Ketchum, commented on The Spot in the industrial district. Hoffman has a lot of theater experience at the Next Stage Theater and added that the Next Stage Theater is not cutting-edge or avant-garde, but it is a large building with uncomfortable seats. He noted that the Next Stage Theater costs \$600 a night, but the average seating is 40-50 people. He added that The Spot fills a terrific place for the community and in its own way, helping to keep young people here.

Chairman Cook asked when did Hoffman make his presentation to the City Council and how it was received.

Hoffman said that he attended the last meeting and added that it was very well received. He added that he spoke with Anne Corrock in great length and she now is fully aware of some of the things that he had mentioned.

Commissioner Doty added that the Commission recommended approval to the City Council and Hoffman said that he thought it would be best if he spoke with both bodies in case the

item comes back. Commissioner Smith added that the item is coming back to the Commission.

Bruce Smith, Ketchum resident and business owner, added that he thinks it's a great idea that there is something going on in The Spot's location.

#### 4. COMMUNICATIONS FROM STAFF

- a. Elevation 6000 Phase 2 Townhouse Subdivision Final Plat: The Commission will hold a public hearing and take action on an application by Elevation 6000, LLC represented by Bruce Smith, PLS, Alpine Enterprises, Inc. for a Townhouse Subdivision- Final Plat. The subject property is located at 310B Sage Road, Ketchum, Idaho (Elevation 6000 Townhomes, Phase 2, Sublot 4) (a portion of former Lot 18, Block 3, Warm Springs Village Subdivision, 4th Addition).

**COMMENTS:**

Bruce Smith, Alpine Enterprises representing Elevation 6000, LLC along with Ed Fenwick, said that the project was started around 2006/2007 and Preliminary Plat for all sublots was approved in 2010 through a development agreement. He added that phase 1 was platting the middle 2 sublots (units 3 and 4), which are recorded and occupied. He commented that they now have buyers for subplot 4 and will come back to the Commission to finish phase 3.

Staff Comments:

- Bundy said that the phasing agreement, at the city council's desecration, can be extended and added that Staff will recommend that the project move forward to the City Council. She added that the exteriors are done, the landscaping has been inspected, the street right-of-way work has been inspected. She noted that Staff is still waiting on final fire and building inspection, both of which can be done prior to the City Clerk's signature. She commented that the Plat agrees with the original preliminary plat and noted that the site specific avalanche study must be on file with the City of Ketchum as a final condition of approval. She closed by saying that Staff does recommend approval.
- Commissioner Smith asked if the reason why the project now has to go to the City Council is because of the development agreement.
- Bundy said that the way that townhouse plats work is that they can come in at any time for a preliminary plat, but they can't come in to City Council until construction has been commenced. She added that this happened back in 2009/2010 and then the recession hit, but now to sell them fee simple they need to get final plat. She noted that the conditions on final plat are that the project needs to be done, the life safety inspections need to be done, and all of the design review elements need to be completed prior to the City Clerk's signature.
- Commissioner Smith asked if there was anything unusual about this project.
- Bundy said that the phasing agreement is unusual, but this is a result of the downturn in the economy. She added that the agreement with the City has expired, but it is in the City's best interest to get the units sold.

- There was no public comment or additional deliberation.

Commissioner Mizell moved to "approve the townhouse final plat by Elevation 6000, LLC for Elevation 6000 Townhomes phase 2 with conditions 1-9 below."

Bundy said that the next step will be the Findings of Fact and then going to the next City Council meeting.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Betsy Mizell, Commissioner
<b>SECONDER:</b>	Erin Smith, Commissioner
<b>AYES:</b>	Cook, Doty, Lamoureux, Smith, Mizell

**b. Barsotti Work Session: Regarding proposed amendments to the LI-3 District.**

Brim said that the applicant has officially withdrawn and he is being refunded his fee. He added if the applicant decides to come back, he will have to go through the process again.

Chairman Cook asked why the applicant officially withdrew.

Brim said that the applicant wanted to know Staff's opinion. He added that Staff had recently gone through the Comprehensive Plan to analyze the Light Industrial District for The Spot and The Community School applications. He added that there is a huge concern for 100% residential in the LI district and with that the applicant indicated that he would withdraw.

**c. Zoning Ordinance Update, Phase II: The Commission will discuss the status of the Zoning Ordinance update.**

Brim said that there are 2 ordinances that are being worked on.

1. The Parking Ordinance

Consultant, Diane Kushlan, is looking at all of the different parking standards in the Code and is providing an overall analysis as to where the policy is telling Staff to go and once this is complete Staff will have an official document to bring before the Commission. He noted that there will be a first draft around April or May and process will be similar to that of the design regulations.

2. The Code

Brim said that there are several portions of the Code that need clean up, as Staff has found that there are definitions and parts of the signage code need to be worked on. Brim commented that Reed v. Town of Gilbert requires that content based code system cannot be used. Brim also said that signs can now only be regulated based off of their form, which includes things like height and setbacks and Staff has to make sure that the Code falls in line with this.

Bundy added that there is a lot of distinction between real estate signs, constructions signs, and development opportunity signs versus just advertising for a brick and mortar business and that distinction that needs to be removed. She noted that we can call them small temporary signs, but real estate or open house signs in the Code.

Commissioner Smith asked if there was any way to make office uses subservient to light industrial uses in the LI District.

Brim said that there about 15 different areas in the code that need to be cleaned up and adding subservient uses to the Code will be one of the things added. Brim also noted that there will be a work session to get feedback from the Planning and Zoning Commission and when there is a consensus, Staff will draft language for the smaller items and make changes to the sign code.

Commissioner Smith asked how does the temporary sign ordinance work, in terms of saying enough is enough when it comes to signage.

Brim answered that we could regulate the sign type not the actual contents.

Commissioner Doty said that the sign ordinance has a duration for temporary real estate signs, but all it all comes down to enforcement because much of this hasn't been enforced.

Brim added that many of the signs downtown are in compliance with the zoning regulations because Staff wanted to make sure everyone was following the same regulations. Bundy added that the City has really good support through the Community Service Officers and this is allowing Staff to undertake enforcement when needed.

Commissioner Smith asked if she had a sign on her private property could she leave it up for as long as she wants.

Bundy said that there are some regulations with residential signs and added that size is regulated through a sign permit.

## 5. FINDINGS OF FACT AND APPROVAL OF MINUTES

- a. 151 South Main Street Hotel and Residences (Limelight Hotel Ketchum, LLC) Condominium Subdivision Preliminary Plat - Findings of Fact

**COMMENTS:**

Chairman Cook made a motion to "approve the 151 South Main Street Hotel and Residences Condominium Subdivision Preliminary Plat Findings of Fact."

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Steve Cook, Chairman
<b>SECONDER:</b>	Mike Doty, Commissioner
<b>AYES:</b>	Cook, Doty, Lamoureux, Smith, Mizell

- b. **February 8, 2016: Site Visit**

- c. **February 8, 2016: Minutes**

The Commissioners agreed that there is too much information in the meeting minutes and would like them to be more precise. Commissioner Doty suggested an outline format for the minutes and Commissioner Lamoureux suggested paraphrasing at the end of a discussion.



Commissioner Cook, Lamoureux, and Doty would like to receive Staff Reports, public comment, and plans in hardcopy.

## 6. FUTURE PROJECTS AND NOTICING REQUIREMENTS

Brim said that the applicant at the Alfs residence, 311 7th Street, is requesting that the smaller home is going to be removed and placed with a newer home. He added that it's not a super large house, but because it's multiple houses on one lot there has to be multi-residential design review. He added that because its design review State Code requires noticing to the adjacent properties, but Staff can go further if the Commission wants to.

Commissioner Cook asked if we typically do 300 feet.

Brim said that 300 feet is for conditional use permits, but design review is typically adjacent. Bundy added that this is usually 5-8 properties.

Commissioner Cook said as long as Staff can sweep the immediate area.

Brim also commented that Kneebone was noticed and said that there were 42 notices sent.

Brim said that The Spot is also coming back to the Commission as a text amendment. He added that the City Council directed Staff to do a definitional change and take the commercial studio definition and amend it so that it would allow for events as an accessory use. He also said that text amendment is no longer an accessory use and Staff will not be adding this to the LI-2, but the direction is to change the definition of the existing use. He noted that this will be a lot simpler, but because this is a different section of the code it triggers another application.

Commissioner Smith said that she would like the item to come in front of the Commission solely as a text amendment, so that the Commission is not bogged down with The Spot.

Brim said that Commissioner Smith was right and added that the City Council wanted a definitional change that will address other uses and not just performing arts studios like The Spot.

Commissioner Smith asked if the Staff Report form adequate enough to allow Staff to do the analysis on the overall LI because the form can be a little site-specific.

Brim said that when the text of the zoning ordinance is changed, the Comprehensive Plan has to be analyzed. He added that the report will be more textual and have tables that show where the text amendment aligns with the Comprehensive Plan and how it will affect the LI-2. He also noted that these projects will be on the March 14th agenda.

Bundy said that the waterways design review is for (WHICH PROJECT), a nonconforming building in the riparian setback with existing riparian issues and added that normally only adjacent properties would be noticed.

Commissioner Doty said that noticing the properties across the river would be a good idea.

Bundy said that the other project is a single family on Trail Creek and River Street, which is also waterways design review with floodplain. She noted that the existing cabins are totally substandard, existing-non conforming, she added that the properties across the river will also be notified.

Chairman Cook asked if all of these items will be March 14th and commented that this may be too much for the Commission.

Brim replied that many of the applications will be quick. He said that the floodplain applications may be more complex, but The Spot, Kneebone, and Alfs design review will be fast.

## **7. STAFF REPORTS & CITY COUNCIL MEETING UPDATE**

Brim said that The Community School's development agreement is being worked out and the project is being continued until the March 7th.

## **8. ADJOURNMENT**

Lamoureux motioned to adjourn and Doty seconded.

### **A. *Commission reports and ex parte discussion disclosure***

---

Steve Cook  
Planning and Zoning Commission Chair