



**PLANNING AND ZONING COMMISSION AGENDA**

**Monday, November 28, 2016**

**Ketchum City Hall**

**480 East Avenue North, Ketchum, ID 83340**

1. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**
2. PUBLIC COMMENT - Communications from the public for items not on the agenda.
3. COMMUNICATIONS FROM STAFF
  - a. *Continued from November 14, 2016 - 8<sup>th</sup> and Washington Conditional Use Permit: 191 East 8<sup>th</sup> Street/ 831 North Washington Avenue, Ketchum, Idaho (Eight & Washington Building Condo):* The applicant is proposing to add a new upper floor to the existing structure and to remodel the interior of the existing structure, which will result in 4,105 square feet of commercial space and 4 residential units totaling 3,825 square feet. The property is 0.25 acres and is zoned Light Industrial-1 (LI-1).
  - b. *Continued from November 14, 2016 - 8<sup>th</sup> and Washington Design Review: 191 East 8<sup>th</sup> Street/ 831 North Washington Avenue, Ketchum, Idaho (Eight & Washington Building Condo).* The applicant is proposing to add a new upper floor to the existing structure and to remodel the interior of the existing structure, which will result in 4,105 square feet of commercial space and 4 residential units totaling 3,825 square feet. The property is 0.25 acres and is zoned Light Industrial-1 (LI-1).
4. CONSENT CALENDAR
  - a. Minutes: November 14, 2016
5. FUTURE PROJECTS AND NOTICING REQUIREMENTS
6. STAFF REPORTS & CITY COUNCIL MEETING UPDATE
7. COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE
8. ADJOURNMENT

*Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.*



City of Ketchum  
Planning & Building

STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
REGULAR MEETING OF November 28, 2016

**PROJECT:** 191 East 8<sup>th</sup> Street (Eighth and Washington Building)

**FILE NUMBER:** #16-083

**OWNERS:** Doug Webb

**REPRESENTATIVE:** Ruscitto Latham Blanton P.A.

**REQUEST:** Conditional Use Permit (CUP) approval for adding four (4) residential units to existing commercial uses in the Light Industrial District Number 1 (LI-1).

**LOCATION:** 191 East 8<sup>th</sup> Street C  
(Eighth & Washington Bldg. Condo; Lot 2A, Block 22 Ketchum Townsite)

**ZONING:** Light Industrial District Number 1 (LI-1)

**OVERLAY:** None

**NOTICE:** Notice was mailed to Property owners within 300 foot radius of subject property were mailed notice on October 21, 2016. Notice was posted in three public City locations on October 21, 2016 and on site on November 8, 2016.

**REVIEWER:** Carl Anderson, Associate Planner

INTRODUCTION

The site property is located in the Light Industrial District Number 1 (LI-1). The site contains one existing two-story building, located at 191 East 8<sup>th</sup> Street (Ketchum lot 2A, Block 22). The applicant is proposing to construct a third floor addition to the existing structure, with the intent to add four residential units to the existing commercial uses on site.

The lower level of the building will contain a combination of office space, a meeting room and two (2) parking spaces. The main floor will contain two (2) office spaces on the south side (8<sup>th</sup> Street) of the building, and two (2) live-work units on the north side of the property. The third floor of the building will contain two (2) residential units.

Conditional Use Permit Overview

The Planning and Zoning Commission must determine if a Conditional Use Permit can be approved for the proposed addition of four (4) residential units to the existing commercial use in the LI-1 district. According to the Zoning Ordinance, conditional uses by definition possess characteristics that require review and appraisal by the Commission to determine whether or not the use would cause any public health, safety or welfare concerns.

Conditional uses may only be allowed if the Commission determines there would be no impact to the public health, safety and welfare of the community.

A conditional use permit may be granted by the commission only if the applicant demonstrates that:

- The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district;
- The conditional use will not materially endanger the health, safety and welfare of the community;
- The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood;
- The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area, or conditions can be established to mitigate adverse impacts;
- The conditional use is not in conflict with the policies of the comprehensive plan or the basic purposes of the Zoning Ordinance.

Should the Commission agree a CUP can be approved, they may attach additional conditions to the application approval as it determines necessary in order to make the uses more compatible with the vicinity and adjoining uses, mitigate impacts, and allow for health, safety and welfare. Such conditions may include, but are not limited to:

- A. Minimizing adverse impact on other development.
- B. Controlling the sequence and timing of development.
- C. Controlling the duration of development.
- D. Assuring that development is maintained properly.
- E. Designating the exact location and nature of development.
- F. Requiring the provision for on site or off site public facilities or services.
- G. Requiring more restrictive standards than those generally required in an ordinance.
- H. Requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the city. (Ord. 1135, 2015)

Additionally, section 17.124.090.A (10) of the Ketchum Municipal Code pertaining to residential standards in the Light-Industrial district states that the following conditions may be attached to the conditional use permit:

- A. Access to the apartments relative to design and relationship to light industrial uses;
- B. Location of residential and light industrial parking on the site;
- C. Restrictions on exterior storage of personal property of tenants;
- D. Certificate of occupancy required prior to occupancy of units;
- E. Ketchum fire department and Ketchum building department requirements shall be met prior to occupancy;
- F. Permit shall be reviewed when light industrial occupancies within the building change;
- G. Snow removal required to ensure utility of residential spaces;
- H. Such proof of long term occupancy as deemed appropriate;
- I. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; and/or
- J. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A9 of this section.

#### STAFF RECOMMENDATION

Staff recommends approval of the application and supporting plans as presented.

COMMISSION OPTIONS

1. **Denial of the Application:** “Motion to deny the application from owner Doug Webb and representative Ruscitto Latham Blanton for a Conditional Use Permit application for a third floor addition to the existing 191 East 8<sup>th</sup> Street Building, to be used as residential space, finding the application **does not** meet the standards for approval under Chapter 17.116 of Ketchum Zoning Code Title 17, for the following reasons: [cite findings for denial].”
2. **Approval of the Application:** “Motion to approve the application from owner Doug Webb and representative Ruscitto Latham Blanton for a Conditional Use Permit application for a third floor addition to the existing 191 East 8<sup>th</sup> Street Building, to be used as residential space, finding the application meets the standards for approval under Chapter 17.116 of Ketchum Zoning Code Title 17 with the following conditions: [insert conditions of approval here]”
3. **Continuation of the Application:** “Motion to continue the application from owner Doug Webb and Representative Ruscitto Latham Blanton to a date certain of [insert date of meeting].”

RECOMMENDED CONDITIONS

Ketchum City Engineer, Streets, Utilities, Fire and Building Department requirements shall be met, including:

1. All departmental conditions as described in Table 1.
2. All building and fire code requirements as dictated by 2012 family of international building codes shall apply to all construction onsite.
3. Per Title 17, Section 17.116.080: TERM OF PERMITS: Conditional Use Permit approval shall expire one (1) year from the date of approval if not acted upon within that time frame; and
4. This Conditional Use Permit approval is based on representations made and other components of the application presented and approved at the meeting on November 28<sup>th</sup>, 2016.

**ATTACHMENTS:**

- A. Table 1. Requirements for All Applications
- B. Table 2. Zoning Standards Analysis
- C. Table 4. Standards for Residential, Light Industrial Districts
- D. Table 3. Conditional Use Permit Requirement
- E. Application
- F. Plans
  - a. Design Review submittal dated October 28, 2016  
(Omit pages A1.1 & A3.1. See revisions)
  - b. Materials Board, dated October 28, 2016
  - c. Revised Site-Landscape Plan A1.1, dated November 08, 2016
  - d. Revised Site-landscape Plan A1.1, dated November 08, 2016  
(*For display of interior parking, not current landscape plan*)
  - e. Revised Main Level Floor Plan A3.1, dated November 08, 2016
  - f. Revised Coverage Calculations, dated November 08, 2016
  - g. Revised Parking Calculations, dated November 08, 2016

## Attachment A.

Table 1: Requirements for All Applications

Compliant			City Department Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.040	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Police Department:</b> <i>None at this time.</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Fire Department:</b> The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.</p> <p><b>IF</b> a monitored fire detection system exists or is installed, it shall meet NFPA 72 and be monitored by an approved alarm monitoring station. An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department.</p> <p>Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.</p> <p>Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A <b>minimum</b> twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.</p> <p>An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (<a href="http://www.ketchumfire.org">www.ketchumfire.org</a>) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. <b>Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements.</b> Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.</p> <p>NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshals office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.</p> <p>The existing required fire sprinkler system shall be modified by a licensed fire sprinkler contractor to meet the current requirements of NFPA 13. All areas are required to be covered with fire sprinklers.</p> <p>An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (<a href="http://www.ketchumfire.org">www.ketchumfire.org</a>) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.</p> <p>An approved access roadway per 2012 International Fire Code Appendix D (<a href="http://www.ketchumfire.org">www.ketchumfire.org</a>) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access.</p>	

			<p>Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.</p> <p>An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.</p> <p>Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.</p> <p>An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at <a href="http://www.ketchumfire.org">www.ketchumfire.org</a>.</p> <p>Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at <a href="http://www.ketchumfire.org">www.ketchumfire.org</a>.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Public Works:</b> None at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Utilities:</b> The applicant may wish to purchase their own water meter. While the penthouse usage will be at a minimum the other uses in the building may change. No impact fee will need to be collected, only the meter charge of \$ 451.00. This is not a requirement.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Parks/Arborist:</b> Looks like all vegetation will be located on private property; however, to minimize line-of-sight obstruction at the NW corner of the intersection, I would suggest limiting the number of autumn blaze maple trees to one, removing the southern-most tree. That size tree will likely cause interference with the stop sign there and limit line-of-sight to the west. Planting only one tree there is more appropriate for grow space limitations.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Building:</b> None at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Planning and Zoning:</b></p> <ul style="list-style-type: none"> <li>• Comments are denoted throughout the staff report.</li> </ul>

**Attachment B.**  
**Table 2: Zoning Standards Analysis**

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Lot Area</b>
			<i>Staff Comments</i>	<b>Required:</b> 8,000 square feet minimum. <b>Existing:</b> The lot is 0.25 acres or 10,997 square feet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030 &amp; 17.128.020.C</b>	<b>Setbacks and Supplementary Yard Requirements</b>
			<i>Staff Comments</i>	The existing building has a non-conforming front setback of 16'-9" from Washington Avenue; this existing setback will be maintained. The existing building has a non-conforming side yard setback of 10'-2" from Eighth Street. Side setbacks on corner lots are required to be no less than 2/3 of the required front setback, therefore, a 13'-4" side yard setback from Eighth Street is required; the applicant proposes a new 13'-4" conforming setback from Eighth Street. The required interior side and rear setbacks are met.  Front (Washington Avenue): Required: 20'-0" Existing: 16'-9" Proposed: 16'-9"  Side – Corner Yard (Eighth Street): Required: 13'-4" Existing: 10'-2" Proposed: 13'-4"  Side – Interior: Required – 0" Existing – 0" Proposed - 0"  Rear (Alley): Required – 0" Existing – 0" Proposed – 0"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Building Coverage</b>
			<i>Staff Comments</i>	<b>Permitted:</b> 75% <b>Proposed:</b> 41.62% The lot is 10,997 square feet and 4,577 square feet of building coverage is proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Building Height</b>
			<i>Staff Comments</i>	<b>Required:</b> Maximum building height permitted in the LI-1 is 35', but a 5' increase in height is permitted when the maximum vertical distance from the lowest exposed finished floor to the highest point of the roof shall be no more than five feet (5') greater than the maximum height permitted in the zoning district. <b>Proposed:</b> The highest point of the proposed addition is 40'-0". The portion of the building that is 40'-0" in height is stepped back thirteen-feet and four-inches (13'-4") on the south side (8 <sup>th</sup> street) and meets eligibility requirements for the 5' height increase.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.030.H</b>	<b>Curb Cut</b>
			<i>Staff Comments</i>	<b>Required:</b> <b>17.125.030: Off Street Parking Space</b> H. A maximum of thirty five percent (35%) of the linear footage of any street frontage can be devoted to access to off-street parking. Corner lots that front two (2) or more

			<p>streets may select either or both streets as access but shall still not devote more than thirty five percent (35%) of the total linear footage of street frontage to access to off-street parking.</p> <p><b>Proposed:</b>          The linear footage of street frontage is 210'-0".          Eighth Street:110'-0"          Washington: 110'-0"          The proposed curb cut will be 35'-4" along Washington Avenue, equating to 16.7%.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.125.020.A.2 &amp; 17.125.050</b>  <b>Parking Spaces</b></p> <p><b>Staff Comments</b></p> <p><b>Required:</b>          The off street parking standards apply when an existing structure or use is expanded or enlarged. Additional off street parking spaces shall be required only to serve the enlarged or expanded area, not the entire building or use.</p> <p>Office, Industrial Districts: One (1) space per 250 gross square feet.</p> <p>Residential Units, Industrial Districts: One (1) space per bedroom.</p> <p>Office Parking          Lower Level: New Meeting Room:329sf          New Office #1:428 sf          New Office #2:180 sf          Main Level: New Office #3:686 sf          New Office #4:420 sf          Total office parking: 2,043 sf/ 250 = 8 spaces</p> <p>Residential Parking          Main Level: New Live work residential unit #1: 1 space          New Live work residential unit #2: 1 space          Upper Level: New residential unit #3: 1 space          New residential unit #4: 1 space</p> <p>This project requires 12 off-street parking spaces.</p> <p><b>Proposed:</b>          The applicant is proposing two (2) additional off-street parking spaces to meet the need of the expanded area.</p> <p>The applicant will have a total of twelve (12) parking spaces located on-site.          Existing off-street parking: 10 spaces          Proposed: 12 spaces</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.125.050</b>  <b>Off Street Parking and Loading Areas</b></p> <p><b>Staff Comments</b></p> <p><b>Required:</b>          In the LI-1, LI-2 and LI-3 districts, off street loading areas (containing 180 square feet with no 1 dimension less than 10 feet) shall be required as an accessory use for new construction or major additions involving an increase in floor area, as follows: One off street loading space for floor area in excess of two thousand (2,000) square feet, provided no loading space occupies any part of a public street, alley, driveway or sidewalk; except, that where practicable to do so, an alley may be used in lieu of the requirement of this section if prior permission is granted by the commission.</p> <p><b>Proposed:</b>          The increase in floor area and addition will be used for residential and livework units, therefore off-street loading spaces are not required. However, if the commission feels that they must meet the loading requirements then staff recommends that the</p>



				commission grant permission to the applicant to use the alley adjacent to the property for off-street loading use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.140, 17.12.020, & 17.08.020	<b>Zoning Matrix &amp; Definitions</b>
			<i>Staff Comments</i>	<p>17.18.140 - A. <b>Purpose.</b> The LI-1 light industrial district number 1 is established as a transition area providing limited commercial service industries, limited retail, small light manufacturing, research and development, and offices related to building, maintenance and construction and which generate little traffic from tourists and the general public. (Ord. 1135, 2015)</p> <p>17.12.020 <b>Dwelling, multi-family:</b> Multi-family dwelling units are allowed in the LI-1 district with a conditional use permit. See section 17.124.090 for development standards for industrial district residential.</p> <p><b>Proposed:</b> <i>The applicant is proposing to construct a third floor addition to the existing structure, with the intent to add four residential units to the existing commercial uses on site.</i></p> <p>17.08.020 – Definitions <b>Mixed Use:</b> Properties on which various uses, such as office, commercial, institutional, and residential, are combined in a single building or on a single site in an integrated development project with significant functional interrelationships and a coherent physical design.</p> <p><b>Dwelling, multi-family:</b> A building, under single or multiple ownership, containing two (2) or more Dwelling Units used for Residential Occupancy.</p>

## Attachment C.

Table 3: Standards for Residential, Light Industrial Districts

<b>IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:</b>				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	<b>1. Dwelling units shall not occupy the ground floor.</b>
			<i>Staff Comments</i>	<i>There are no dwelling units proposed on the lower level. Two live-work residences are proposed on the main floor of the building, located on the north side of the building. The proposed live work residential unit #1 is 672sf and unit #2 is 828sf, with 268sf of new residential circulation/other. Additionally, two residential units are proposed on the upper level of the building. The proposed residential unit #3 is 1,000sf and unit #4 is 629sf, with 275sf of new residential circulation/other.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	<b>2. Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.</b>
			<i>Staff Comments</i>	<i>Design review under chapter 17.96 is required for this project as this is an addition to an existing building, to be used as mixed-use. The design review application will be reviewed if the conditional use is approved by the Commission.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	<b>3. Up to fifty percent (50%) of any light industrial building may be devoted to dwelling units, unless otherwise specified in the section.</b>
			<i>Staff Comments</i>	<i>The proposed gross square footage of the building is 7,932sf.</i>  <i>The applicant proposes devoting 49.5% of the building to residential use. The total residential square footage devoted to residential space is 3,927sf, of which 1,768sf is devoted to the two live-work units (including circulation) and 2,067sf is devoted to the third floor residential units (including circulation).</i>  <i>A total 4,005sf of the building is devoted to commercial storage, office space and meeting space, of which 2,848sf is located on the lower level and 1,157sf is located on the main level.</i>  <i>Note: Parking areas covered by a roof or portion of the building and enclosed on three (2) or more sides by building walls are included into the gross floor area calculation. See Ketchum code 17.08.020 Definitions: Floor Area, Gross for full definition.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	<b>4. Dwelling units shall be owner occupied or used for "long term occupancy", defined as a minimum of ninety (90) consecutive days, and shall not be separated in any manner for sale as individual units.</b>
			<i>Staff Comments</i>	<i>One of the proposed third floor residential units will be owner occupied, while the remaining three units shall be used for long term occupancy. The units will not be separated for sale as individual units.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	<b>5. Dwelling units shall be a minimum of four hundred (400) square feet and shall not exceed one thousand (1,000) square feet total and shall contain not more than two (2) bedrooms, unless otherwise specified in this section.</b>
			<i>Staff Comments</i>	<i>The proposed dwelling units are above the minimum of four hundred (400) square feet and do not exceed one thousand (1,000) square feet total. None of the proposed dwelling units contain more than two (2) bedroom units. See staff comments in section 17.124.090 A (1) for a breakdown of residential unit square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<b>6. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</b>
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (7)	<b>7. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</b>
			<i>Staff Comments</i>	<i>All persons who rent or sublet any residential living unit will notify the tenant, lessee or subtenant with written notice that the unit is located within the light industrial zone, and is therefore subordinate in nature to all legal light industrial activities.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<b>8. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone</b>
			<i>Staff Comments</i>	<i>All future real estate agent, sales person, broker, and/or each private party who offers for rent or show any of the dwelling units located in the proposed building, will provide written notice that the building is located within such light industrial zone.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<b>9. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</b>
			<i>Staff Comments</i>	<i>The applicant will meet this requirement.</i>

Attachment D.

Table 4: Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A) CONDITIONAL USE	<b>The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.</b>
			<i>Staff Comments</i>	<p><i>The LI-1 district allows for one of the widest varieties of uses in the zoning code use matrix; uses ranging from manufacturing to personal service to warehousing and wholesaling to automotive uses are permitted.</i></p> <p><i>Multi-family dwelling units are permitted only with a conditional use permit in the LI-1, LI-2 and LI-3 with the condition that they comply with Ketchum zoning code 17.124.090, the Residential Development Standards for the industrial districts. For residential development in the light industrial, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units, unless otherwise specified in the section.</i></p> <p><i>The proposed project is compliant with all standards from Ketchum zoning code 17.124.090. For staff comment, see Table 2: Standards for Residential, Light Industrial Districts.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<b>The conditional use will not materially endanger the health, safety and welfare of the community.</b>
			<i>Staff Comments</i>	<p><i>The proposed project for the continued use of commercial office space and the addition of live-work and residential space is well suited for the location at 191 East 8<sup>th</sup> Street. The property is on the edge of the LI-1 district and adjacent to the Community Core District–Traditional Neighborhood (CC-D). The building is surrounded by a mix of both industrial and residential use and is anticipated to be well suited for the neighborhood.</i></p> <p><i>The applicant is also proposing to reconstruct the sidewalk along East 8<sup>th</sup> Street, which will remove the existing perpendicular parking along the south side of the building. Currently the perpendicular parking is encroaching approximately four (4) feet into the right of way. The reconstruction is anticipated to create a safer situation for both pedestrian and vehicle traffic.</i></p> <p><i>The conditional use is not expected to materially endanger the health, safety and welfare of the community, and may improve it in regards to pedestrian and vehicular safety along East 8<sup>th</sup> Street.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<b>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</b>
			<i>Staff Comments</i>	<p><i>The proposed project is not anticipated to significantly increase the amount of pedestrian and/or vehicular traffic associated with the existing use. There are currently two (2) office spaces, one (1) meeting room, one (1) break room, and two (2) storage areas located on the lower level. Additionally, there are two (2) office units located on the main level of the building.</i></p> <p><i>The proposed project will contain one (1) commercial office unit and one (1) meeting space on the lower level, two (2) commercial office units on the main</i></p>

			<p>level, two (2) live work units on the main level and two (2) residential units on the upper level.</p> <p>The sidewalk located on the south side of the building (East 8<sup>th</sup> st), is currently encroaching into the right-of-way. There are currently four off-street perpendicular parking spaces utilized by the applicant which cross the sidewalk along the south side of the corner lot. The current configuration creates potentially dangerous situation for pedestrian and vehicles backing out of the perpendicular parking.</p> <p>The anticipated future sidewalk configuration in along East 8<sup>th</sup> street will be to have all streets and sidewalk conforming with the current City of Ketchum right-of-way standards. The standards for development with a 60-ft right-of-way include a 5-ft wide sidewalk, curb &amp; gutter with drainage facilities as required, a 10-ft parallel parking lane, and a 13-ft wide travel lane with sharrows to alert drivers to share the road with bicyclist.</p> <p>The applicant has meet with the Streets Department/Public Works Department to resolve the exiting right-of-way encroachment issues. The proposed sidewalk configuration along East 8<sup>th</sup> street is in conformance with existing City of Ketchum right-of-way standards.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.116.030(D)</b> The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p><i>Staff Comments</i> Due to the proposed pedestrian and vehicular public improvements, and review of the proposed use and the site, the conditional uses can be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area.</p> <p>The fire department has reviewed the application and has determined that they can provide adequate services to the project. The police department has no comment on the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.116.030(E)</b> The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this Section.</p> <p><i>Staff Comments</i> The Comprehensive Plan designates the property for mixed-industrial use. Primary uses specified include Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district. Secondary uses specified include A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</p> <p>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</p> <p>The proposed existing commercial office space along with the addition of the live-work and residential uses are generally consistent with the uses specified within the Comprehensive Plan. The Commission must decide if the uses proposed are appropriate for the site and the location and are necessary to serve the LI district.</p>

CERTIFIED COMPLETE

10/21/16

File No.: 16-083

CITY OF KETCHUM CONDITIONAL USE PERMIT APPLICATION

Name of Applicant: Doug Webb (Ruscitto Latham Blanton P.A. representative)

Name of Owner of Record: Doug Webb

Mailing Address: P.O. Box 444 Sun Valley, Idaho 83353

Contact Phone Number: 208.720.8000 (R/L/B: 208.726.5608)

Street Address of Property Requiring a CUP: 191 East 8th St.

Legal Description of Property Requiring a CUP: Eighth & Washington Bldg Condo; Lot 2A, Block 32, Ketchum Townsite

Description of Proposed Conditional Use: Adding 4 residential units to current commercial uses.

Description of Proposed and Existing Exterior Lighting:

All existing exterior lighting is installed in roof soffit. All new exterior lighting will be wall mounted sconces and recessed cans.

Zoning District: LI-1

Overlay District: Flood N/A Avalanche N/A Pedestrian N/A Mountain N/A

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Conditional Use Permit Application in which the City of Ketchum is the prevailing party to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I hereby acknowledge I have filled in this application accurately and provided the required information to the best of my knowledge.

Applicant's Signature

Date 10/14/16

Pursuant to Resolution No. 08-123, any direct costs incurred by the City of Ketchum to review this application will be the responsibility of the applicant. Costs include but are not limited to: engineer review, attorney review, legal noticing, and copying costs associated with the application. The City will require a retainer to be paid by the applicant at the time of application submittal to cover said costs. Following a decision or other closure of an application, the applicant will either be reimbursed for unexpended funds or billed for additional costs incurred by the City.

----- Administrative use Only -----

Date Application Received: \_\_\_\_\_

Date Commission/Council Public Hearing: \_\_\_\_\_

Date Legal Notice Published: \_\_\_\_\_

Date Notice Posted on Premises: \_\_\_\_\_

Conditional Use Permit Fee: \_\_\_\_\_ Date Paid: \_\_\_\_\_

Mailing Fee: \_\_\_\_\_ Date Paid: \_\_\_\_\_

Date Applicant Notified: \_\_\_\_\_

Comments from Agencies: \_\_\_\_\_

Administrative Comments: \_\_\_\_\_

Additional Notice Determination: \_\_\_\_\_ Date: \_\_\_\_\_

Actions/Findings Taken: \_\_\_\_\_

Permit Recorded: \_\_\_\_\_

ISSUED	2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS	

# EIGHTH & WASHINGTON BUILDING

## 191 E. 8TH STREET

## KETCHUM, IDAHO

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### RESIDENTIAL AREA CALCULATION

COMMERCIAL SQ. FTG.			
LOWER LEVEL:	NEW MEETING ROOM:	329 SF	
	NEW OFFICE #1:	428 SF	
	NEW OFFICE #2:	180 SF	
	EXISTING STORAGE #1:	898 SF	
	EXISTING STORAGE #2:	729 SF	
	EXISTING COVERED EXTERIOR:	284 SF	
MAIN LEVEL:	NEW OFFICE #3:	686 SF	
	NEW OFFICE #4:	521 SF	
	NEW COMMERCIAL CIRCULATION:	51 SF	
TOTAL COMMERCIAL:		4,106 SF	
RESIDENTIAL SQ. FTG.			
LOWER LEVEL:	NEW RESIDENTIAL CIRCULATION:	92 SF	
MAIN LEVEL:	NEW LIVE-WORK RESIDENTIAL UNIT #1:	672 SF	
	NEW LIVE-WORK RESIDENTIAL UNIT #2:	726 SF	
	NEW RESIDENTIAL CIRCULATION / OTHER:	268 SF	
UPPER LEVEL:	NEW RESIDENTIAL UNIT #3:	1,000 SF	
	NEW RESIDENTIAL UNIT #4:	692 SF	
	NEW RESIDENTIAL CIRCULATION / OTHER:	375 SF	
TOTAL RESIDENTIAL:		3,825 SF	
AREA OF BUILDING:	7,931 SF		
TOTAL ALLOWABLE RESIDENTIAL AREA:	3,965.5 SF MAX. (50% OF TOTAL BUILDING AREA) (CITY OF KETCHUM CODE, SECTION 17.124.090)		
TOTAL PROPOSED RESIDENTIAL AREA:	3,825 SF		

### PARKING CALCULATION

OFFICE PARKING			
LOWER LEVEL:	NEW MEETING ROOM:	331 SF	
	NEW OFFICE #1:	398 SF	
	NEW OFFICE #2:	178 SF	
MAIN LEVEL:	NEW OFFICE #3:	686 SF	
	NEW OFFICE #4:	521 SF	
TOTAL OFFICE @ 1 SPACE PER 250 GFS:		2,114 SF / 250 = 9 SPACES	
RESIDENTIAL PARKING			
MAIN LEVEL:	NEW LIVE-WORK RESIDENTIAL UNIT #1:	1 SPACE	
	NEW LIVE-WORK RESIDENTIAL UNIT #2:	1 SPACE	
UPPER LEVEL:	NEW RESIDENTIAL UNIT #3:	1 SPACE	
	NEW RESIDENTIAL UNIT #4:	1 SPACE	
TOTAL RESIDENTIAL @ 1 SPACE PER BEDROOM:		4 SPACES	
TOTAL REQUIRED PARKING SPACES:		13 SPACES	
TOTAL EXISTING OFF STREET PARKING SPACES PROVIDED:		14 SPACES	

### CURB CUT CALCULATION

LINEAR LOT WIDTH		LINEAR CURB CUT WIDTH	
EIGHTH STREET:	100'-0"	EIGHTH STREET:	36'-8"
WASHINGTON AVE.:	110'-0"	WASHINGTON AVE.:	35'-4"
TOTAL	210'-0"	TOTAL	72'-0"

TOTAL ALLOWABLE CURB CUT : 35%  
TOTAL EXISTING CURB CUT : 72 / 210 = 34.3%

### SNOW STORAGE CALCULATION

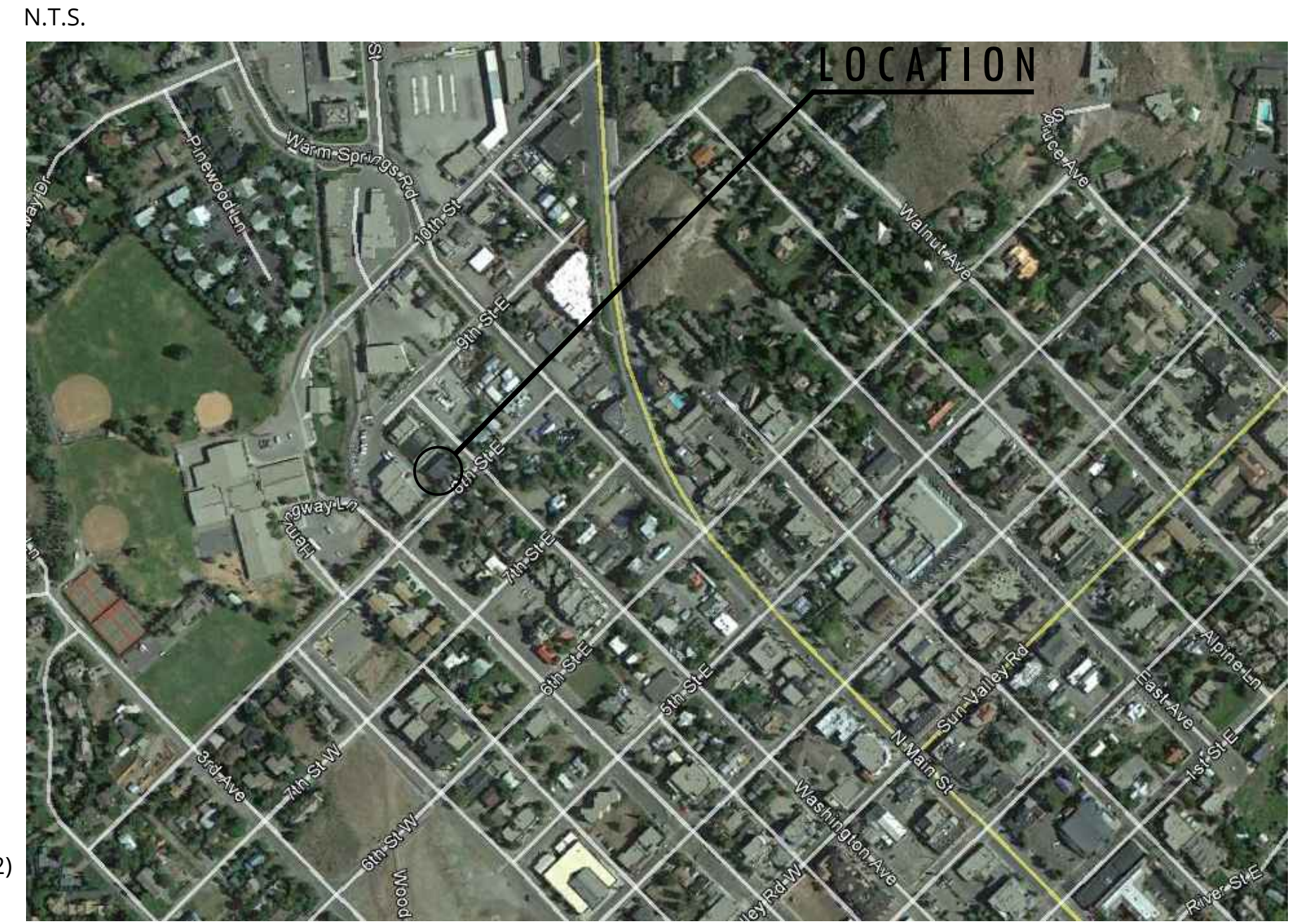
SNOW STORAGE:	150 SF PER. 55' OF LINEAR LOT WIDTH (CITY OF KETCHUM CODE, SECTION 17.125.030 - M.)
LINEAR LOT WIDTH:	110'-0"
REQUIRED SNOW STORAGE:	150 SF X 2 = 300 SF MIN.
PROVIDED SNOW STORAGE:	166 SF (SEE A1.1 FOR LOCATION OF SNOW STORAGE @ EXISTING PARKING SPACE 12)

\* ADDITIONAL SNOW TO BE HAULED FROM SITE AS IS CURRENTLY AND PER KETCHUM CITY CODE 17.96.010.A - H. 4.

### PROJECT INFORMATION

OWNER:	JULI & DOUGLAS WEBB PO BOX 444 SUN VALLEY, ID 83353
LEGAL DESCRIPTION:	EIGHTH & WASHINGTON BUILDING CONDO SECTION 13, T.4N., R.17E., B.M. CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PARCEL NUMBER:	RPK07620000000: EIGHTH & WASHINGTON BUILDING CONDO  RPK0762000000A0: 191 E. 8TH STREET A RPK0762000000B0: 191 E. 8TH STREET B RPK0762000000C0: 191 E. 8TH STREET C RPK0762000000D0: 831 N. WASHINGTON AVE. D
ZONING DISTRICT:	L-1 LIGHT INDUSTRIAL DISTRICT
APPLICABLE CODES:	2012 INTERNATIONAL BUILDING CODE (IBC) 2012 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2012 INTERNATIONAL FIRE CODE (IFC) 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) CITY OF KETCHUM CODE CITY OF KETCHUM CODE, SECTION 15.04.020 AMENDMENTS CITY OF KETCHUM CODE, SECTION 15.20 GREEN BUILDING CODE
PROJECT USE:	MIXED USE:  RESIDENTIAL: DWELLING / MULTI-FAMILY COMMERCIAL: OFFICE / BUISSNESS
OCCUPANCY:	B BUSINESS R-2 RESIDENTIAL
OCCUPANCY SEPARATION:	B / R-2 1 HR. PER 2012 IBC TABLE 508.4 R-2 / R-2 ½ HR. PER 2012 IBC SECTIONS 708.3 & 711.3 R-2 / CORRIDOR ½ HR. PER 2012 IBC TABLE 1018.1
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	TO BE EQUIPPED THROUGHOUT WITH APPROVED NFPA13 AUTOMATIC FIRE SPRINKLER SYSTEM
LOT AREA:	10,997± SF (.25 ACRES±)
BUILDING COVERAGE:	2,925 SF (EIGHTH & WASHINGTON BLG. COVERAGE) 1,652 SF (STORAGE UNIT COVERAGE)  4,577 SF (TOTAL COVERAGE) / 10,997 SF (LOT AREA) X 100% = 41.62% (75% MAX PER CITY OF KETCHUM CODE, SECTION 17.12.030)
BUILDING HEIGHT:	40'-0" = 35'-0" + 5'-0" @ 50% SETBACK OF LOWER FACADE (CITY OF KETCHUM CODE, SECTION 17.08.020 "HEIGHT OF BUILDING")
PROPERTY SETBACKS:	FRONT YARD (WASHINGTON AVE.) 16'-9"± (20'-0" MINIMUM) SIDE YARD (EIGHTH ST. EXISTING) 10'-2"± (13'-4" MINIMUM) SIDE YARD (EIGHTH ST. NEW) 13'-4"± (13'-4" MINIMUM) REAR YARD (ALLEY) 0'-0"± ( 0'-0" MINIMUM)

### VICINITY MAP

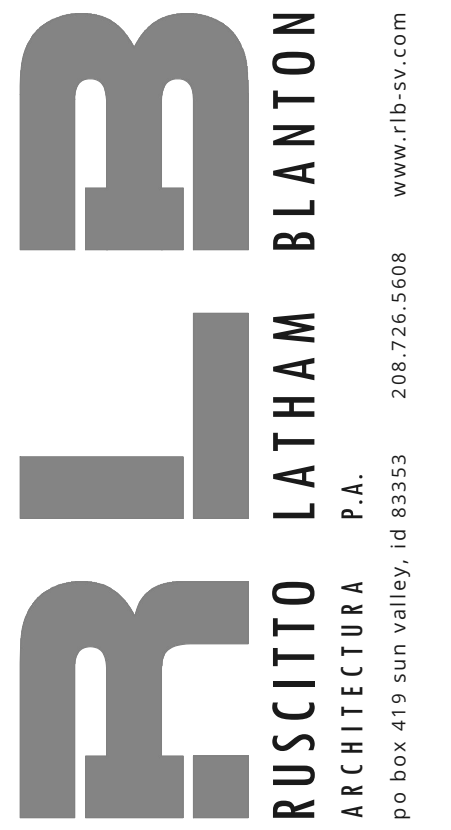


### PROJECT TEAM

ARCHITECT	RUSCITTO LATHAM BLANTON ARCHITECTURE P.A. MICHAEL BULLS, AIA P.O. Box 419 Sun Valley, Idaho 83353 P: 208.726.5608 F: 208.726.1033
STRUCTURAL DESIGN	RUSCITTO LATHAM BLANTON ARCHITECTURE P.A. MATT WALKER, P.E. P.O. Box 419 Sun Valley, Idaho 83353 P: 208.726.5608 F: 208.726.1033

### INDEX OF DRAWINGS

A0.1	PROJECT INFORMATION
A1.0	BUILDING SURVEY
A1.1	SITE / LANDSCAPE PLAN
A1.2	CONSTRUCTION MANAGEMENT PLAN
A2.0	FLOOR PLANS - EXISTING / DEMOLITION
A3.0	LOWER LEVEL FLOOR PLAN - NEW WORK
A3.1	MAIN LEVEL FLOOR PLAN - NEW WORK
A3.2	UPPER LEVEL PLAN - NEW WORK
A3.3	ROOF PLAN - NEW WORK
A4.0	BUILDING SECTIONS
A5.0-EX	BUILDING ELEVATIONS - EXISTING
A5.1-EX	BUILDING ELEVATIONS - EXISTING
A5.0	BUILDING ELEVATIONS - NEW WORK
A5.1	BUILDING ELEVATIONS - NEW WORK



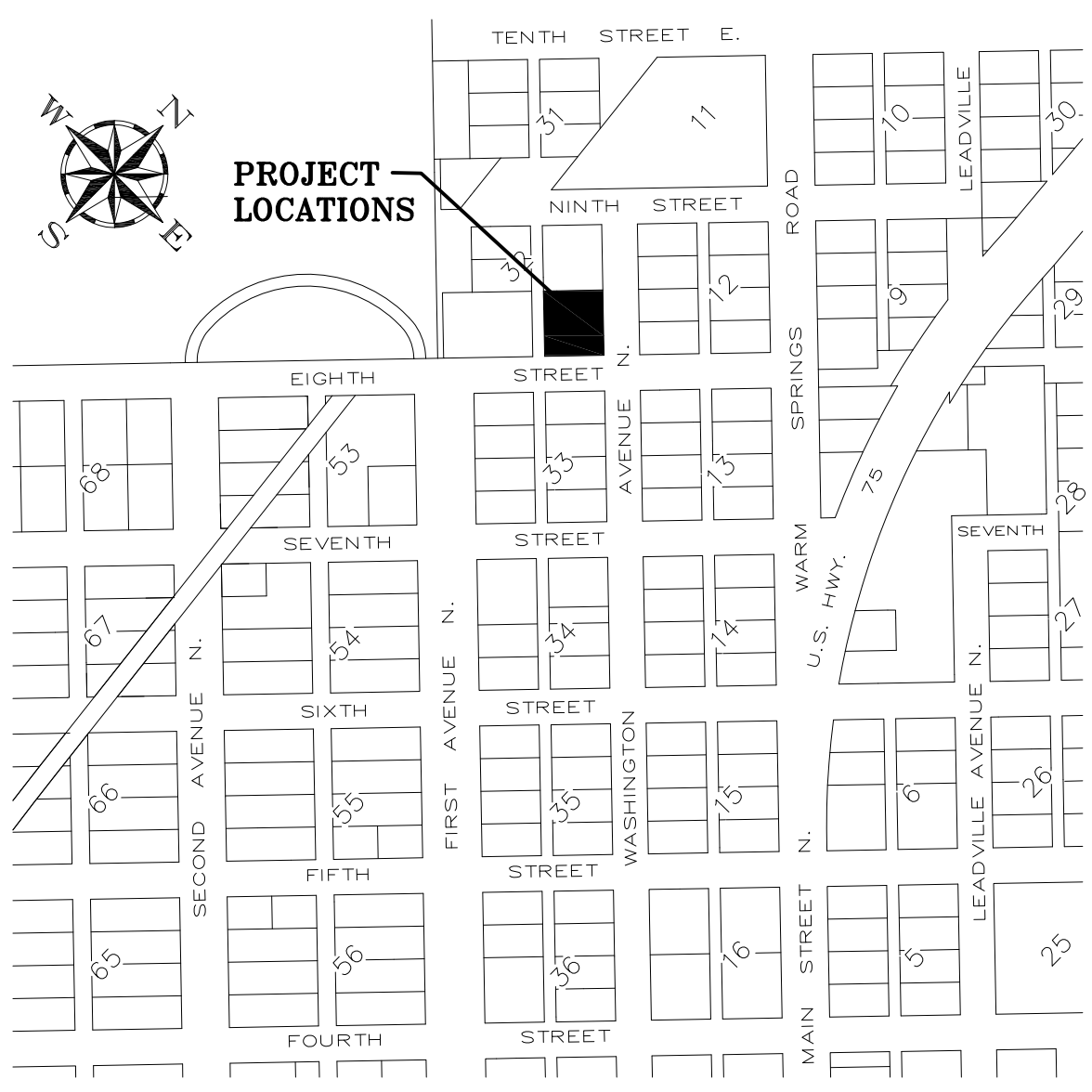
EIGHTH & WASHINGTON BUILDING  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING PROJECT INFORMATION

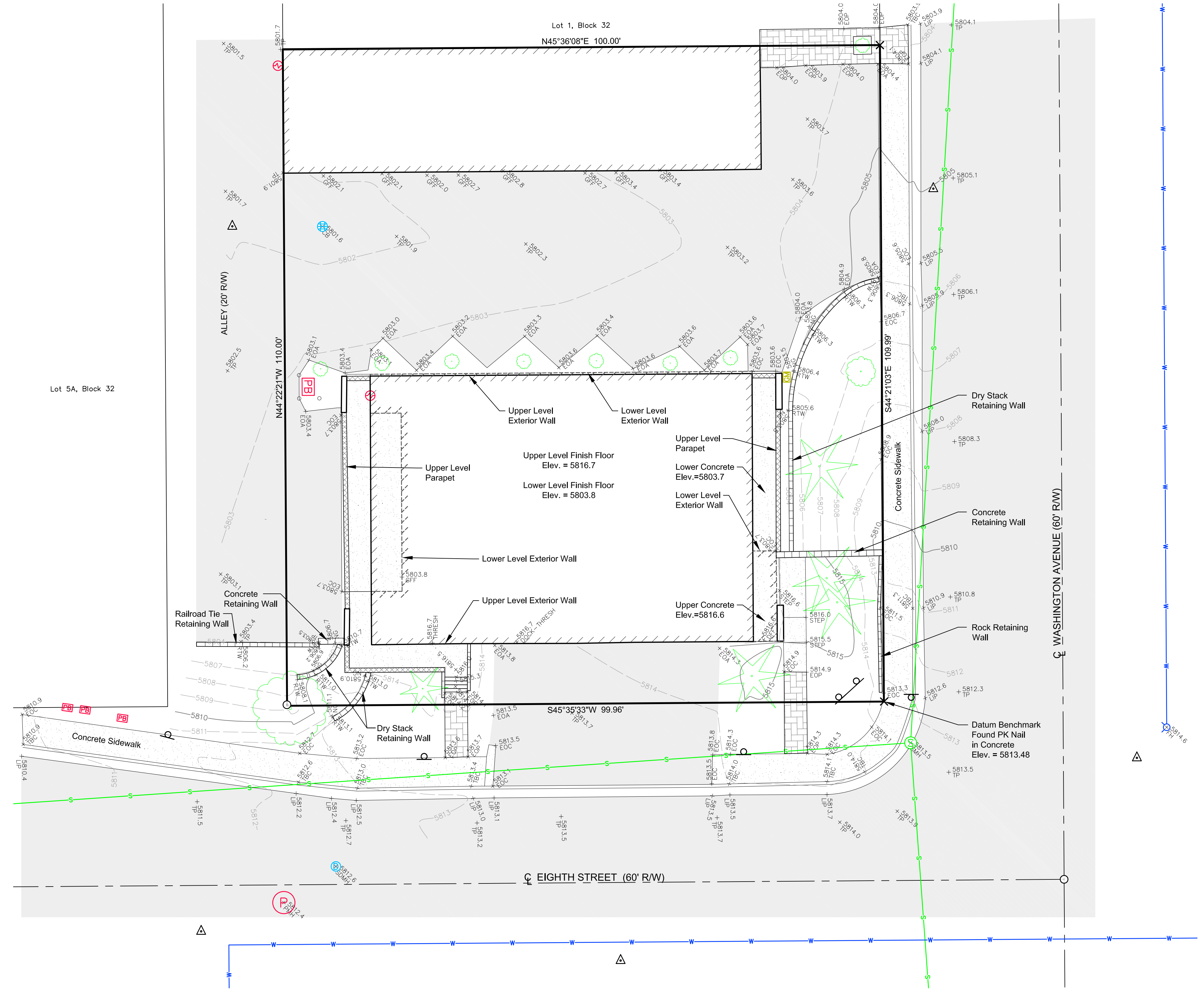
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# A0.1





VICINITY MAP  
N.T.S.

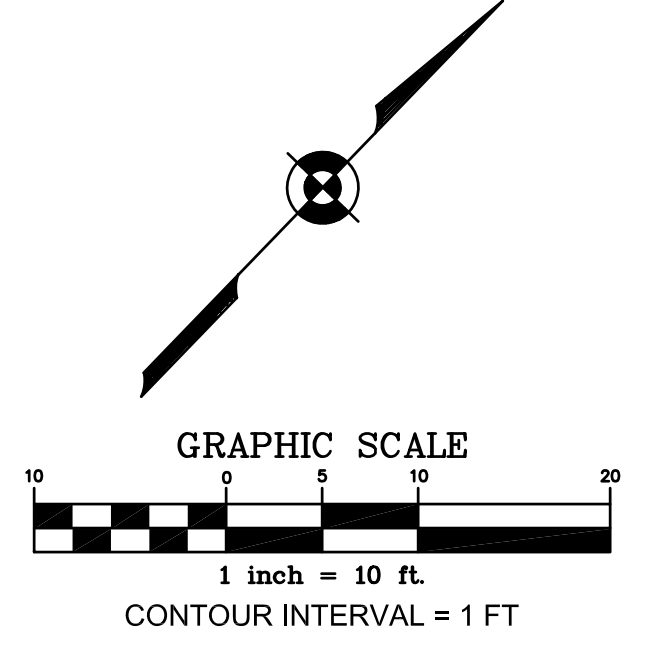


NOTES

- Boundary information is based on found monumentation. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on the plat of Eighth & Washington Building, recorded under Instrument No. 438335, Records of Blaine County ID.
- Sub-surface utility locations are approximate and locations should be verified before any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.

**LEGEND**

—	Property Line	—	Gas Meter
—	Adjoiner's Lot Line	—	SDMH = Storm Drain Manhole
—	Centerline of Right-of-way	—	CB = Catch basin
—	Found 5/8" Rebar	—	Sewer Main
—	Found PK Nail	—	Sewer Manhole
—	Survey Control	—	Water Main
—	5' Contour Interval	—	FH = Fire Hydrant
—	1' Contour Interval	—	COR = Corner
—	Conifer Tree	—	DFF = Deck Finish Floor
—	Deciduous Tree	—	EOA = Edge of Asphalt
—	Asphalt	—	EOC = Edge of Concrete
—	Concrete	—	EOP = Edge of Pavers
—	Pavers	—	GFF = Garage Finish Floor
—	Retaining Wall	—	LIP = Lip of Gutter
—	Parapet	—	NG = Natural Grade
—	Sign	—	RTW = Retaining Wall
—	Power Box	—	TP = Top of Pavement
—	Power Meter		
—	PMH = Power Manhole		



NO	DATE	BY	REVISIONS

**Galena Engineering Inc.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Halley, Idaho 83333  
 (208) 788-1705  
 (208) 788-4612 fax  
 email galena@galena-engineering.com

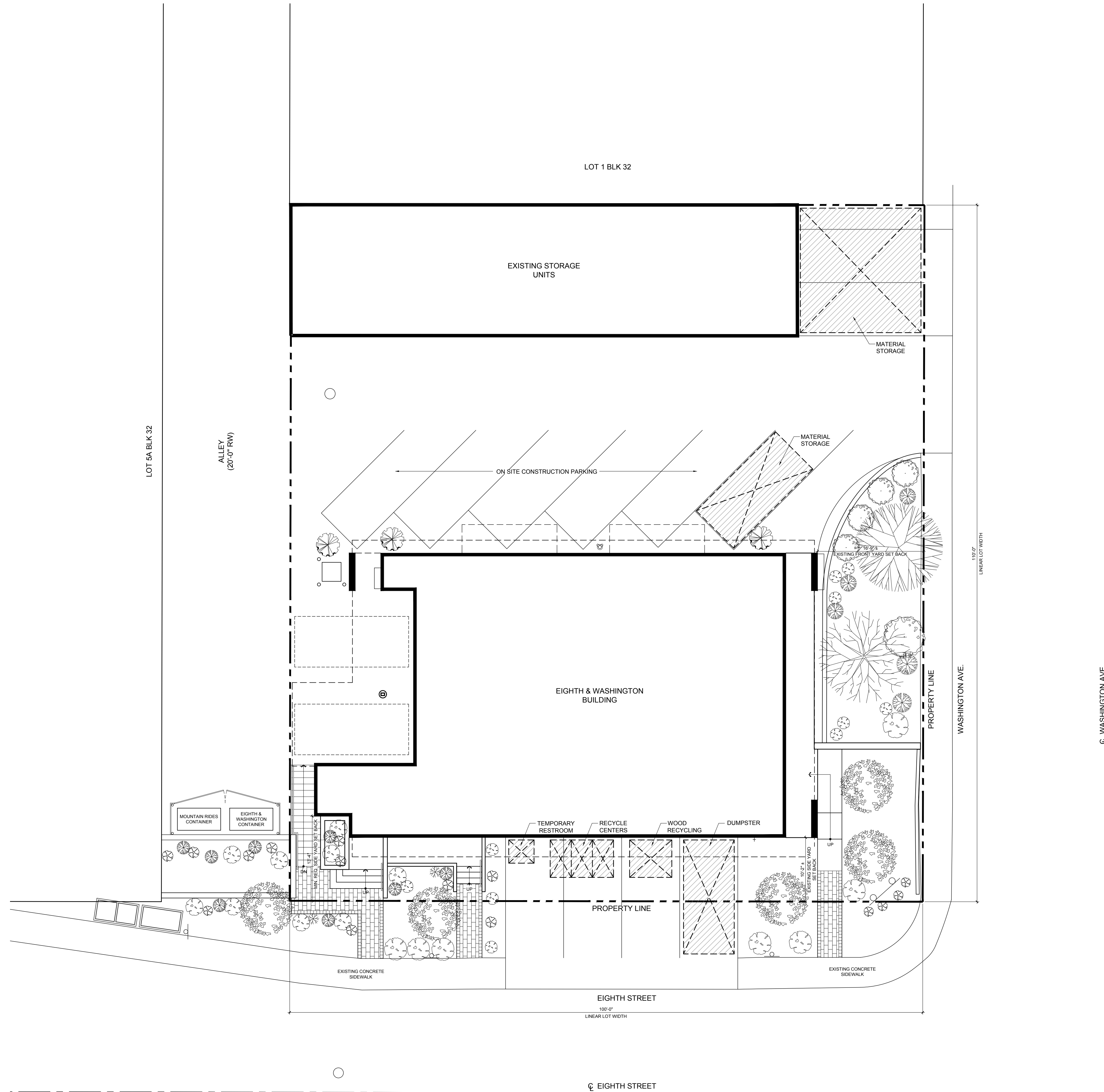
REUSE OF DRAWINGS  
 These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

DESIGNED BY	DATE
CT	06/28/16
DRAWN BY	DATE
SMP	06/28/16
CHECKED BY	DATE

A TOPOGRAPHIC MAP SHOWING  
**EIGHTH AND WASHINGTON BUILDING**  
 WITHIN SECTION 13, T.4N., R.17E., B.M., CITY OF CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR MATT WALKER

PROJECT INFORMATION  
 P:\sdskproj\7268\dwg\Topo\7268\_topo.dwg 6/28/2016 3:51:19 PM MDT

SHT 1 OF 1



**CONSTRUCTION MANAGEMENT PLAN**  
SCALE: 1/4" = 1'-0"

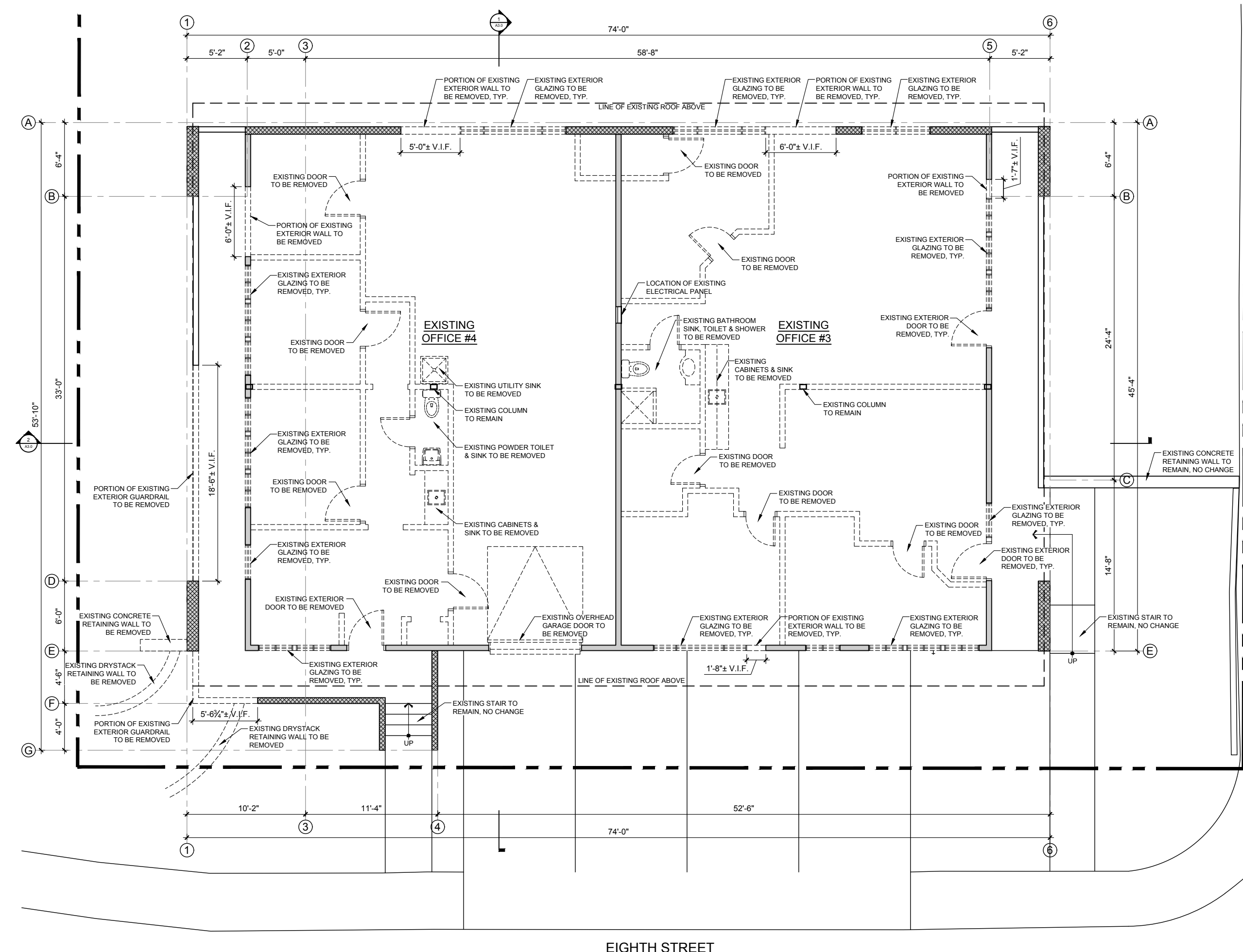
ISSUED	2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS	



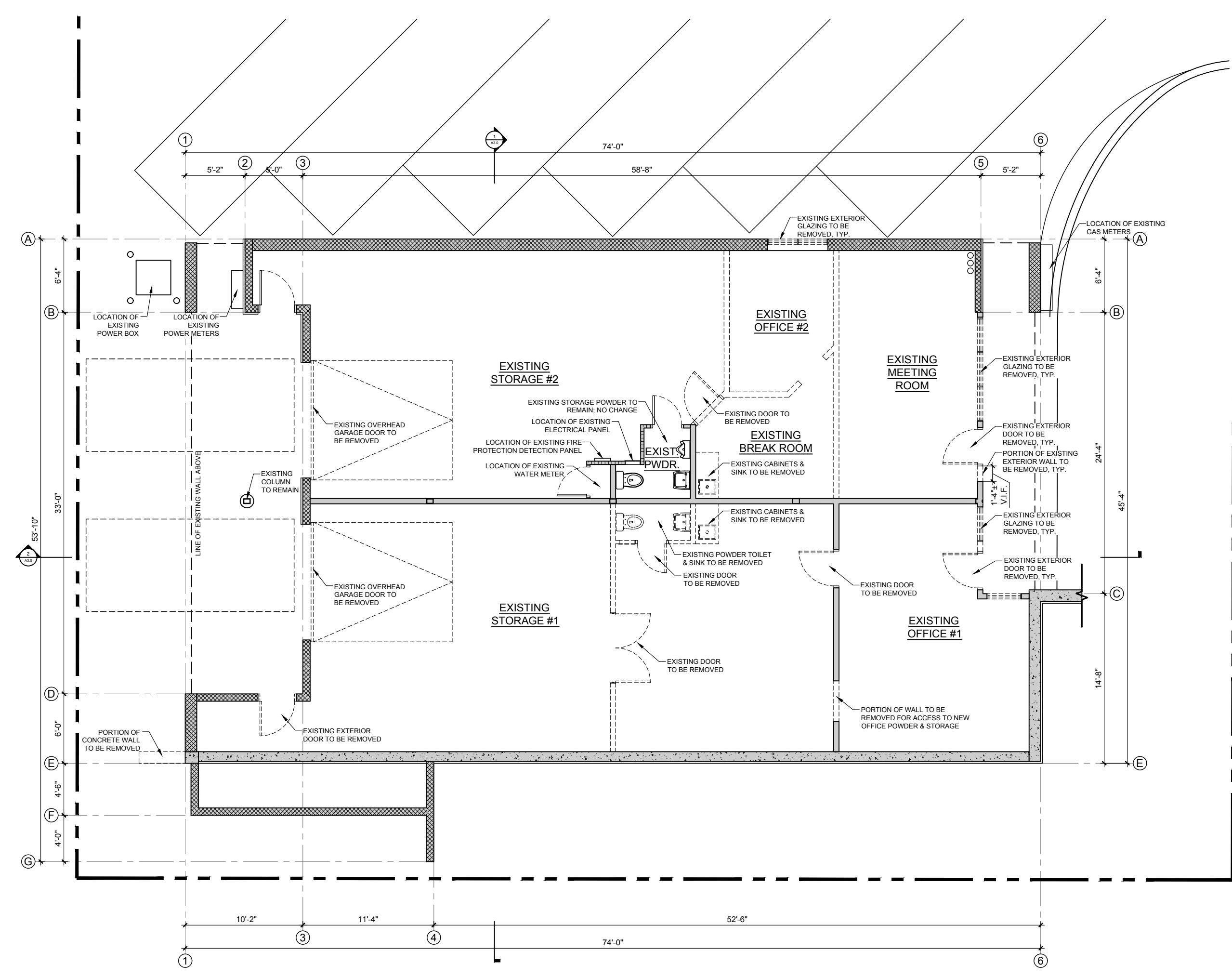
**EIGHTH & WASHINGTON BUILDING**  
 191 EAST EIGHTH STREET, KETCHUM, IDAHO

**DRAWING**  
 CONSTRUCTION MANAGEMENT PLAN  
 SCALE: 1/4" = 1'-0"  
 DWG. #

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MAIN LEVEL FLOOR PLAN - EXISTING /DEMOLITION  
SCALE: 1/8" = 1'-0"



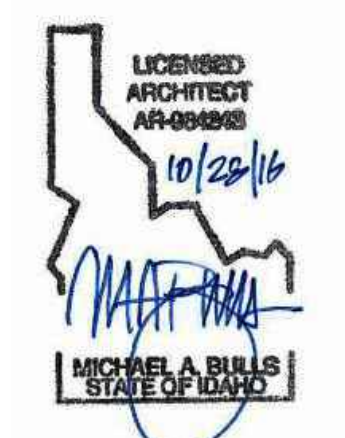
LOWER LEVEL FLOOR PLAN - EXISTING /DEMOLITION  
SCALE: 1/8" = 1'-0"

**WALL LEGEND**

- WALL TO BE REMOVED
- EXISTING WOOD STUD WALL
- EXISTING MASONRY WALL
- EXISTING CONCRETE WALL
- NEW 2X4 WOOD STUD WALL
- NEW 2X6 WOOD STUD WALL
- NEW MASONRY WALL TO MATCH EXISTING

**ISSUED**

2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS



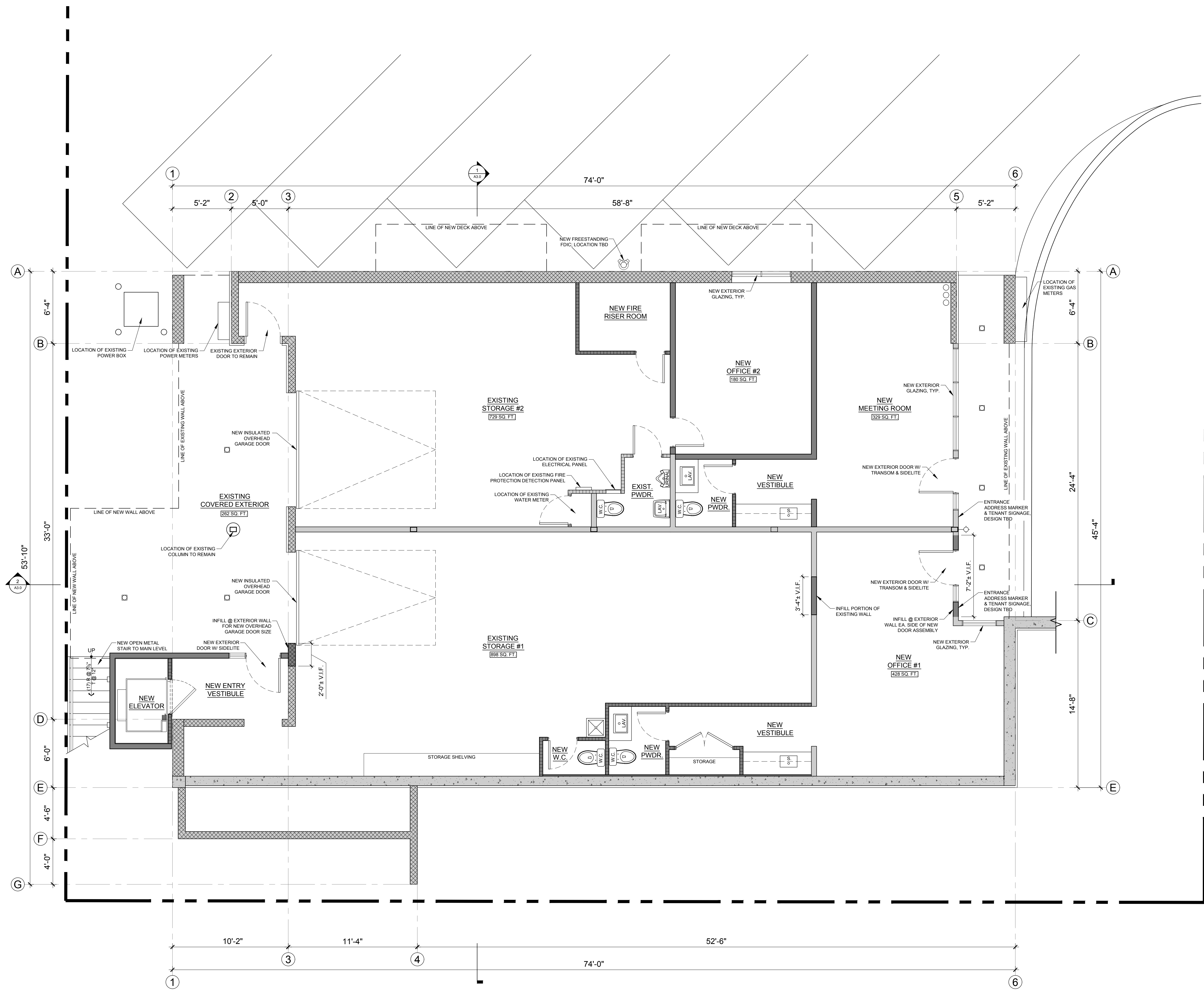
**RUSCITTO LATHAM BLANTON ARCHITECTURE P.A.**  
 208.726.5608  
 www.rlb-svb.com  
 p.o. box 419 sun valley, id 83353

**EIGHTH & WASHINGTON BUILDING**  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

**DRAWING**  
 EXISTING / DEMOLITION  
 FLOOR PLANS  
 SCALE: 1/8" = 1'-0"  
 DWG. #

**A 2.0**

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**WALL LEGEND**

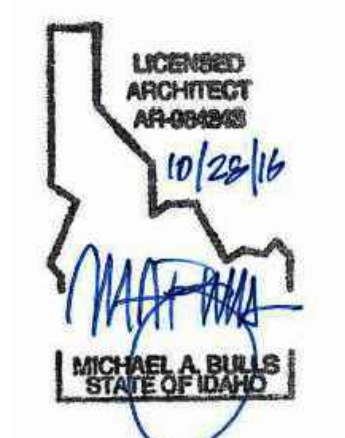
	WALL TO BE REMOVED
	EXISTING WOOD STUD WALL
	EXISTING MASONRY WALL
	EXISTING CONCRETE WALL
	NEW 2x4 WOOD STUD WALL
	NEW 2x6 WOOD STUD WALL
	NEW MASONRY WALL TO MATCH EXISTING

**EXTERIOR LIGHTING LEGEND**

	SURFACE MOUNT SCONCE PARTIALLY SHIELDED 1,000 LUMENS MAX (1-60W INCAND. OR EQ.) HAMBURGER STUDIOS SHORT SQUARE MESH COVER SCONCE (16 FIX. TOTAL)
	RECESSED SOFFIT FULL CUT-OFF DOWNLIGHT 36 WATT MR16 CONTRAST LIGHTING TR001 (OR SIM.) (20 FIX. TOTAL)
	RECESSED STEP FULL CUT-OFF DOWNLIGHT WAC LIGHTING 4011 RECTANGLE LED STEP LIGHT (OR SIM.) (6 FIX. TOTAL)

**ISSUED**

2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS



**RUSCITTO LATHAM BLANTON ARCHITECTURE P.A.**  
 P.O. BOX 419 SUN VALLEY, ID 83353  
 208.726.5608  
 www.rlb-svb.com

**EIGHTH & WASHINGTON BUILDING**  
 191 EAST EIGHTH STREET, KETCHUM, IDAHO

WASHINGTON AVE.

LOWER LEVEL FLOOR PLAN - NEW WORK  
 SCALE: 1/4" = 1'-0"

DRAWING  
 LOWER LEVEL FLOOR PLAN - NEW WORK  
 SCALE: 1/4" = 1'-0"  
 DWG. #

**A 3.0**

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**WALL LEGEND**

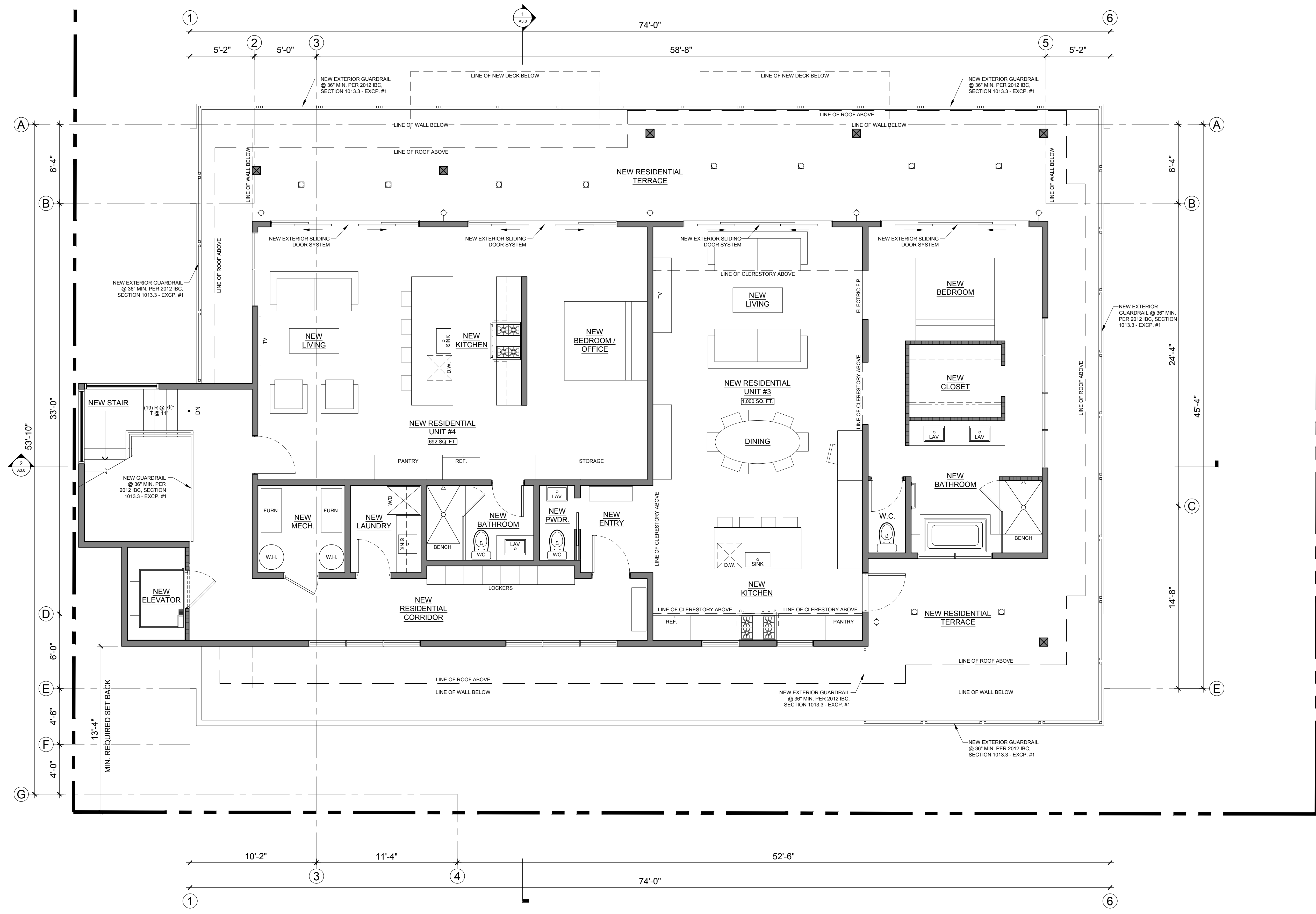
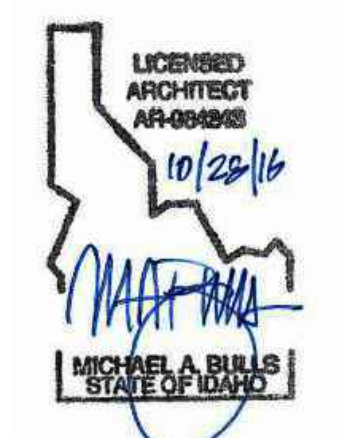
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	EXISTING WOOD STUD WALL
	EXISTING MASONRY WALL
	EXISTING CONCRETE WALL
	NEW 2X4 WOOD STUD WALL
	NEW 2X6 WOOD STUD WALL
	NEW MASONRY WALL TO MATCH EXISTING

**EXTERIOR LIGHTING LEGEND**

	SURFACE MOUNT SCONCE PARTIALLY SHIELDED 1,000 LUMENS MAX (1-40W INCAND. OR EQ.) HAMMERTON STUDIOS SHORT SQUARE MESH COVER SCONCE (16 FIX. TOTAL)
	RECESSED SOFFIT FULL CUT-OFF DOWNLIGHT 36 WATT MR16 CONTRAST LIGHTING 14000 (OR SIM.) (20 FIX. TOTAL)
	RECESSED STEP FULL CUT-OFF DOWNLIGHT WAC LIGHTING 4011 RECTANGLE LED STEP LIGHT (OR SIM.) (6 FIX. TOTAL)

**ISSUED**

2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS



WASHINGTON AVE.

EIGHTH & WASHINGTON BUILDING  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

UPPER LEVEL FLOOR PLAN - NEW WORK  
SCALE: 1/2" = 1'-0"

**DRAWING**

UPPER LEVEL FLOOR PLAN - NEW WORK

SCALE: 1/2" = 1'-0"

DWG. #

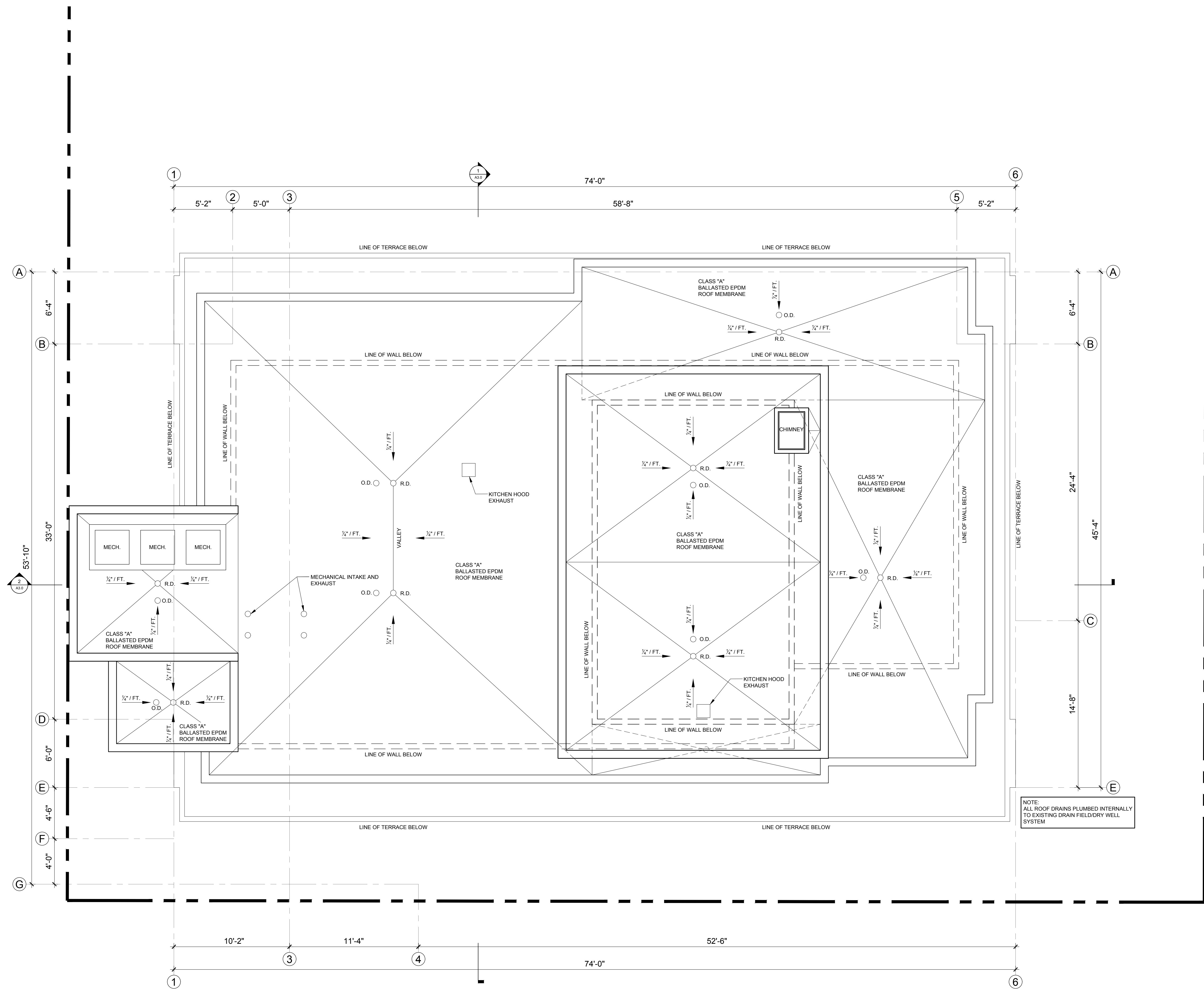
A 3.2

ISSUED	2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS	



**EIGHTH & WASHINGTON BUILDING**  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

WASHINGTON AVE.



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**ROOF PLAN - NEW WORK**  
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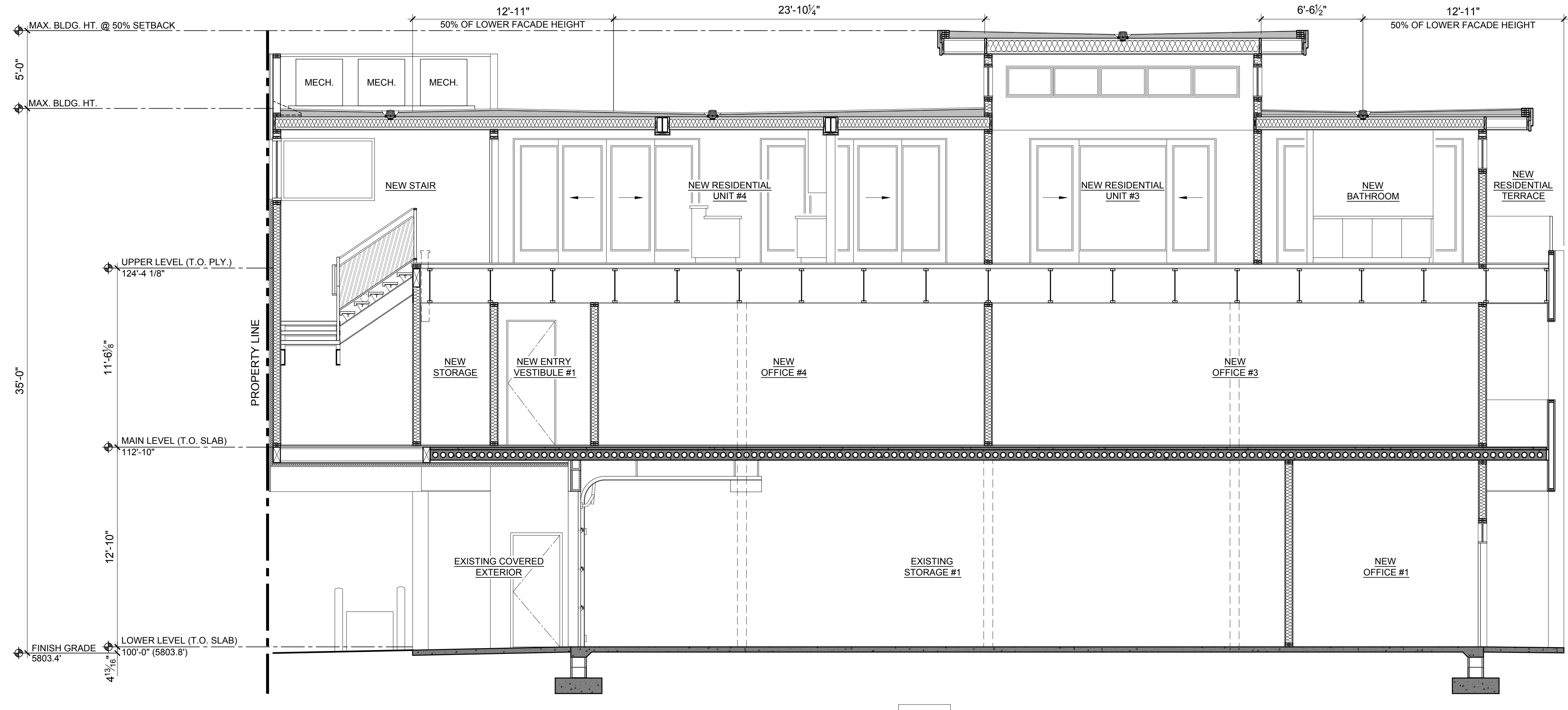
DRAWING  
ROOF PLAN - NEW WORK  
SCALE: 1/4" = 1'-0"  
DWG. #

**A 3.3**

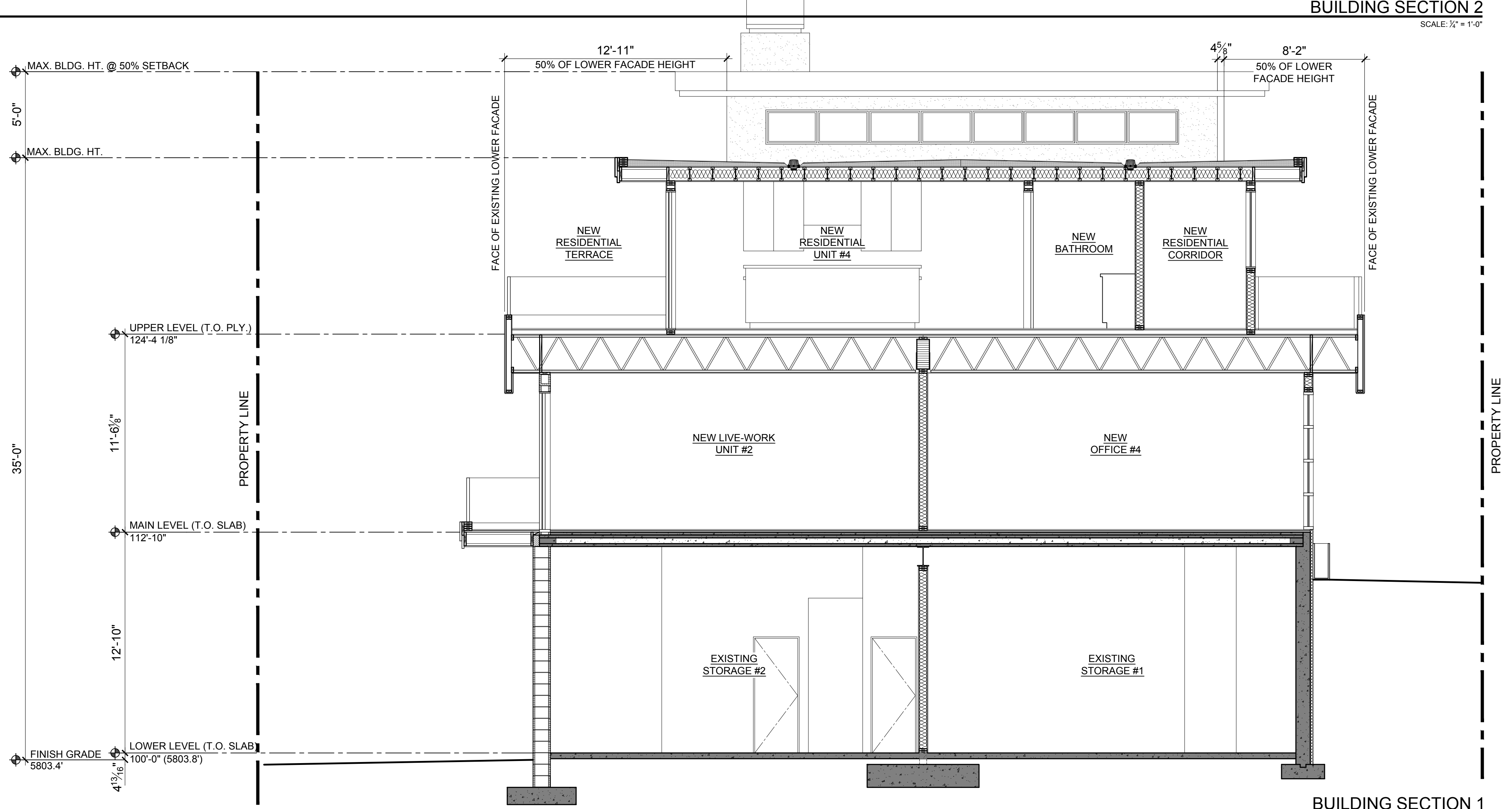
ISSUED	
2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS



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**BUILDING SECTION 2**  
 SCALE: 1/2" = 1'-0"



**BUILDING SECTION 1**  
 SCALE: 1/2" = 1'-0"

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DRAWING  
 BUILDING SECTIONS  
 SCALE: 1/2" = 1'-0"  
 DWG. #

**A 4.0**

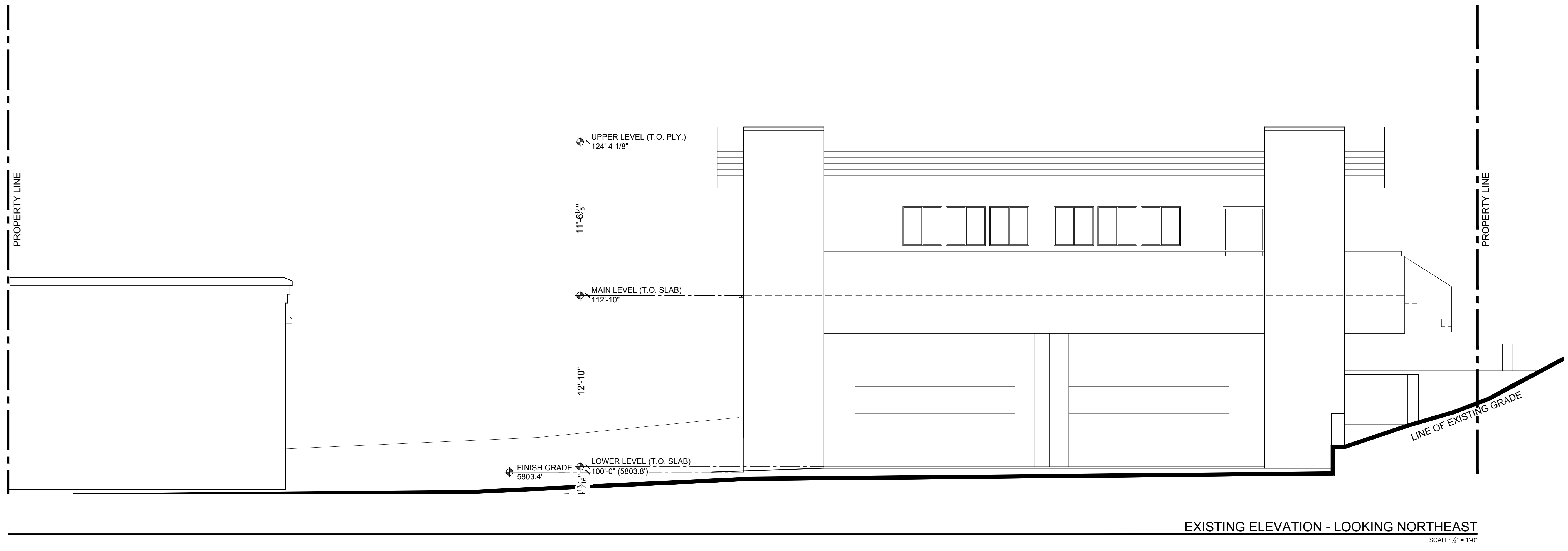
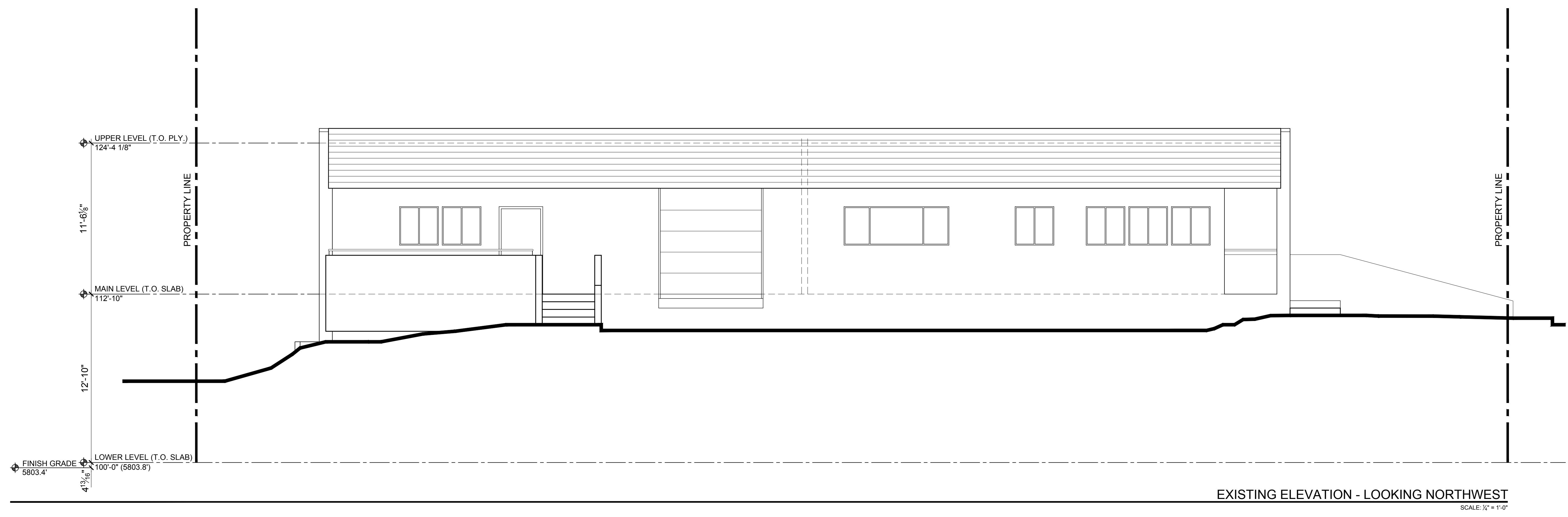
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2016.10.28	DESIGN REVIEW REVISIONS



**R**  
**L**  
**B**

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EIGHTH & WASHINGTON BUILDING  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING  
BUILDING ELEVATIONS - EXISTING

SCALE: 1/2" = 1'-0"

DWG. #

**A5.0-EX**

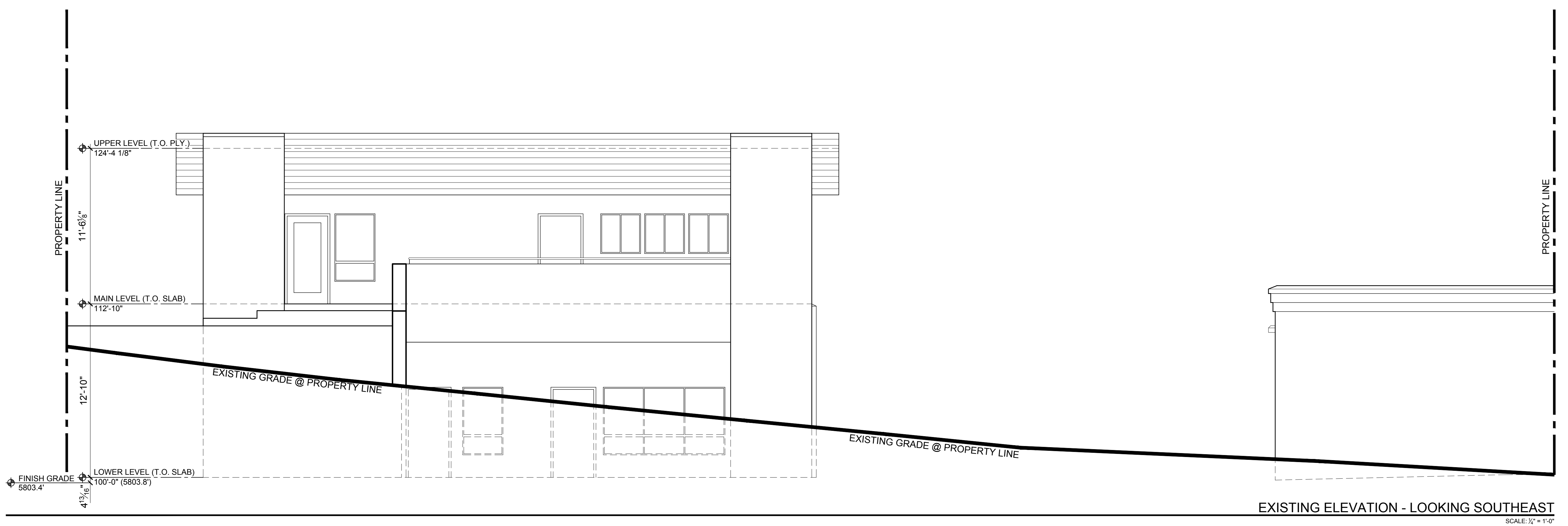
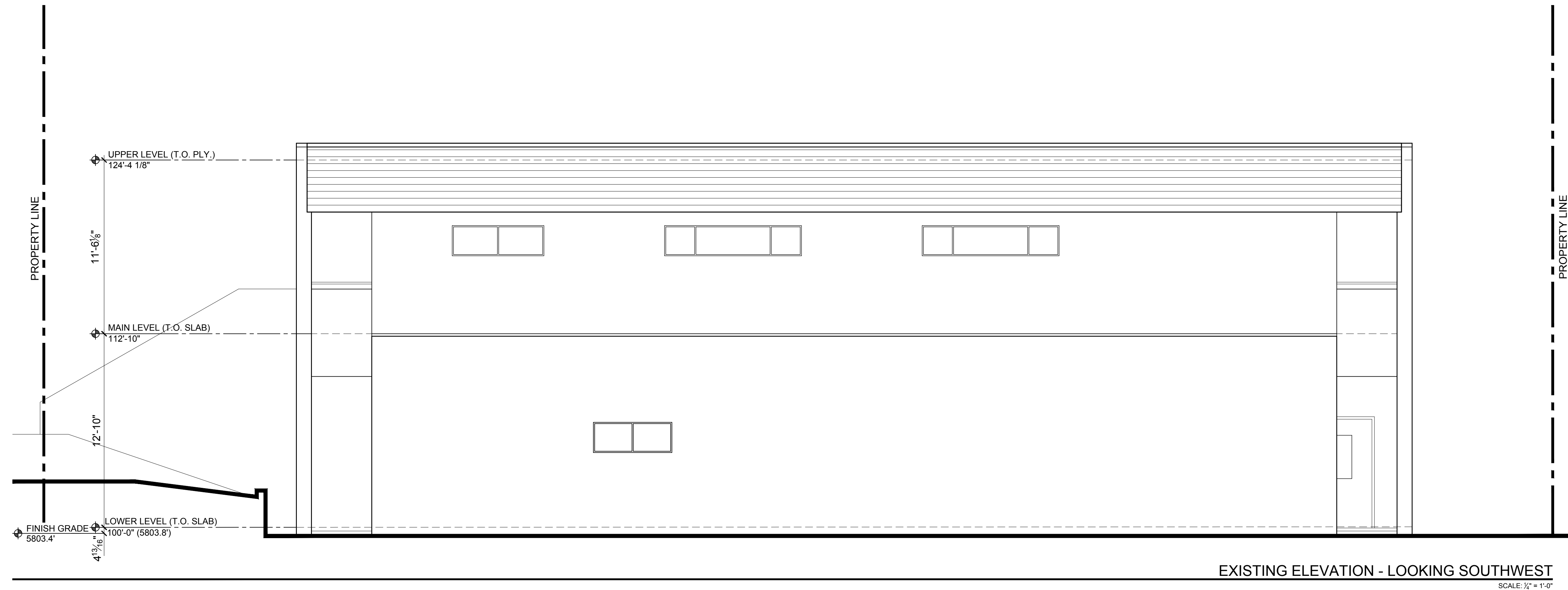


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ISSUED	
2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS



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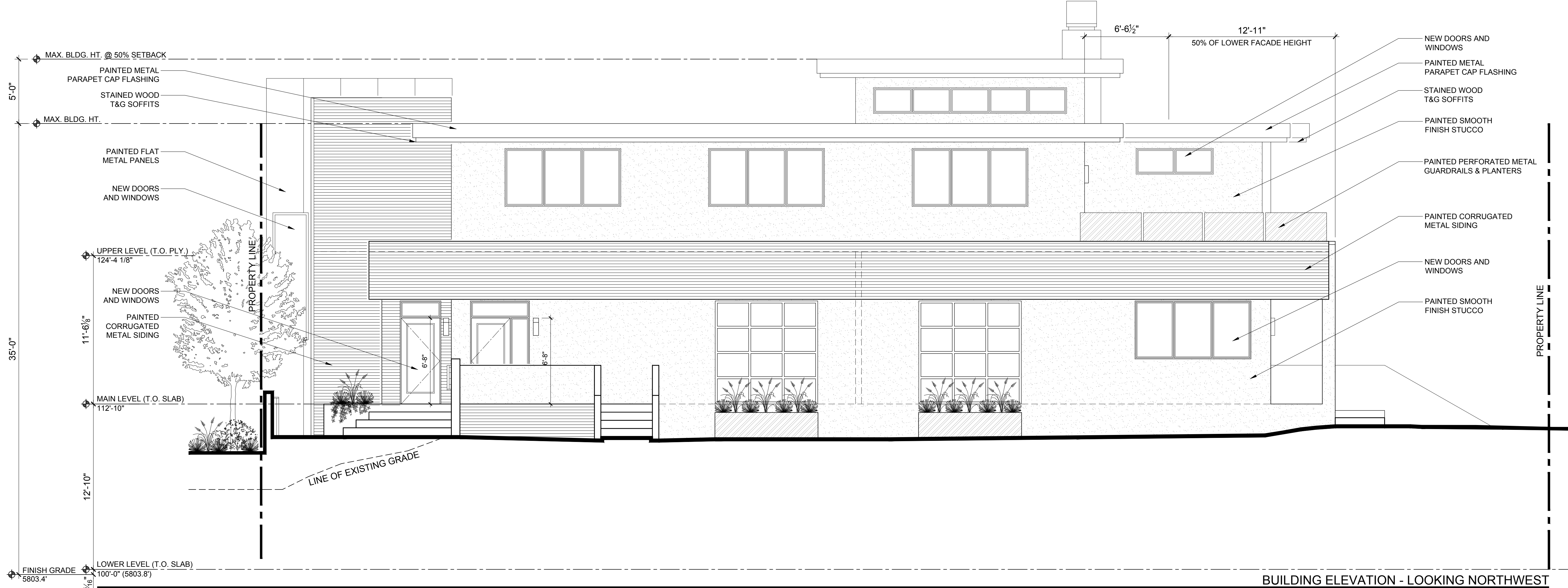


**EIGHTH & WASHINGTON BUILDING**  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING	
BUILDING ELEVATIONS - EXISTING	
SCALE: 1/2" = 1'-0"	
0 2 4	
DWG. #	

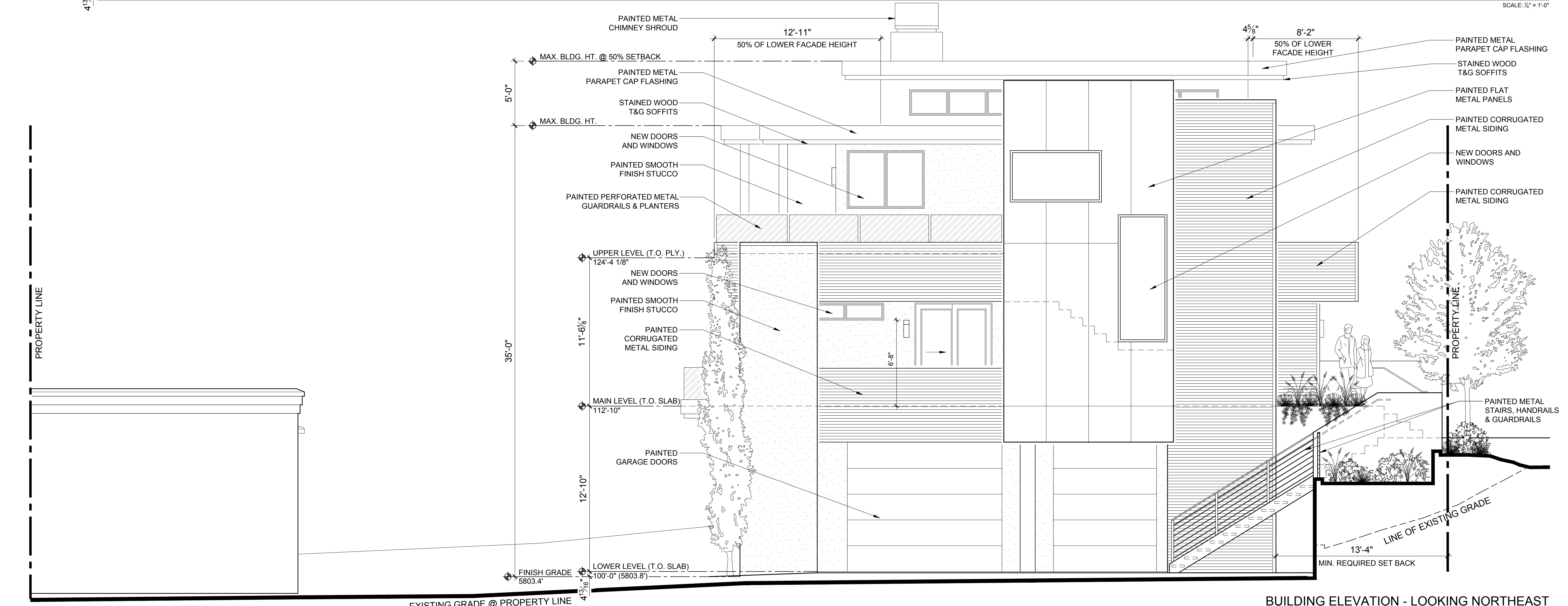
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BUILDING ELEVATION - LOOKING NORTHWEST

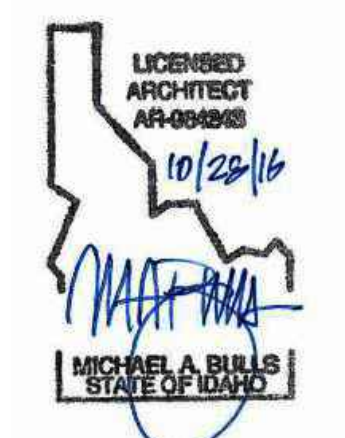
SCALE: 1/2" = 1'-0"



BUILDING ELEVATION - LOOKING NORTHEAST

SCALE: 1/2" = 1'-0"

ISSUED	2016.10.14	DESIGN REVIEW
	2016.10.28	DESIGN REVIEW REVISIONS



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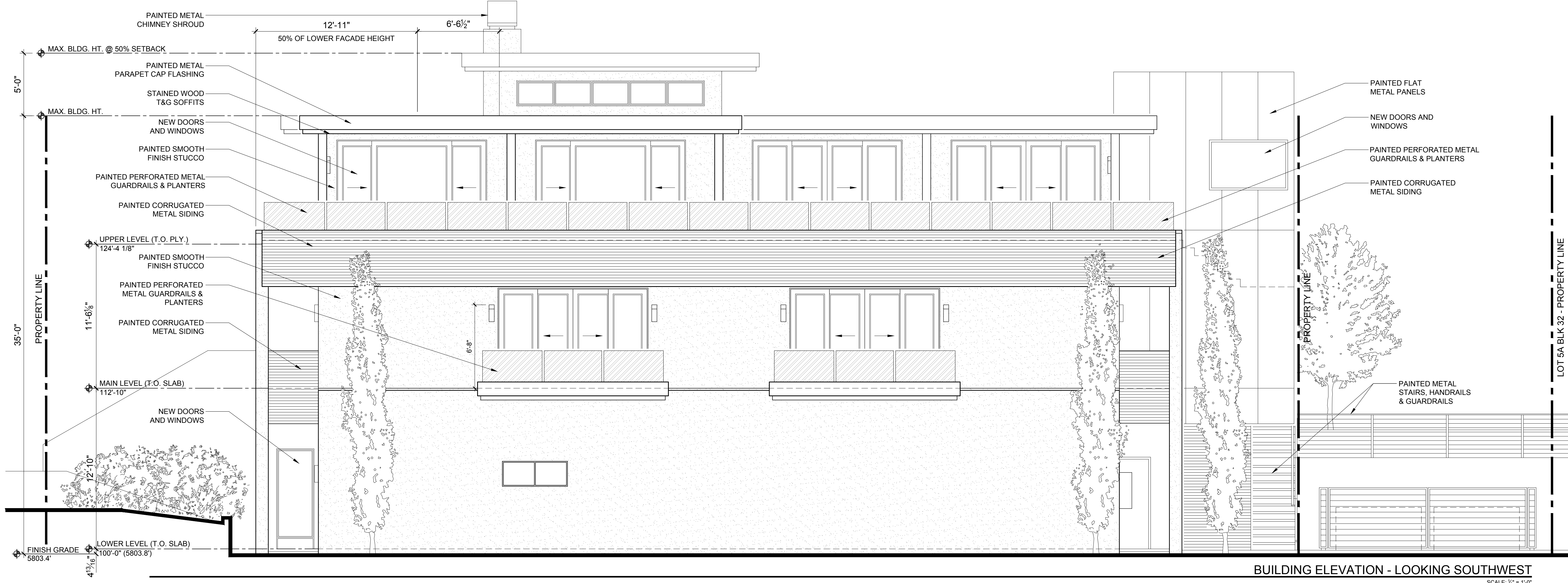
**EIGHTH & WASHINGTON BUILDING**  
 191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING  
 BUILDING ELEVATIONS - NEW WORK  
 SCALE: 1/2" = 1'-0"  
 DWG. #

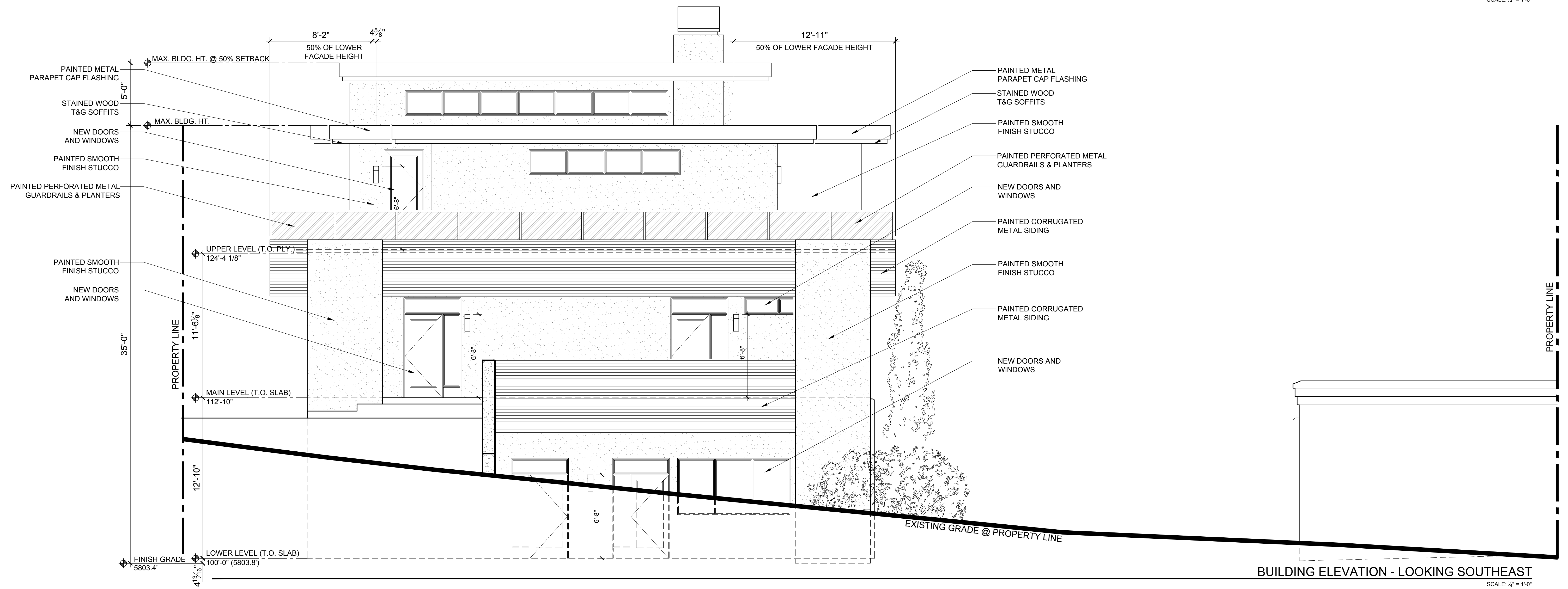
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2016.10.28	DESIGN REVIEW REVISIONS

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**BUILDING ELEVATION - LOOKING SOUTHWEST**  
SCALE: 1/2" = 1'-0"



**BUILDING ELEVATION - LOOKING SOUTHEAST**  
SCALE: 1/2" = 1'-0"

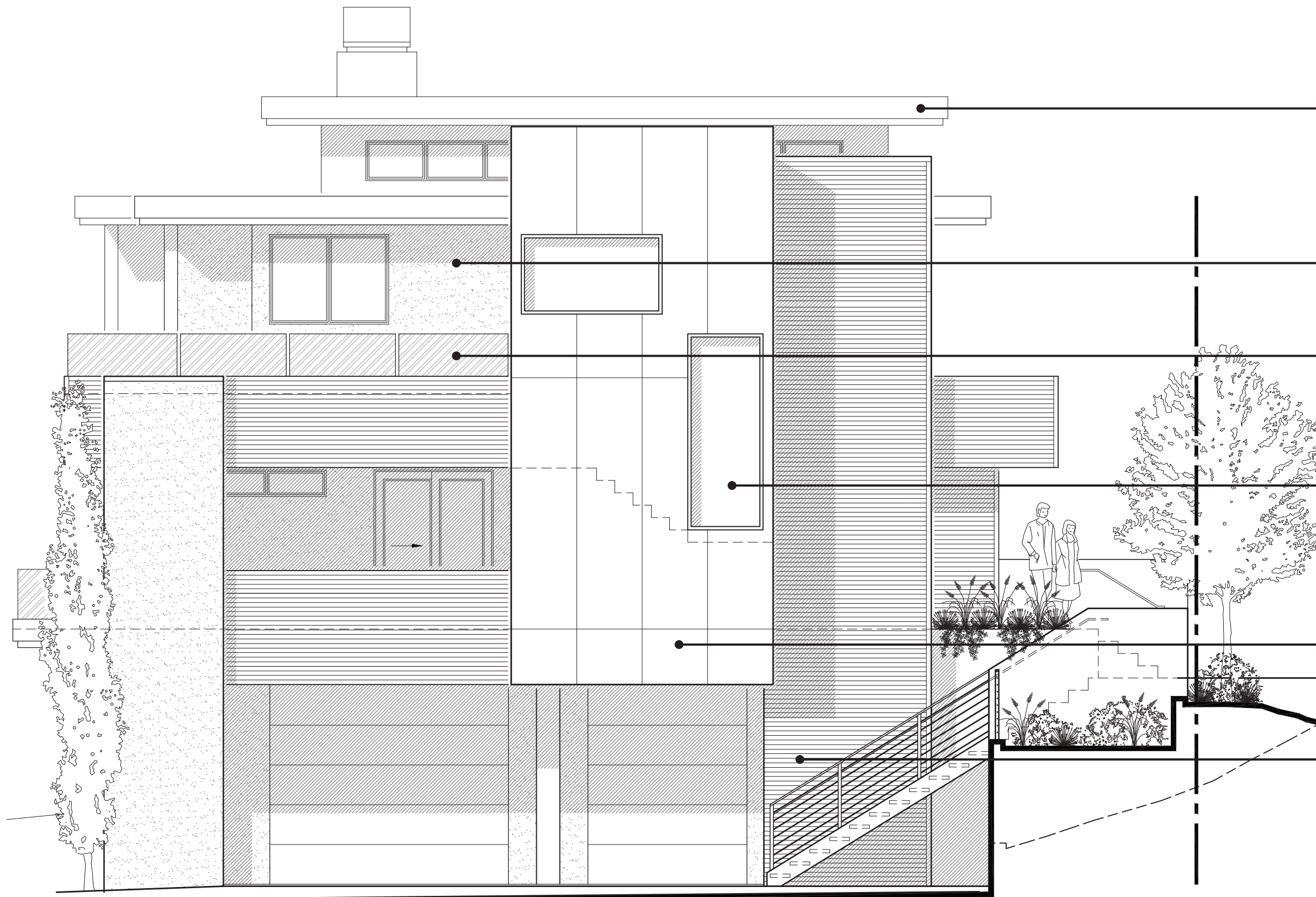


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**EIGHTH & WASHINGTON BUILDING**  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING
BUILDING ELEVATIONS - NEW WORK
SCALE: 1/2" = 1'-0"
0 2 4
DWG. #

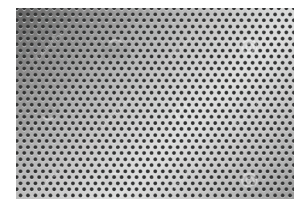
**A 5.1**



METAL FLASHINGS,  
PARAPET CAPS &  
RAILINGS  
MIDNIGHT BRONZE



STUCCO & GARAGE  
DOORS  
BENJAMIN MOORE -  
CASTLE WALLS 1573



METAL GUARDRAILS &  
PLANTERS  
LIGHT GREY PERFORATED



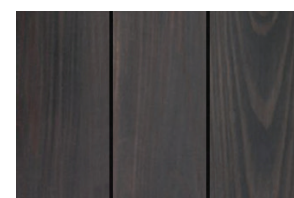
DOORS AND WINDOWS  
MILGARD - BLACK BEAN



FLAT METAL PANELS  
LIGHT GREY PATINA



CORRUGATED METAL  
SIDING  
MIDNIGHT BRONZE

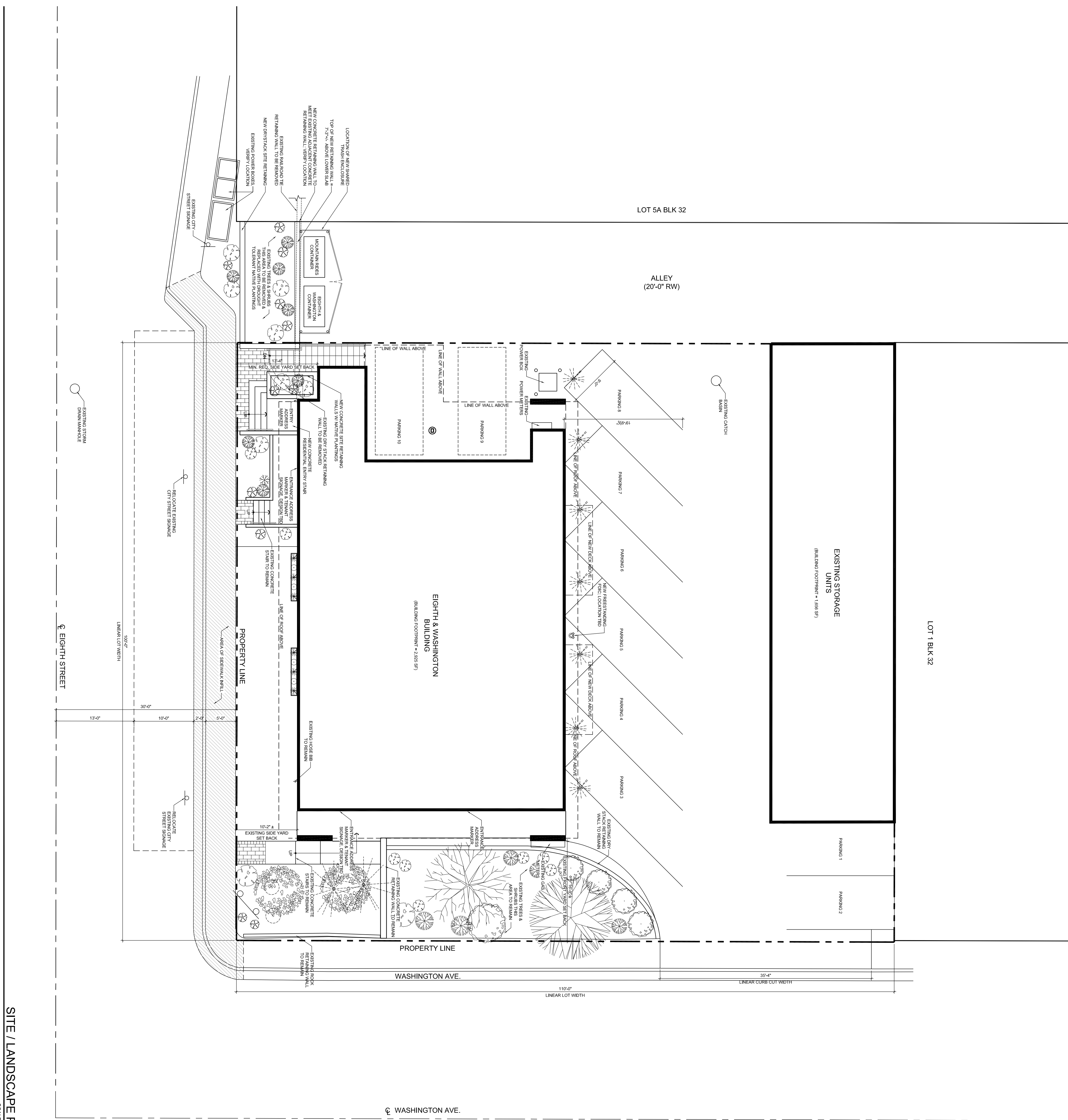


WOOD T&G SOFFIT  
SEMI-TRANSPARENT BLACK

ELEVATION LOOKING NORTHEAST

SCALE: 3/16" = 1'-0"

DESIGN REVIEW REVISIONS: 10.28.2016



LEGEND	
	EXISTING TREE TO BE REMOVED
	EXISTING SHRUBS TO BE REMOVED
	EXISTING EVERGREEN TREE TO REMAIN
	EXISTING DECIDUOUS TREE TO REMAIN
	EXISTING SWISSHED ASPEN TO REMAIN
	EXISTING SHRUBS TO REMAIN
	NEW AUTUMN BURNING SHRUB
	NEW PRONTOUC TO ENHANT NATIVE PLANTINGS
NOTE: ALL NEW VEGETATION TO BE PER PERKINSON	
TABLE: 2016.11.08	

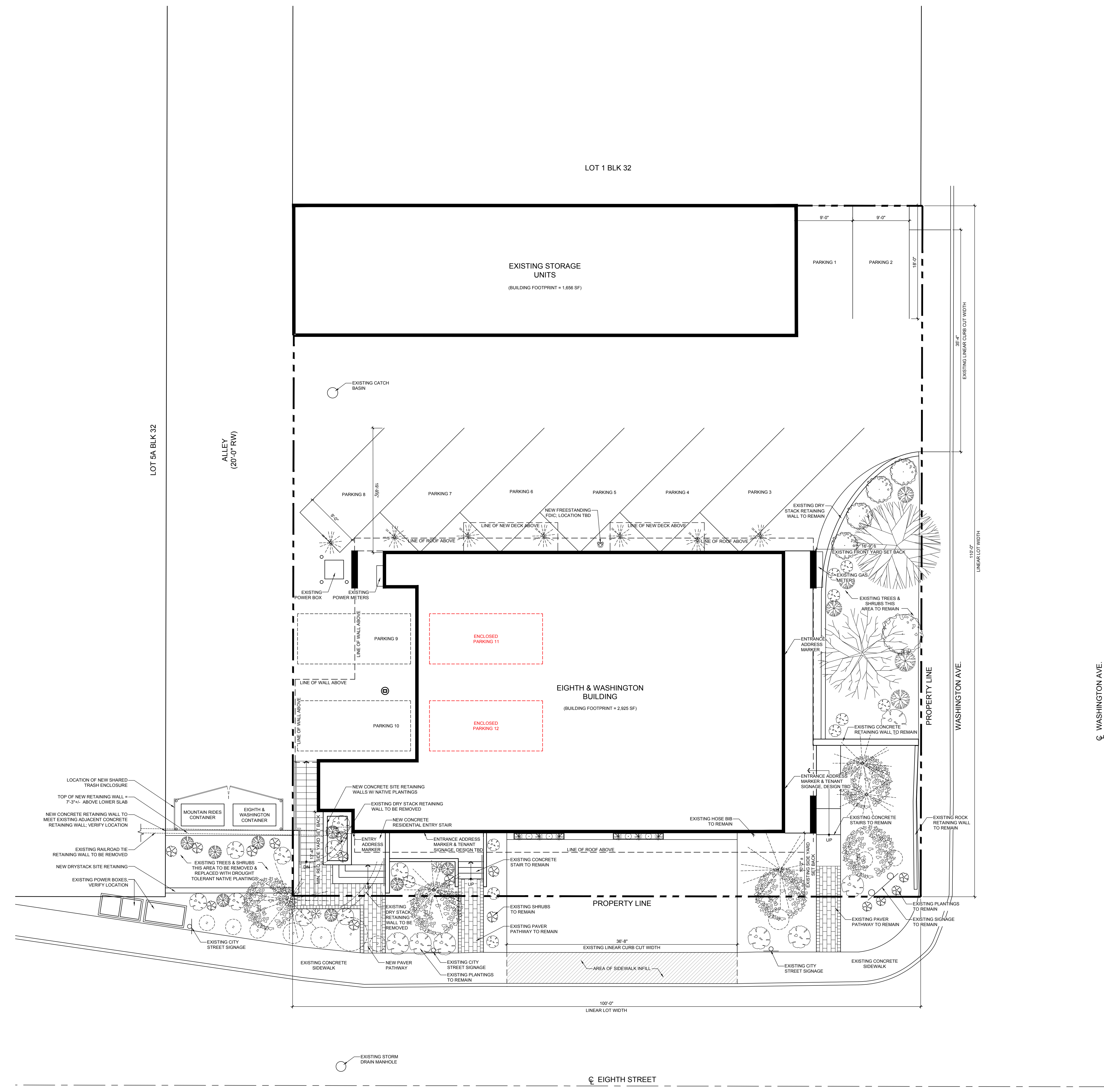
ISSUED	DESIGN REVIEW
2016.10.14	2016.10.28
2016.11.08	2016.11.08

**RLB**  
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 ARCHITECTURA P.A.  
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**EIGHTH & WASHINGTON BUILDING**  
 191 EAST EIGHTH STREET\_KETCHUM, IDAHO

DRAWING  
 SITE / LANDSCAPE PLAN  
 SCALE: 1/8" = 1'-0"  
 0 4 8  
 DWG. #  
**A1.1**

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**LEGEND**

- EXISTING TREE TO BE REMOVED
- EXISTING SHRUBS TO BE REMOVED
- EXISTING EVERGREEN TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING SWEDISH ASPEN TO REMAIN
- EXISTING SHRUBS TO REMAIN
- NEW AUTUMN BLAZE MAPLE
- NEW DROUGHT TOLERANT NATIVE PLANTINGS

\*NOTE: ALL NEW IRRIGATION TO BE DRIP IRRIGATION WITH MOISTURE SENSORS

**ISSUED**

2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS
2016.11.08	REVISED OFF STREET PARKING



**EIGHTH & WASHINGTON BUILDING**  
 191 EAST EIGHTH STREET, KETCHUM, IDAHO

**DRAWING**

SITE / LANDSCAPE PLAN

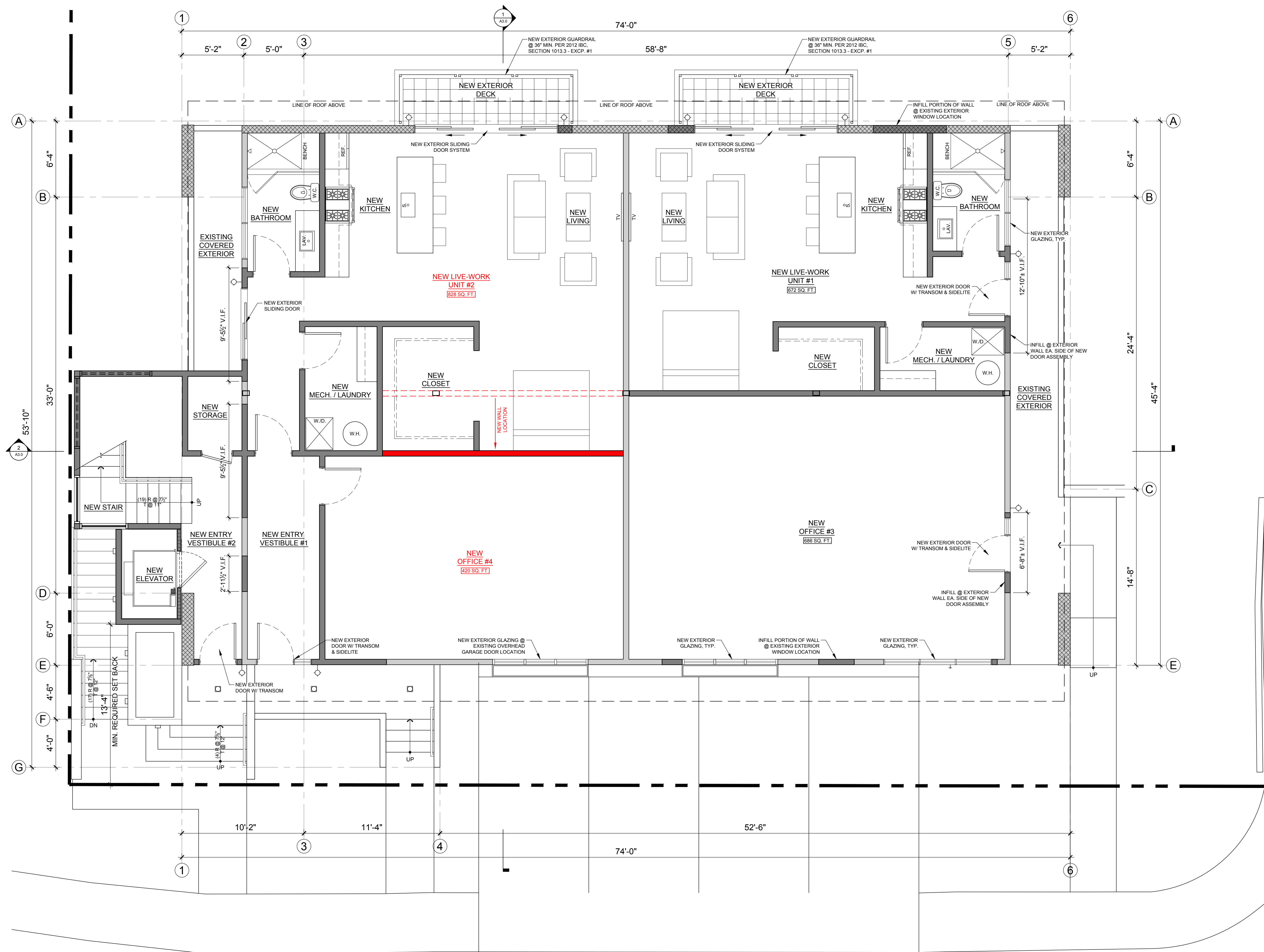
SCALE: 1/4" = 1'-0"

DWG. #

**SITE / LANDSCAPE PLAN**  
 SCALE: 1/4" = 1'-0"

**A1.1**

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WALL LEGEND	
	WALL TO BE REMOVED
	EXISTING WOOD STUD WALL
	EXISTING MASONRY WALL
	EXISTING CONCRETE WALL
	NEW 2X4 WOOD STUD WALL
	NEW 2X6 WOOD STUD WALL
	NEW MASONRY WALL TO MATCH EXISTING

EXTERIOR LIGHTING LEGEND	
	SURFACE MOUNT SCONCE PARTIALLY SHIELDED 1,000 LUMENS MAX (1-40W INCAND. OR EQ.) HANNIBERTON STUDIOS SHORT SQUARE MESH COVER SCONCE (16 FIX. TOTAL)
	RECESSED SOFFIT FULL CUT-OFF DOWNLIGHT 35 WATT MR16 CONTRAST LIGHTING 7400U (OR SIM.) (20 FIX. TOTAL)
	RECESSED STEP FULL CUT-OFF DOWNLIGHT WAC LIGHTING 4011 RECTANGLE LED STEP LIGHT (OR SIM.) (8 FIX. TOTAL)

ISSUED	
2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS
2016.11.08	REVISED OFF STREET PARKING

WASHINGTON AVE.

EIGHTH STREET

MAIN LEVEL FLOOR PLAN - NEW WORK

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**EIGHTH & WASHINGTON BUILDING**  
 191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING	
MAIN LEVEL FLOOR PLAN - NEW WORK	
SCALE: 1/4" = 1'-0"	
DWG. #	

A 3.1

**EIGHTH and WASHINGTON BUILDING**

KETCHUM, IDAHO

**BUILDING COVERAGE CALCULATION:****17.124.020: RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:**

#3. Up to 50% of any light industrial building may be devoted to dwelling units, unless otherwise specified.

#5. Dwelling units shall be a minimum of four hundred square feet and shall not exceed one thousand square feet total and shall contain no more than two bedrooms, unless otherwise specified.

**COMMERCIAL SQ. FTG.**

LOWER LEVEL:	NEW MEETING ROOM	329 SF
	NEW OFFICE #1	428 SF
	NEW OFFICE #2	180 SF
	EXISTING STORAGE #1	898 SF
	EXISTING STORAGE #2	729 SF
	EXISTING COVERED EXTERIOR	284 SF

MAIN LEVEL:	NEW OFFICE #3	686 SF
	<b>NEW OFFICE #4</b>	<b>420 SF</b>
	NEW COMMERCIAL CIRCULATION	51 SF

**TOTAL COMMERCIAL GSF: 4,005 SF**

**RESIDENTIAL SQ. FTG.**

LOWER LEVEL:	NEW RESIDENTIAL CIRCULATION	92 SF
--------------	-----------------------------	-------

MAIN LEVEL:	NEW LIVE WORK RESIDENTIAL UNIT #1	672 SF
	<b>NEW LIVE WORK RESIDENTIAL UNIT #2</b>	<b>828 SF</b>
	NEW RESIDENTIAL CIRCULATION / OTHER	268 SF

UPPER LEVEL:	NEW RESIDENTIAL UNIT #3	1,000 SF
	NEW RESIDENTIAL UNIT #4	692 SF
	NEW RESIDENTIAL CIRCULATION / OTHER	375 SF

**TOTAL RESIDENTIAL GSF: 3,927 SF**

**AREA OF BUILDING**

TOTAL GSF: 7,932 SF

TOTAL ALLOWABLE DEVOTED TO RESIDENTIAL: 3,966 SF MAX.

**TOTAL PROPOSED RESIDENTIAL: 3,927 SF**



**RUSCITTO**  
ARCHITECTURA P.A.

**LATHAM BLANTON**

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www.rlb-sv.com  
p.o. box 419 83353  
sun valley, idaho



**EIGHTH and WASHINGTON BUILDING**  
KETCHUM, IDAHO

**PARKING CALCULATION:**

**17.125.050: OFF STREET PARKING AND LOADING CALCULATIONS:**

C. Area Measurements: Unless otherwise specifically noted, all square footage based parking and loading standards are to be computed on the basis of gross floor area.

OFF STREET PARKING MATRIX

Residential units, industrial districts: 1 space per bedroom  
Office, industrial districts: 1 space per 250 gross square feet

**OFFICE PARKING**

LOWER LEVEL: NEW MEETING ROOM 329 SF  
NEW OFFICE #1 428 SF  
NEW OFFICE #2 180 SF

MAIN LEVEL: NEW OFFICE #3 686 SF  
NEW OFFICE #4 420 SF

**TOTAL OFFICE @ 1 SPACE PER 250 GFS: 2,043 SF / 250 = 8 SPACES**

**RESIDENTIAL PARKING**

MAIN LEVEL: NEW LIVE WORK RESIDENTIAL UNIT #1 1 SPACE  
NEW LIVE WORK RESIDENTIAL UNIT #2 1 SPACE

UPPER LEVEL: NEW RESIDENTIAL UNIT #3 1 SPACE  
NEW RESIDENTIAL UNIT #4 1 SPACE

**TOTAL RESIDENTIAL @ 1 SPACE PER BEDROOM: 4 SPACES**

**TOTAL PARKING**

**TOTAL REQUIRED: 12 SPACES**

**TOTAL OFF STREET PARKING SPACES PROVIDED: 12 SPACES**



City of Ketchum  
Planning & Building

STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
REGULAR MEETING OF November 28, 2016

- PROJECT:** 191 East 8<sup>th</sup> Street (Eighth and Washington Building)
- FILE NUMBER:** #16-084
- OWNERS:** Doug Webb
- REPRESENTATIVE:** Michael Bulls (Ruscitto Latham Blanton P.A.)
- REQUEST:** Design Review approval for adding four (4) residential units to existing commercial uses in the Light Industrial District Number 1 (LI-1).
- LOCATION:** 191 East 8<sup>th</sup> Street C  
(Eighth & Washington Bldg. Condo; Lot 2A, Block 22 Ketchum Townsite)
- ZONING:** Light Industrial District Number 1 (LI-1)
- OVERLAY:** None
- NOTICE:** Notice was mailed to Property owners within 300 foot radius of subject property were mailed notice on October 21, 2016. Notice was posted in three public City locations on October 21, 2016.
- REVIEWER:** Carl Anderson, Associate Planner

INTRODUCTION

The site property is located in the Light Industrial District Number 1 (LI-1). The site contains one existing two-story building, located at 191 East 8<sup>th</sup> Street (Ketchum lot 2A, Block 22). The applicant is proposing to construct a third floor addition to the existing structure, with the intent to add four residential units to the existing commercial uses on site.

The lower level of the building will contain a combination of office space, a meeting room and two (2) parking spaces. The main floor will contain two (2) office spaces on the south side (8<sup>th</sup> Street) of the building, and two (2) live-work units on the north side of the property. The third floor of the building will contain two (2) residential units.

ANALYSIS

The purpose of Design Review is to maintain and enhance appearance, character, beauty and function of the city, to ensure that new development is complementary to the design of existing city neighborhoods and to protect and enhance the economic base of the City of Ketchum. Keeping in mind the purpose of this chapter

and the application of the evaluation standards. Design Review approval may be granted by the Commission only if the applicant demonstrates that:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to all applicable standards and criteria as set forth in this chapter, 17.96: Design Review, and any other standards as adopted or amended by the City of Ketchum from time to time.

As demonstrated in Attachment C, staff believes the applicant has addressed all of the Design Review standards. Should the Commission agree the Commission may allow the applicant to move forward with Design Review and may attach additional conditions to approval as it determines necessary to ensure the health, safety, or welfare of the public. All conditions must cite the appropriate standard for imposing such condition. Such conditions include, but are not limited to:

1. Ensuring compliance with applicable standards.
2. Requiring conformity to approved plans and specifications.
3. Requiring security for compliance with the terms of the approval.
4. Minimizing adverse impact on other development.
5. Controlling the sequence, timing and duration of development and ongoing maintenance.
6. Requiring more restrictive standards than those generally found in the Ketchum Municipal Code.

#### STAFF RECOMMENDATION

Staff recommends approval of the application and supporting plans as presented.

#### COMMISSION OPTIONS

1. **Denial of the Application:** “Motion to deny the application from owner Doug Webb and representative Ruscitto Latham Blanton for Design Review application for a third floor addition to the existing 191 East 8<sup>th</sup> Street Building, to be used as residential space and commercial/office, finding the application **does not** meet the standards for approval under Chapter 17.96 of Ketchum Zoning Code Title 17, for the following reasons: [cite findings for denial].”
2. **Approval of the Application:** “Motion to approve the application from owner Doug Webb and representative Ruscitto Latham Blanton for Design Review for a third floor addition to the existing 191 East 8<sup>th</sup> Street Building, to be used as residential space, finding the application meets the standards for approval under Chapter 17.96 of Ketchum Zoning Code Title 17 with the following conditions: [insert conditions of approval here]”
3. **Continuation of the Application:** “Motion to continue the application from owner Doug Webb and Representative Ruscitto Latham Blanton to a date certain of [insert date of meeting].”

#### RECOMMENDED CONDITIONS

Ketchum City Engineer, Streets, Utilities, Fire and Building Department requirements shall be met, including:

1. All departmental conditions as described in Table 1.
2. All building and fire code requirements as dictated by 2012 family of international building codes shall apply to all construction onsite.
3. Per Title 17, Section 17.96.090: TERM OF APPROVAL: The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations; and
4. This Design Review approval is based on representations made and other components of the application presented and approved at the meeting on November 28<sup>th</sup>, 2016.
5. In lieu of providing permanent snow storage on site, temporary snow storage is provided and all snow will be hauled from site.

**ATTACHMENTS:**

- A. Table 1. Requirements for All Applications
- B. Table 2. Zoning Standards Analysis
- C. Table 3. Design Review Standards
- D. Table 4. Standards for Residential, Light Industrial Districts
- E. Application
- F. Plans
  - a. Design Review submittal dated October 28, 2016  
(Omit pages A1.1 & A3.1. See revisions)
  - b. Materials Board, dated October 28, 2016
  - c. Revised Site-Landscape Plan A1.1, dated November 08, 2016
  - d. Revised Site-landscape Plan A1.1, dated November 08, 2016  
(*For display of interior parking, not current landscape plan*)
  - e. Revised Main Level Floor Plan A3.1, dated November 08, 2016
  - f. Revised Coverage Calculations, dated November 08, 2016
  - g. Revised Parking Calculations, dated November 08, 2016

## Attachment A.

### Table 1: Requirements for All Applications

City Department Comments			
Compliant			
Yes	No	N/A	City Code      City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.040      Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Police Department:</b> None at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Fire Department:</b> The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.</p> <p><b>IF</b> a monitored fire detection system exists or is installed, it shall meet NFPA 72 and be monitored by an approved alarm monitoring station. An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department.</p> <p>Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.</p> <p>Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A <b>minimum</b> twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.</p> <p>An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (<a href="http://www.ketchumfire.org">www.ketchumfire.org</a>) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. <b>Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements.</b> Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.</p> <p>NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshals office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.</p> <p>The existing required fire sprinkler system shall be modified by a licensed fire sprinkler contractor to meet the current requirements of NFPA 13. All areas are required to be covered with fire sprinklers.</p> <p>An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (<a href="http://www.ketchumfire.org">www.ketchumfire.org</a>) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.</p> <p>An approved access roadway per 2012 International Fire Code Appendix D (<a href="http://www.ketchumfire.org">www.ketchumfire.org</a>) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free,</p>

			<p>clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access.</p> <p>Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.</p> <p>An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.</p> <p>Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.</p> <p>An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at <a href="http://www.ketchumfire.org">www.ketchumfire.org</a>.</p> <p>Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at <a href="http://www.ketchumfire.org">www.ketchumfire.org</a>.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Public Works:</b> None at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Utilities:</b> The applicant may wish to purchase their own water meter. While the penthouse usage will be at a minimum the other uses in the building may change. No impact fee will need to be collected, only the meter charge of \$ 451.00. This is not a requirement.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Parks/Arborist:</b> Looks like all vegetation will be located on private property; however, to minimize line-of-sight obstruction at the NW corner of the intersection, I would suggest limiting the number of autumn blaze maple trees to one, removing the southern-most tree. That size tree will likely cause interference with the stop sign there and limit line-of-sight to the west. Planting only one tree there is more appropriate for grow space limitations.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Building:</b> None at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Planning and Zoning:</b></p> <ul style="list-style-type: none"> <li>• Comments are denoted throughout the staff report.</li> </ul>

**Attachment B.  
Table 2: Zoning Standards Analysis**

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Lot Area</b>
			<i>Staff Comments</i>	<b>Required:</b> 8,000 square feet minimum. <b>Existing:</b> The lot is 0.25 acres or 10,997 square feet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030 & 17.128.020.C	<b>Setbacks and Supplementary Yard Requirements</b>
			<i>Staff Comments</i>	The existing building has a non-conforming front setback of 16'-9" from Washington Avenue; this existing setback will be maintained. The existing building has a non-conforming side yard setback of 10'-2" from Eighth Street. Side setbacks on corner lots are required to be no less than 2/3 of the required front setback, therefore, a 13'-4" side yard setback from Eighth Street is required; the applicant proposes a new 13'-4" conforming setback from Eighth Street. The required interior side and rear setbacks are met.  Front (Washington Avenue): Required: 20'-0" Existing: 16'-9" Proposed: 16'-9"  Side – Corner Yard (Eighth Street): Required: 13'-4" Existing: 10'-2" Proposed: 13'-4"  Side – Interior: Required – 0" Existing – 0" Proposed - 0"  Rear (Alley): Required – 0" Existing – 0" Proposed – 0"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Building Coverage</b>
			<i>Staff Comments</i>	Permitted: 75% Proposed: 41.62% The lot is 10,997 square feet and 4,577 square feet of building coverage is proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Building Height</b>
			<i>Staff Comments</i>	<b>Required:</b> Maximum building height permitted in the LI-1 is 35', but a 5' increase in height is permitted when the maximum vertical distance from the lowest exposed finished floor to the highest point of the roof shall be no more than five feet (5') greater than the maximum height permitted in the zoning district. <b>Proposed:</b> The highest point of the proposed addition is 40'-0". The portion of the building that is 40'-0" in height is stepped back thirteen-feet and four-inches (13'-4") on the south side (8 <sup>th</sup> street) and meets eligibility requirements for the 5' height increase.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.125.030.H</b></p> <p><i>Staff Comments</i></p>	<p><b>Curb Cut</b></p> <p><b>Required:</b>  <b>17.125.030: Off Street Parking Space</b>  <i>H. A maximum of thirty five percent (35%) of the linear footage of any street frontage can be devoted to access to off-street parking. Corner lots that front two (2) or more streets may select either or both streets as access but shall still not devote more than thirty five percent (35%) of the total linear footage of street frontage to access to off-street parking.</i></p> <p><b>Proposed:</b>  <i>The linear footage of street frontage is 210'-0".</i>  <i>Eighth Street:110'-0"</i>  <i>Washington: 110'-0"</i>  <i>The proposed curb cut will be 35'-4" along Washington Avenue, equating to 16.7%.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.125.020.A.2 &amp; 17.125.050</b></p> <p><i>Staff Comments</i></p>	<p><b>Parking Spaces</b></p> <p><b>Required:</b>  <i>The off street parking standards apply when an existing structure or use is expanded or enlarged. Additional off street parking spaces shall be required only to serve the enlarged or expanded area, not the entire building or use.</i></p> <p><i>Office, Industrial Districts: One (1) space per 250 gross square feet.</i></p> <p><i>Residential Units, Industrial Districts: One (1) space per bedroom.</i></p> <p><b>Office Parking</b>  <i>Lower Level: New Meeting Room:329sf</i>  <i>    New Office #1:428 sf</i>  <i>    New Office #2:180 sf</i>  <i>Main Level: New Office #3:686 sf</i>  <i>    New Office #4:420 sf</i>  <i>Total office parking: 2,043 sf/ 250 = 8 spaces</i></p> <p><b>Residential Parking</b>  <i>Main Level: New Live work residential unit #1: 1 space</i>  <i>    New Live work residential unit #2: 1 space</i>  <i>Upper Level: New residential unit #3: 1 space</i>  <i>    New residential unit #4: 1 space</i></p> <p><i>This project requires 12 off-street parking spaces.</i></p> <p><b>Proposed:</b>  <i>The applicant is proposing two (2) additional off-street parking spaces to meet the need of the expanded area.</i></p> <p><i>The applicant will have a total of twelve (12) parking spaces located on-site.</i>  <i>Existing off-street parking: 10 spaces</i>  <i>Proposed: 12 spaces</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.125.050</b></p> <p><i>Staff Comments</i></p>	<p><b>Off Street Parking and Loading Areas</b></p> <p><b>Required:</b>  <i>In the LI-1, LI-2 and LI-3 districts, off street loading areas (containing 180 square feet with no 1 dimension less than 10 feet) shall be required as an accessory use for new construction or major additions involving an increase in floor area, as follows: One off street loading space for floor area in excess of two thousand (2,000) square feet, provided no loading space occupies any part of a public street, alley, driveway or sidewalk; except, that where practicable to do so, an alley may be used in lieu of the requirement of this section if prior permission is granted by the commission.</i></p>



				<p><b>Proposed:</b>  <i>The increase in floor area and addition will be used for residential and lifework units, therefore off-street loading spaces are not required. However, if the commission feels that they must meet the loading requirements then staff recommends that the commission grant permission to the applicant to use the alley adjacent to the property for off-street loading use.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.18.140, 17.12.020, &amp; 17.08.020</b></p>	<p><b>Zoning Matrix &amp; Definitions</b></p>
			<p><i>Staff Comments</i></p>	<p>17.18.140 - A.  <b>Purpose.</b> <i>The LI-1 light industrial district number 1 is established as a transition area providing limited commercial service industries, limited retail, small light manufacturing, research and development, and offices related to building, maintenance and construction and which generate little traffic from tourists and the general public. (Ord. 1135, 2015)</i></p> <p>17.12.020  <b>Dwelling, multi-family:</b>  Multi-family dwelling units are allowed in the LI-1 district with a conditional use permit. See section 17.124.090 for development standards for industrial district residential.  <b>Proposed:</b>  <i>The applicant is proposing to construct a third floor addition to the existing structure, with the intent to add four total residential units to the existing commercial uses on site.</i></p> <p>17.08.020 – Definitions  <b>Mixed Use:</b> Properties on which various uses, such as office, commercial, institutional, and residential, are combined in a single building or on a single site in an integrated development project with significant functional interrelationships and a coherent physical design.</p> <p><b>Dwelling, multi-family:</b> A building, under single or multiple ownership, containing two (2) or more Dwelling Units used for Residential Occupancy.</p>

## Attachment C.

Table 3: Design Review Standards for all projects

IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	<b>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</b>
			<i>Staff Comments</i>	<i>The property is currently served by a public road. The applicant will provide any additional necessary connections from the city street to the development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(2) Streets	<b>All street designs shall be approved by the City Engineer.</b>
			<i>Staff Comments</i>	<i>The applicant has coordinated with the Public Works Director/ City Engineer on street design. The applicant will bring the sidewalk along East 8<sup>th</sup> Street into conformance with the existing right-of-way standards, resulting in the removal of the four (4) perpendicular parking spaces along 8<sup>th</sup> street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	<b>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</b>
			<i>Staff Comments</i>	<i>Sidewalks currently serve the site on East 8<sup>th</sup> Street and Washington. The applicant will reconstruct the sidewalks to meet current standards as necessary, and as approved by the City Engineer / Public Works Director. The applicant proposes to reconstruct the sidewalk on East 8<sup>th</sup> Street to bring the sidewalk into conformance with current City of Ketchum right-of-way standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(2)c	<b>Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</b>
			<i>Staff Comments</i>	<i>Sidewalks will be constructed to conform to City’s right-of-way standards, subject to modifications as approved by the City Engineer / Public Works Director. The applicant has coordinated with the City Engineer / Public Works Director to reconfigure the sidewalk along East 8<sup>th</sup> Street, and has proposed to bring the sidewalk into conformance with City of Ketchum right-of-way standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(3)	<b>Sidewalks may be waived if one of the following criteria is met:</b> <ol style="list-style-type: none"> <li>a. The project comprises an addition of less than 250 square feet of conditioned space.</li> <li>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</li> </ol>
			<i>Staff Comments</i>	<i>Neither criteria a. nor b. are applicable due to the size and scale of the proposed development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<i>Staff Comments</i>	<i>All sidewalks meet this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			<i>Staff Comments</i>	<i>The proposed sidewalk along East 8<sup>th</sup> Street provides pedestrian connections to existing and future sidewalks adjacent to the site. There is currently no sidewalk across from the site along East 8<sup>th</sup> Street, as this site is eventually brought into conformance with the City of Ketchum right-of-way standards the sidewalks will be well connected. The proposed sidewalk design appears to provide safe pedestrian access to and around the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(6)	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these</b>

				<p>improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</p> <p><i>Staff Comments</i> Staff does not recommend a contribution in-lieu for this project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	<p>All storm water shall be retained on site.</p> <p><i>Staff Comments</i> The applicant proposes that all roof drains are plumbed internally to existing drain well/dry well system.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	<p>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</p> <p><i>Staff Comments</i> All existing drainage improvements meet this requirement.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	<p>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</p> <p><i>Staff Comments</i> Additional drainage improvements are not recommended at this time. The proposed third floor addition does not significantly increase the impervious surface on-site. The site is currently served by an existing drain well/dry well system.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	<p>Drainage facilities shall be constructed per City standards.</p> <p><i>Staff Comments</i> Existing drainage facilities meet this requirement.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	<p>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</p> <p><i>Staff Comments</i> The applicant is aware of this requirement and the plans show electric and gas utility locations.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	<p>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</p> <p><i>Staff Comments</i> The site is currently served by utilities that have been located underground and/or concealed from public view.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	<p>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</p> <p><i>Staff Comments</i> No utility extensions are proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	<p>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</p> <p><i>Staff Comments</i> As indicated in the renderings, materials appear to be in keeping with the architecture and overall design of the surrounding properties.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(2)	<p>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</p> <p><i>Staff Comments</i> There are no identified landmarks on the property.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(3)	<p>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</p> <p><i>Staff Comments</i> The structure was built in after 1940.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	<p>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</p> <p><i>Staff Comments</i> The proposed East 8<sup>th</sup> Street staircase provides a direct path to the existing sidewalk at the southwest entrance of the building, providing access to the residential units on the main and upper floor, as well as the main level office space. The proposed Washington Street sidewalk contains clearly defined ramps from the north and south segments of sidewalk to the parking lot.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	<p>The building character shall be clearly defined by use of architectural features.</p>

		<p><b>Staff Comments</b></p>	<p><i>The southwestern façade, which fronts 8<sup>th</sup> Street, is linear in form, with the façade having a length that is approximately three times the height. The horizontal mass is broken up by metal siding, painted a dark, saturated grey-black Midnight Bronze color, which runs the length of the building.</i></p> <p><i>The main entrance of the building is located on the southwestern end of the south façade. The same Midnight Bronze painted metal siding, that defines the linearity of the façade, is repeated at southwest corner of the façade; at this corner the corrugated siding extends the full height of the façade, with the horizontal use of the siding complementing the vertical use of the siding. Glass windows and doors are located along the south façade and the majority of the glazing is accentuated by trim painted “Black Bean”, which complements the Midnight Bronze color as the corrugated metal siding. The stucco finish is painted a medium-grey hue, “Castle Walls”, which complements the Midnight Bronze accents. (Reference sheet A.5, “Building Elevation – Looking Northwest” and the Materials Board)</i></p> <p><i>The massing of the southwest facing façade, which fronts the alley, is horizontal in form. The horizontal mass is broken up by the definition of the three levels of the building - a lower level, a main level, and an upper level with two roof lines - and undulation in the façade on each level. The garage doors on the lower level are recessed, the main and upper level contain recessed outdoor spaces, and the upper roofline of the upper level is stepped back 50% of the lower façade height. The façade is further defined by the use of medium-grey Castle Wall painted smooth finish stucco, grey-black Midnight Bronze painted corrugated metal siding, and silver-grey painted flat metal panels. The materials visually break the façade into four horizontal columns. (Reference sheet A.5, “Building Elevation – Looking Northeast” and the Materials Board)</i></p> <p><i>The north façade, which faces the on-site parking area, is linear in form, approximately seventy-four feet (74’) in length, and utilizes a similar combination of architectural features and materials to break up the mass of the building. The majority of the lower and main levels will be finished with the painted smooth stucco finish. The lower level provides the least definition because the wall encloses the covered parking and storage area within the building. Two deck spaces for the live work units located on the main level of the building will serve to break of the vertical massing of the facade. Additionally, the lower and main levels are visually separated from the third floor addition by corrugated metal siding painted Midnight Bronze in color. The third floor of the building will have multiple windows and doors connecting the units to proposed new residential terrace, which will be lined with painted perforated guardrails and planters. Flat metal panels painted silver-grey clad the entire height of a horizontal feature at the northwest corner of the facade, which serve to tie the three levels of the structure together. (Reference sheet A 5.1, “Building Elevation – Looking Southwest”)</i></p> <p><i>The northwestern facing façade, which fronts Washington Avenue, is horizontal in form. As with the southwest façade, this façade is broken up by the definition of the three levels of the building, the upper level roof lines, and undulation provided by recessed outdoor spaces and the upper levels being stepped back from the main façade. The same combination of painted corrugated metal and smooth painted stucco present on the other facades is carried throughout. The upper level has a residential terrace which will be lined by painted perforated guardrails and planters. Doors will be located at the upper, main and lower levels, and windows placed at various points along the façade. (See sheet A.5.1, “Building Elevation – Looking Southeast”)</i></p>
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<i>Staff Comments</i>	<i>There appears to be a continuity of materials submitted by the applicant. The applicant has utilized darker industrial metal siding, flashings, parapet caps, railings, and perforated guardrails throughout the façade of the buildings. A series of lighter greys have been added to provide contrast to the building and break up the bulk of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>
			<i>Staff Comments</i>	<i>The proposed landscape features, which run along both East 8<sup>th</sup> Street and Washington Ave, provide a compliment to the principal building. The proposed landscape features consist of existing evergreen and deciduous trees, existing shrubs and bushes, and the addition of drought tolerant native plantings. The applicant states that all new irrigation to be drip irrigation with moisture sensors.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
			<i>Staff Comments</i>	<i>The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of bulk and flatness. The variation in material and material color palette provides depth to all facades of the building. Changes in roof height also serve to break up the bulk of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	<b>Building(s) shall orient towards their primary street frontage.</b>
			<i>Staff Comments</i>	<i>The front entrance of the building orients towards East 8<sup>th</sup> Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<i>Staff Comments</i>	<i>Plans indicate that garbage storage areas are indicated to be screened and enclosed at the southwest portion of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<i>Staff Comments</i>	<i>The design of the building is such that pedestrian gathering areas are covered by a slight roof overhang, or are located on the pedestrian walkway itself. The draining system of the building is plumbed internally.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<i>Staff Comments</i>	<i>There are multiple pedestrian access points which are located in such a way as to connect with existing sidewalks that run parallel to the subject property. Additionally, painted metal stairs connect the lower level of the building to the sidewalk located on East 8<sup>th</sup> Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<i>Staff Comments</i>	<i>Parking lot layout meets city standards for isle width and spaces, and will provide for adequate circulation within the site, and ingress/egress. The city Arborist has recommended that the applicant limit the number of autumn blaze maple trees to one, at the northwest corner of the lot, in order to minimize line-of-sight obstruction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</b>

			<i>Staff Comments</i>	<i>The location of the curb cut meets this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			<i>Staff Comments</i>	<i>The site can be accessed from Washing Avenue and a rear alleyway, providing unobstructed access for emergency vehicles, snowplows, and garbage trucks.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			<i>Staff Comments</i>	<i>The applicant is proposing 144 square feet of snow storage. The applicant states that all snow located in the designated snow storage area and additional snow to be hauled from site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	<b>Snow storage areas shall be provided on-site.</b>
			<i>Staff Comments</i>	<i>The applicant has satisfied this requirement. The two parking spaces located at the north side of the property have been designated as temporary snow storage areas. The applicant will haul snow from the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.</b>
			<i>Staff Comments</i>	<i>The proposed temporary snow storage area is nine feet (9') wide by sixteen feet (16') long for a total of one-hundred and forty-four 144 square feet. The applicant will haul snow from the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	<b>Landscaping is required for all projects.</b>
			<i>Staff Comments</i>	<i>Landscaping is provided and denoted in the landscaping plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<i>Staff Comments</i>	<i>The applicant has meet this requirement. See comment from the City Arborist.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b>
			<i>Staff Comments</i>	<i>Substantial landscaping is proposed on both the East 8<sup>th</sup> Street frontage and N Washington Avenue. The landscaping along East 8<sup>th</sup> Street also provides a buffer between the street and the enclosed garbage area located at the lower elevation on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(J)(1)	<b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b>
			<i>Staff Comments</i>	<i>No additional amenities are proposed.</i>

Attachment D.

Table 4: Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	<b>1. Dwelling units shall not occupy the ground floor.</b>
			<i>Staff Comments</i>	<i>There are no dwelling units proposed on the lower level. Two live-work residences are proposed on the main floor of the building, located on the north side of the building. The proposed live work residential unit #1 is 672sf and unit #2 is 828sf, with 268f of new residential circulation. Additionally, two residential units are proposed on the upper level of the building. The proposed residential unit #3 is 1,000sf and unit #4 is 629sf, with 275sf of new residential circulation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	<b>2. Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.</b>
			<i>Staff Comments</i>	<i>Design review under chapter 17.96 is required for this project as this is an addition to an existing building, to be used as mixed-use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	<b>3. Up to fifty percent (50%) of any light industrial building may be devoted to dwelling units, unless otherwise specified in the section.</b>
			<i>Staff Comments</i>	<i>The proposed gross square footage of the building is 7,932sf.</i>  <i>The applicant proposes devoting 49.5% of the building to residential use. The total residential square footage devoted to residential space is 3,927sf, of which 1,768sf is devoted to the two live-work units (including circulation) and 2,067sf is devoted to the third floor residential units (including circulation).</i>  <i>A total 4,005sf of the building is devoted to commercial storage, office space and meeting space, of which 2,848sf is located on the lower level and 1,157sf is located on the main level.</i>  <i>Note: Parking areas covered by a roof or portion of the building and enclosed on three (2) or more sides by building walls are included into the gross floor area calculation. See Ketchum code 17.08.020 Definitions: Floor Area, Gross for full definition.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	<b>4. Dwelling units shall be owner occupied or used for "long term occupancy", defined as a minimum of ninety (90) consecutive days, and shall not be separated in any manner for sale as individual units.</b>
			<i>Staff Comments</i>	<i>One of the proposed third floor residential units will be owner occupied, while the remaining three units shall be used for long term occupancy. The units will not be separated for sale as individual units.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	<b>5. Dwelling units shall be a minimum of four hundred (400) square feet and shall not exceed one thousand (1,000) square feet total and shall contain not more than two (2) bedrooms, unless otherwise specified in this section.</b>
			<i>Staff Comments</i>	<i>The proposed dwelling units are above the minimum of four hundred (400) square feet and do not exceed one thousand (1,000) square feet total. None of the proposed dwelling units contain more than two (2) bedroom units. See staff comments in section 17.124.090 A (1) for a breakdown of residential unit square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<b>6. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</b>
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (7)	<b>7. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</b>
			<i>Staff Comments</i>	<i>All persons who rent or sublet any residential living unit will notify the tenant, lessee or subtenant with written notice that the unit is located within the light industrial zone, and is therefore subordinate in nature to all legal light industrial activities.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<b>8. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or</b>

				structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone
			<i>Staff Comments</i>	<i>All future real estate agent, sales person, broker, and/or each private party who offers for rent or show any of the dwelling units located in the proposed building, will provide written notice that the building is located within such light industrial zone.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<b>9. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</b>
			<i>Staff Comments</i>	<i>The applicant will meet this requirement.</i>





City of Ketchum  
Planning & Building

**CERTIFIED  
COMPLETE**

10/2/16 KO

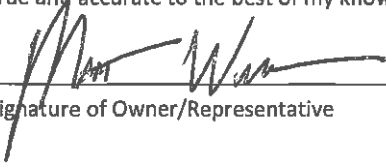
48

OFFICIAL USE ONLY
File Number: 16-084
Date Received: 10/1/16
By: Kawens
Pre Application Fee Paid:
Design Review Fee Paid: 2360
Approved Date:
Denied Date:
By:
ADRE: Yes <input type="checkbox"/>

**Design Review Application**

APPLICANT INFORMATION			
Project Name: Eighth And Washington Building		Phone: 208.720.8000	
Owner: Doug Webb		Mailing Address: P.O. Box 444 Sun Valley, Idaho 83353	
Email: dougwebb@webbland.com			
Architect/Representative: Michael Bulls, AIA (Ruscitto Latham Blanton P.A.)		Phone: 208.726.5608	
Email: mbulls@rlb-sv.com		Mailing Address: P.O. Box 419 Sun Valley, Idaho 83353	
Architect License Number: AR-984243			
Engineer of Record: Matthew Walker, P.E.		Phone: 208.726.5608	
Email: matt@rlb-sv.com		Mailing Address: P.O. Box 419 Sun Valley, Idaho 83353	
Engineer License Number: 12593			
All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.			
PROJECT INFORMATION			
Legal Land Description: Eighth & Washington Bldg Condo; Lot 2A, Block 32, Ketchum Townsite			
Street Address: 191 E. 8th Street			
Lot Area (Square Feet): 10,997 sf			
Zoning District: L1 - Light Industrial			
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain			
Type of Construction: <input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input checked="" type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: Mixed Use		Number of Residential Units: 4	
TOTAL FLOOR AREA			
	Proposed	Existing	
Basements		Sq. Ft.	Sq. Ft.
1 <sup>st</sup> Floor	91	Sq. Ft.	2,865
2 <sup>nd</sup> Floor	217	Sq. Ft.	2,706
3 <sup>rd</sup> Floor	2,067	Sq. Ft.	
Mezzanine		Sq. Ft.	
Total	2,375	Sq. Ft.	5,571
FLOOR AREA RATIO			
Community Core:		Tourist:	General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 72%			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 16'-9"	Side: 13'-4"	Side: N/A	Rear: 0'-0"
Building Height: 40'-0"			
OFF STREET PARKING			
Parking Spaces Provided: 14			
Curb Cut: Exist.	Sq. Ft.	35 max %	
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

  
\_\_\_\_\_  
Signature of Owner/Representative

  
\_\_\_\_\_  
Date

ISSUED	2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS	

# EIGHTH & WASHINGTON BUILDING

191 E. 8TH STREET

KETCHUM, IDAHO

OWNERSHIP OF DOCUMENTS: This document, and the ideas and designs incorporated herein, is an instrument of professional service, is the property of RUSCITTO LATHAM BLANTON ARCHITECTURE P.A., and is not to be used, in whole or in part, for any other project without written authorization of RUSCITTO LATHAM BLANTON ARCHITECTURE P.A.

## RESIDENTIAL AREA CALCULATION

COMMERCIAL SQ. FTG.		
LOWER LEVEL:	NEW MEETING ROOM:	329 SF
	NEW OFFICE #1:	428 SF
	NEW OFFICE #2:	180 SF
	EXISTING STORAGE #1:	898 SF
	EXISTING STORAGE #2:	729 SF
	EXISTING COVERED EXTERIOR:	284 SF
MAIN LEVEL:	NEW OFFICE #3:	686 SF
	NEW OFFICE #4:	521 SF
	NEW COMMERCIAL CIRCULATION:	51 SF
TOTAL COMMERCIAL:		4,106 SF

RESIDENTIAL SQ. FTG.		
LOWER LEVEL:	NEW RESIDENTIAL CIRCULATION:	92 SF
MAIN LEVEL:	NEW LIVE-WORK RESIDENTIAL UNIT #1:	672 SF
	NEW LIVE-WORK RESIDENTIAL UNIT #2:	726 SF
	NEW RESIDENTIAL CIRCULATION / OTHER:	268 SF
UPPER LEVEL:	NEW RESIDENTIAL UNIT #3:	1,000 SF
	NEW RESIDENTIAL UNIT #4:	692 SF
	NEW RESIDENTIAL CIRCULATION / OTHER:	375 SF
TOTAL RESIDENTIAL:		3,825 SF
AREA OF BUILDING:		7,931 SF
TOTAL ALLOWABLE RESIDENTIAL AREA:	3,965.5 SF MAX. (50% OF TOTAL BUILDING AREA) (CITY OF KETCHUM CODE, SECTION 17.124.090)	
TOTAL PROPOSED RESIDENTIAL AREA:		3,825 SF

## PARKING CALCULATION

OFFICE PARKING		
LOWER LEVEL:	NEW MEETING ROOM:	331 SF
	NEW OFFICE #1:	398 SF
	NEW OFFICE #2:	178 SF
MAIN LEVEL:	NEW OFFICE #3:	686 SF
	NEW OFFICE #4:	521 SF
TOTAL OFFICE @ 1 SPACE PER 250 GFS:		2,114 SF / 250 = 9 SPACES

RESIDENTIAL PARKING		
MAIN LEVEL:	NEW LIVE-WORK RESIDENTIAL UNIT #1:	1 SPACE
	NEW LIVE-WORK RESIDENTIAL UNIT #2:	1 SPACE
UPPER LEVEL:	NEW RESIDENTIAL UNIT #3:	1 SPACE
	NEW RESIDENTIAL UNIT #4:	1 SPACE
TOTAL RESIDENTIAL @ 1 SPACE PER BEDROOM:		4 SPACES
TOTAL REQUIRED PARKING SPACES:		13 SPACES
TOTAL EXISTING OFF STREET PARKING SPACES PROVIDED:		14 SPACES

## CURB CUT CALCULATION

LINEAR LOT WIDTH		LINEAR CURB CUT WIDTH	
EIGHTH STREET:	100'-0"	EIGHTH STREET:	36'-8"
WASHINGTON AVE.:	110'-0"	WASHINGTON AVE.:	35'-4"
TOTAL	210'-0"	TOTAL	72'-0"

TOTAL ALLOWABLE CURB CUT : 35%  
TOTAL EXISTING CURB CUT : 72 / 210 = 34.3%

## SNOW STORAGE CALCULATION

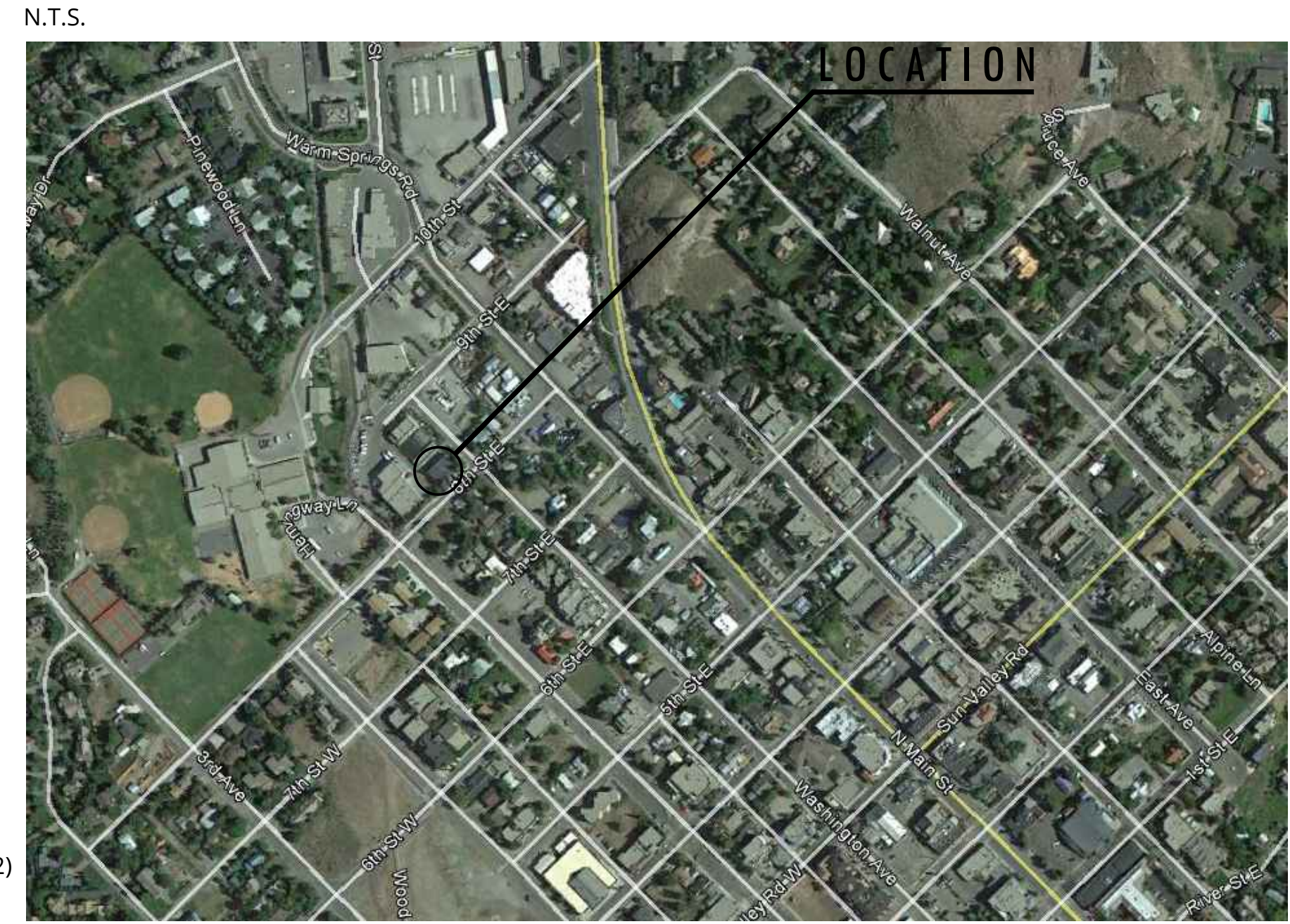
SNOW STORAGE:	150 SF PER .55' OF LINEAR LOT WIDTH (CITY OF KETCHUM CODE, SECTION 17.125.030 - M.)
LINEAR LOT WIDTH:	110'-0"
REQUIRED SNOW STORAGE:	150 SF X 2 = 300 SF MIN.
PROVIDED SNOW STORAGE:	166 SF (SEE A1.1 FOR LOCATION OF SNOW STORAGE @ EXISTING PARKING SPACE 12)

\* ADDITIONAL SNOW TO BE HAULED FROM SITE AS IS CURRENTLY AND PER KETCHUM CITY CODE 17.96.010.A - H. 4.

## PROJECT INFORMATION

OWNER	JULI & DOUGLAS WEBB PO BOX 444 SUN VALLEY, ID 83353
LEGAL DESCRIPTION:	EIGHTH & WASHINGTON BUILDING CONDO SECTION 13, T.4N., R.17E., B.M. CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PARCEL NUMBER:	RPK07620000000: EIGHTH & WASHINGTON BUILDING CONDO  RPK0762000000A0: 191 E. 8TH STREET A RPK0762000000B0: 191 E. 8TH STREET B RPK0762000000C0: 191 E. 8TH STREET C RPK0762000000D0: 831 N. WASHINGTON AVE. D
ZONING DISTRICT:	L-1 LIGHT INDUSTRIAL DISTRICT
APPLICABLE CODES:	2012 INTERNATIONAL BUILDING CODE (IBC) 2012 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2012 INTERNATIONAL FIRE CODE (IFC) 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) CITY OF KETCHUM CODE CITY OF KETCHUM CODE, SECTION 15.04.020 AMENDMENTS CITY OF KETCHUM CODE, SECTION 15.20 GREEN BUILDING CODE
PROJECT USE:	MIXED USE:  RESIDENTIAL: DWELLING / MULTI-FAMILY COMMERCIAL: OFFICE / BUISNESS
OCCUPANCY:	B BUSINESS R-2 RESIDENTIAL
OCCUPANCY SEPARATION:	B / R-2 1 HR. PER 2012 IBC TABLE 508.4 R-2 / R-2 ½ HR. PER 2012 IBC SECTIONS 708.3 & 711.3 R-2 / CORRIDOR ½ HR. PER 2012 IBC TABLE 1018.1
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	TO BE EQUIPPED THROUGHOUT WITH APPROVED NFPA13 AUTOMATIC FIRE SPRINKLER SYSTEM
LOT AREA:	10,997± SF (.25 ACRES±)
BUILDING COVERAGE:	2,925 SF (EIGHTH & WASHINGTON BLG. COVERAGE) 1,652 SF (STORAGE UNIT COVERAGE)  4,577 SF (TOTAL COVERAGE) / 10,997 SF (LOT AREA) X 100% = 41.62% (75% MAX PER CITY OF KETCHUM CODE, SECTION 17.12.030)
BUILDING HEIGHT:	40'-0" = 35'-0" + 5'-0" @ 50% SETBACK OF LOWER FACADE (CITY OF KETCHUM CODE, SECTION 17.08.020 "HEIGHT OF BUILDING")
PROPERTY SETBACKS:	FRONT YARD (WASHINGTON AVE.) 16'-9"± (20'-0" MINIMUM) SIDE YARD (EIGHTH ST. EXISTING) 10'-2"± (13'-4" MINIMUM) SIDE YARD (EIGHTH ST. NEW) 13'-4"± (13'-4" MINIMUM) REAR YARD (ALLEY) 0'-0"± ( 0'-0" MINIMUM)

## VICINITY MAP

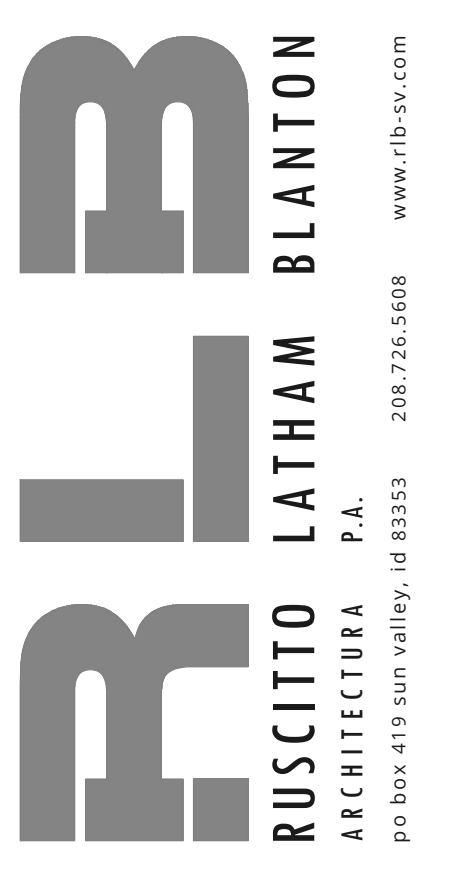


## PROJECT TEAM

ARCHITECT	RUSCITTO LATHAM BLANTON ARCHITECTURA P.A. MICHAEL BULLS, AIA P.O. Box 419 Sun Valley, Idaho 83353 P: 208.726.5608 F: 208.726.1033	STRUCTURAL DESIGN	RUSCITTO LATHAM BLANTON ARCHITECTURA P.A. MATT WALKER, P.E. P.O. Box 419 Sun Valley, Idaho 83353 P: 208.726.5608 F: 208.726.1033
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## INDEX OF DRAWINGS

A0.1	PROJECT INFORMATION
A1.0	BUILDING SURVEY
A1.1	SITE / LANDSCAPE PLAN
A1.2	CONSTRUCTION MANAGEMENT PLAN
A2.0	FLOOR PLANS - EXISTING / DEMOLITION
A3.0	LOWER LEVEL FLOOR PLAN - NEW WORK
A3.1	MAIN LEVEL FLOOR PLAN - NEW WORK
A3.2	UPPER LEVEL PLAN - NEW WORK
A3.3	ROOF PLAN - NEW WORK
A4.0	BUILDING SECTIONS
A5.0-EX	BUILDING ELEVATIONS - EXISTING
A5.1-EX	BUILDING ELEVATIONS - EXISTING
A5.0	BUILDING ELEVATIONS - NEW WORK
A5.1	BUILDING ELEVATIONS - NEW WORK

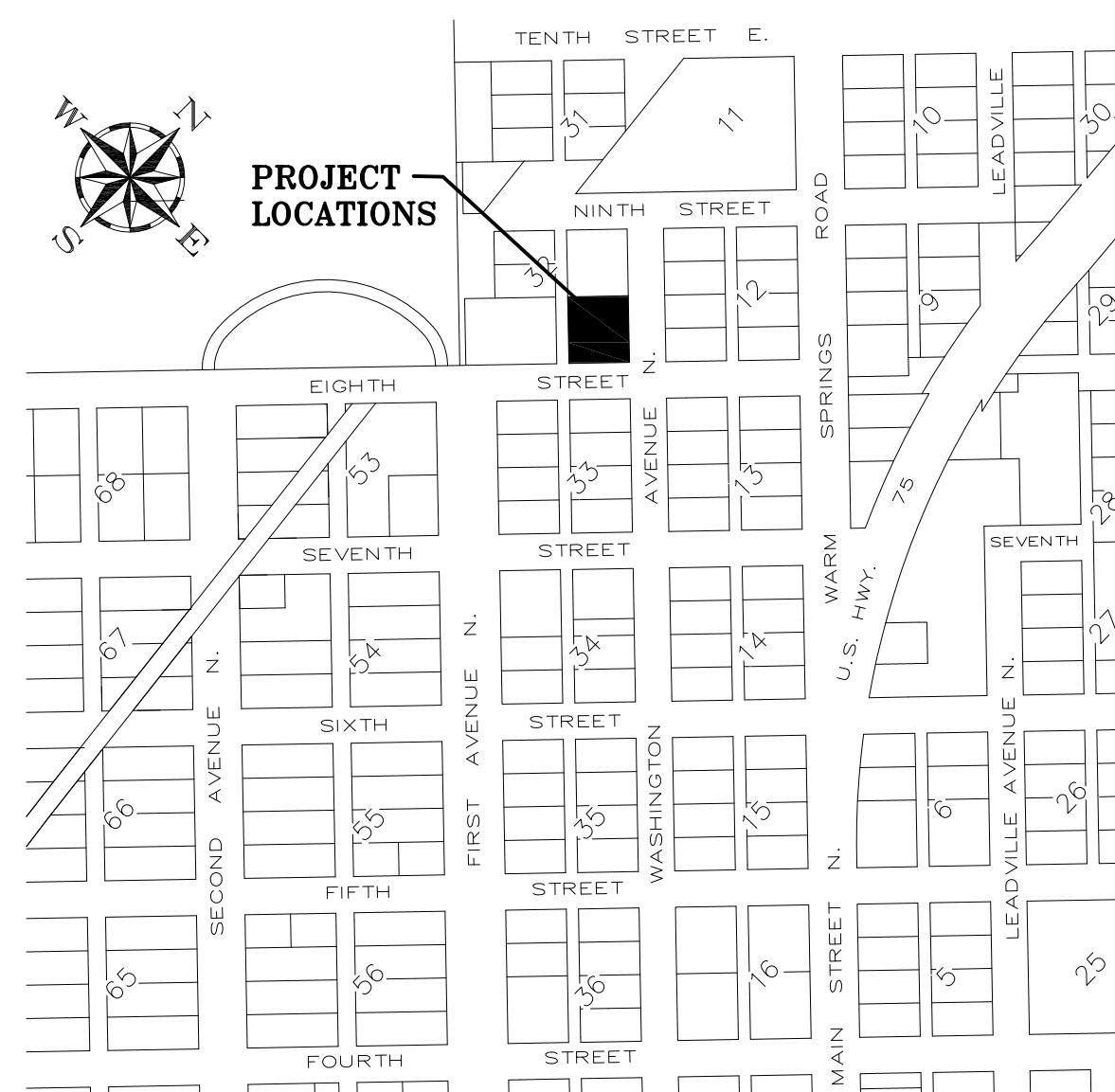


EIGHTH & WASHINGTON BUILDING  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

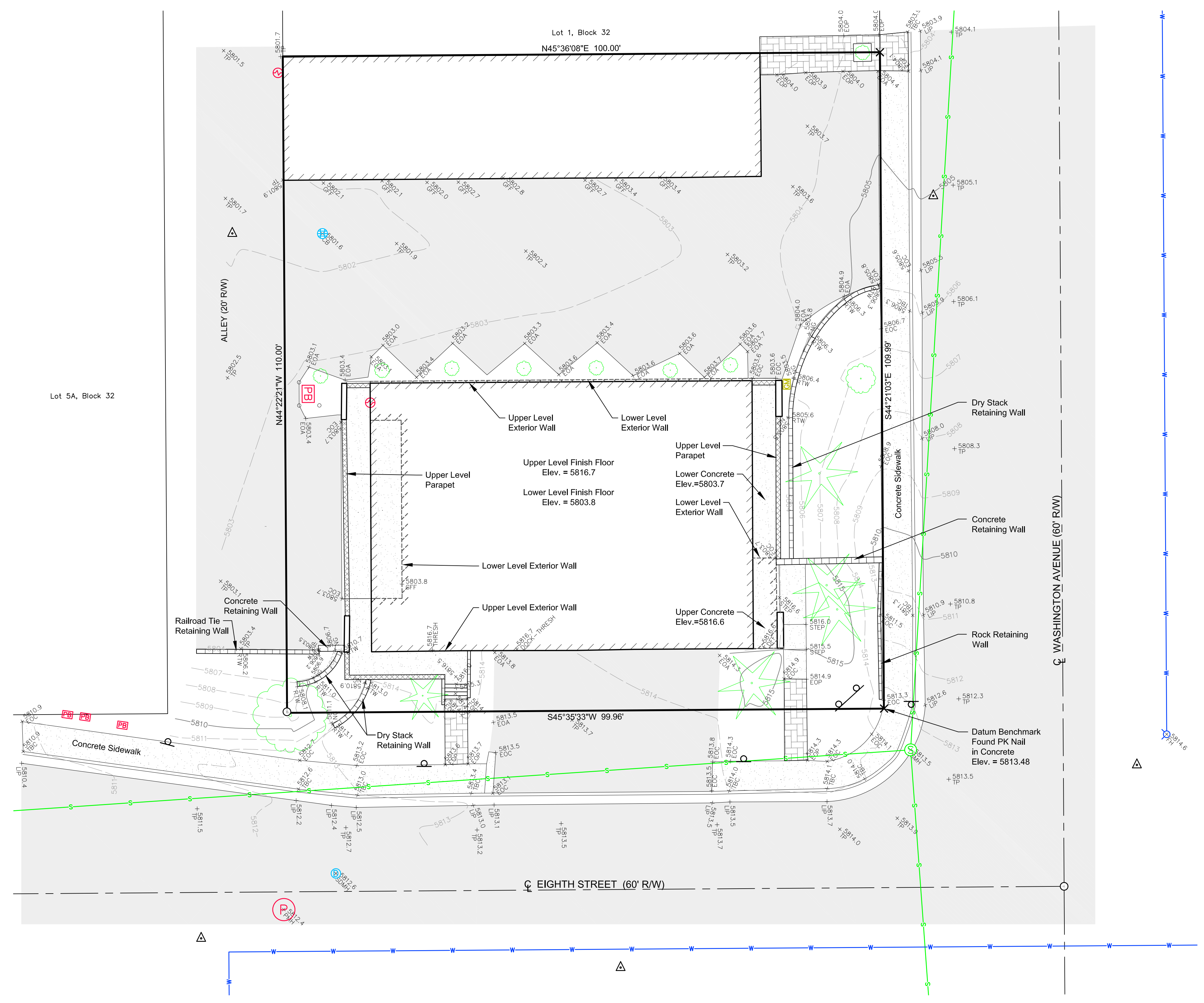
DRAWING PROJECT INFORMATION

DWG. #

A0.1



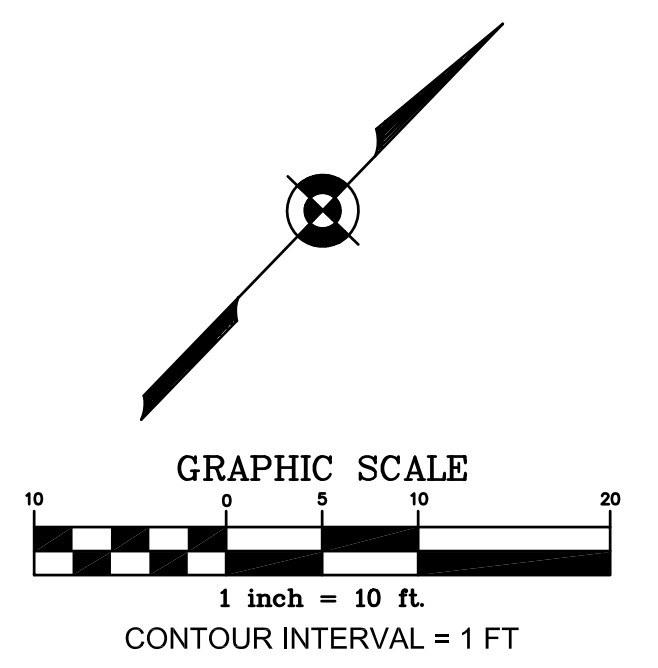
VICINITY MAP  
N.T.S.



- NOTES**
1. Boundary information is based on found monumentation. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on the plat of Eighth & Washington Building, recorded under Instrument No. 438335, Records of Blaine County ID.
  2. Sub-surface utility locations are approximate and locations should be verified before any excavation.
  3. Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.

**LEGEND**

—	Property Line	—	Gas Meter
—	Adjoiner's Lot Line	—	SDMH = Storm Drain Manhole
—	Centerline of Right-of-way	—	CB = Catch basin
○	Found 5/8" Rebar	—	Sewer Main
△	Found PK Nail	—	Sewer Manhole
△	Survey Control	—	Water Main
—	5' Contour Interval	—	FH = Fire Hydrant
—	1' Contour Interval	—	COR = Corner
★	Conifer Tree	—	DFF = Deck Finish Floor
○	Deciduous Tree	—	EOA = Edge of Asphalt
■	Asphalt	—	EOC = Edge of Concrete
■	Concrete	—	EOP = Edge of Pavers
■	Pavers	—	GFF = Garage Finish Floor
■	Retaining Wall	—	LIP = Lip of Gutter
■	Parapet	—	NG = Natural Grade
■	Sign	—	RTW = Retaining Wall
■	Power Box	—	TP = Top of Pavement
■	Power Meter		
■	PMH = Power Manhole		



NO	DATE	BY	REVISIONS

**Galena Engineering Inc.**  
317 N. River Street  
Halley, Idaho 83333  
(208) 788-1705  
(208) 788-4612 fax  
email galena@galena-engineering.com

**Civil Engineers & Land Surveyors**  
These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

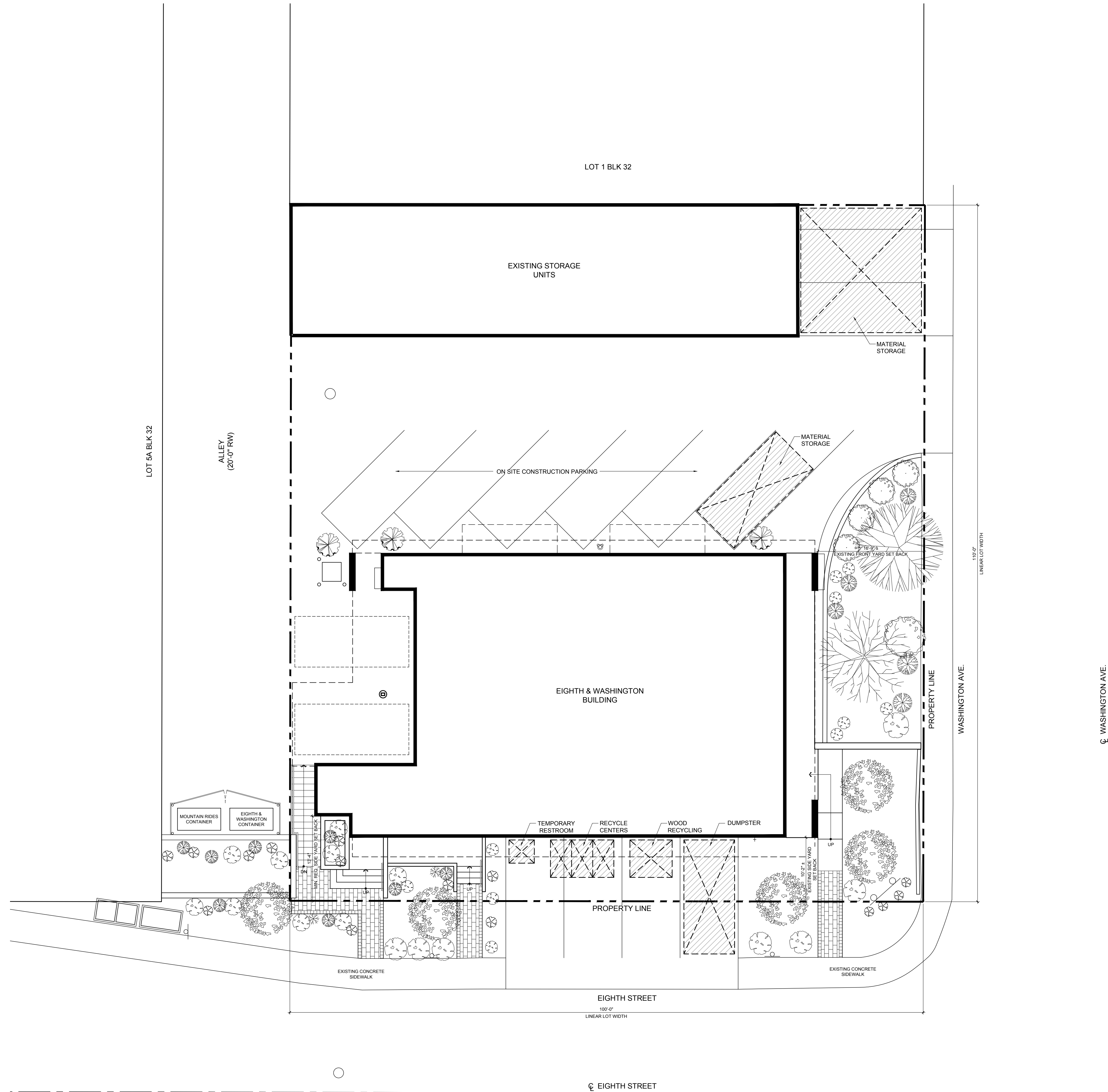
**REUSE OF DRAWINGS**  
These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

DESIGNED BY	DATE
CT	06/28/16
DRAWN BY	DATE
SMP	06/28/16
CHECKED BY	DATE

**PROJECT INFORMATION**  
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A TOPOGRAPHIC MAP SHOWING  
**EIGHTH AND WASHINGTON BUILDING**  
WITHIN SECTION 13, T.4N., R.17E., B.M., CITY OF CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR MATT WALKER

OWNERSHIP OF DOCUMENTS: This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of RUSCITTO LATHAM BLANTON ARCHITECTURE P.A., and is not to be used in whole or in part, for any other project without written authorization of RUSCITTO LATHAM BLANTON ARCHITECTURE P.A.



ISSUED	
2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS



### EIGHTH & WASHINGTON BUILDING

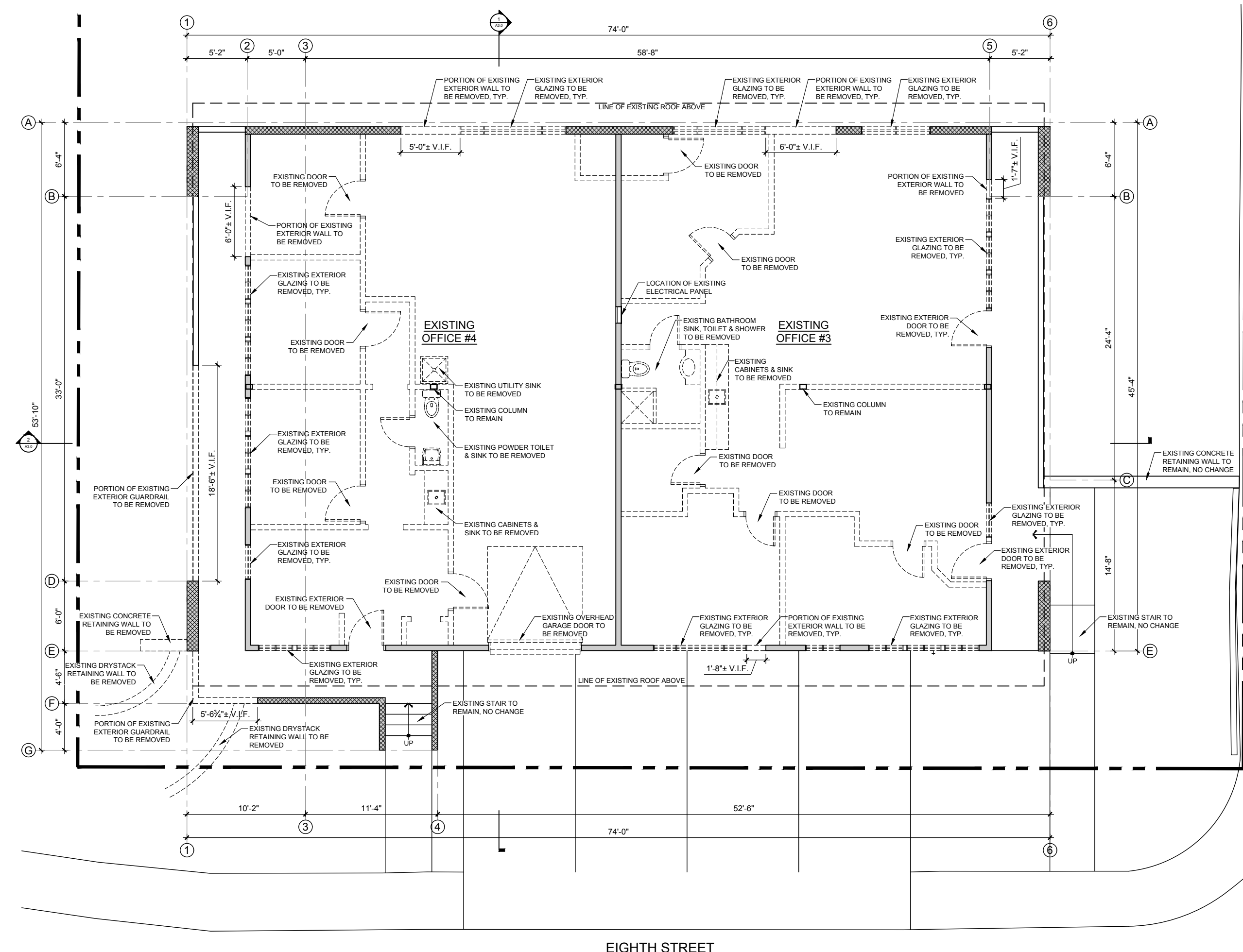
191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING  
CONSTRUCTION  
MANAGEMENT PLAN

SCALE: 1/4" = 1'-0"

DWG. #

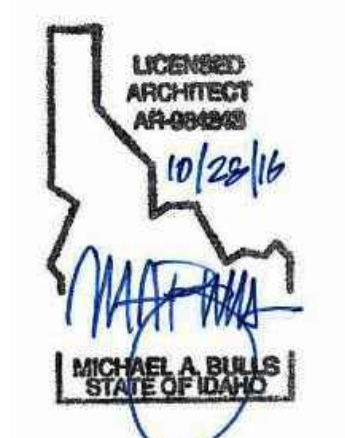
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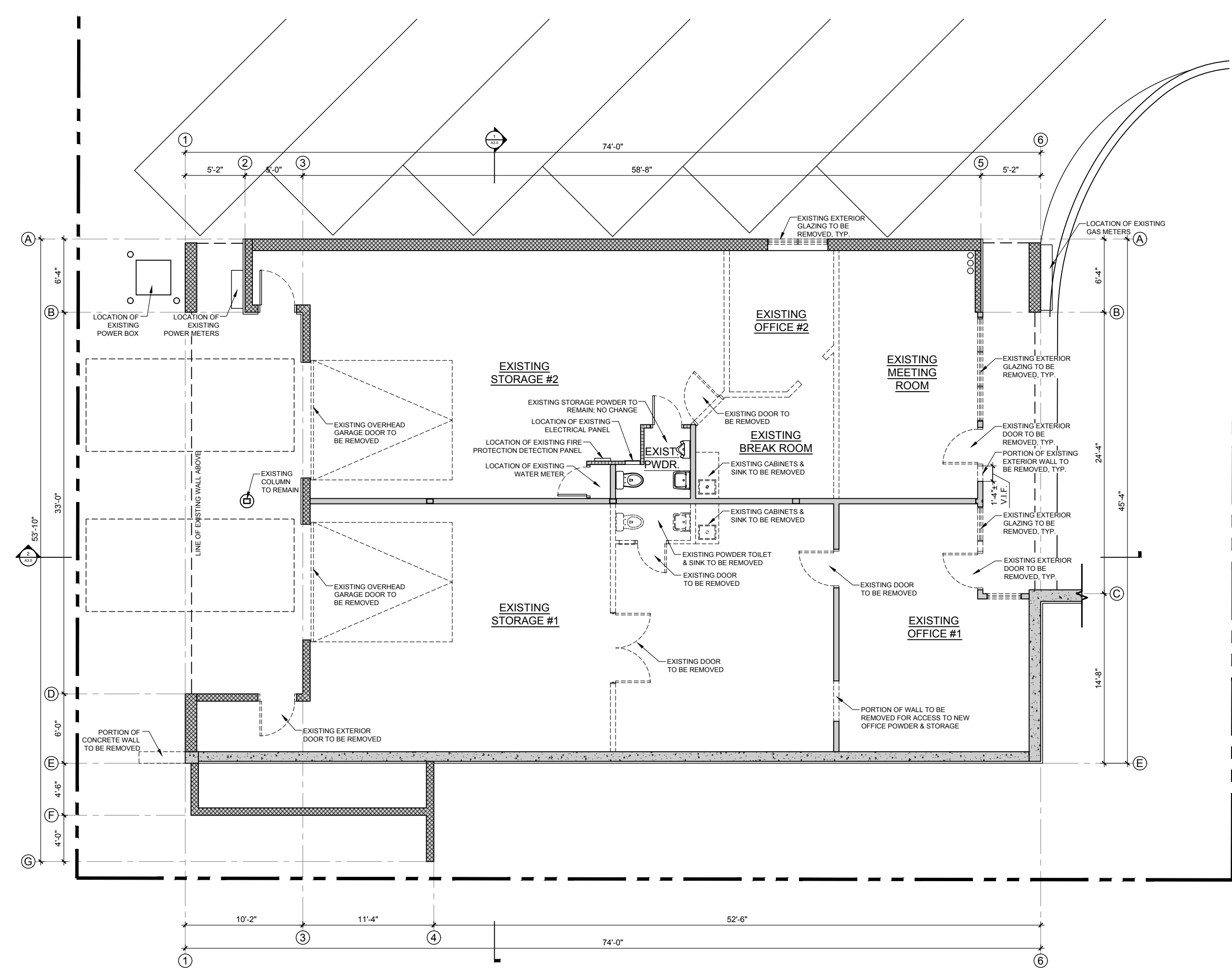
**MAIN LEVEL FLOOR PLAN - EXISTING /DEMOLITION**  
SCALE: 1/8" = 1'-0"

WALL LEGEND	
	WALL TO BE REMOVED
	EXISTING WOOD STUD WALL
	EXISTING MASONRY WALL
	EXISTING CONCRETE WALL
	NEW 2X4 WOOD STUD WALL
	NEW 2X6 WOOD STUD WALL
	NEW MASONRY WALL TO MATCH EXISTING

ISSUED	
2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS



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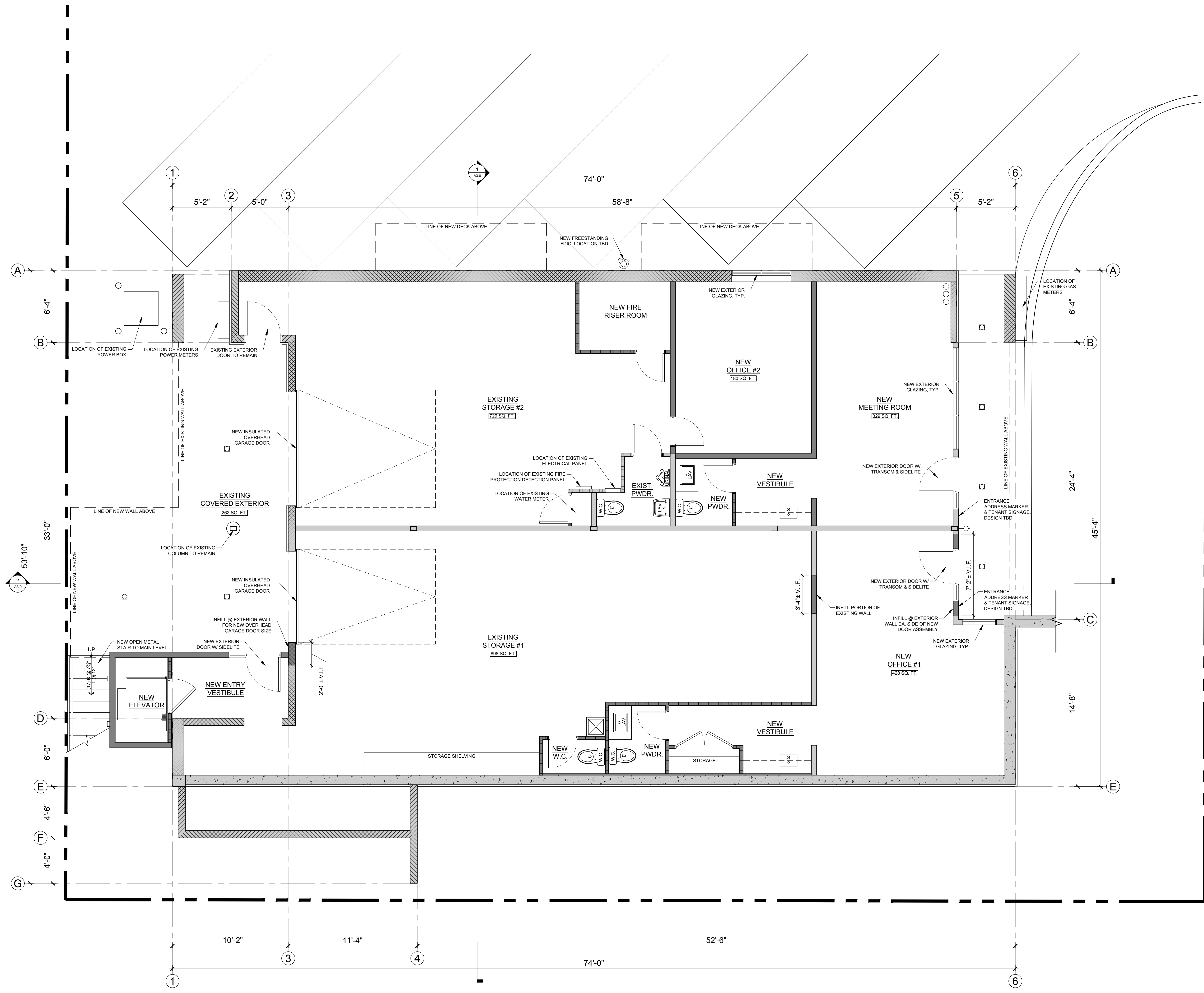
**LOWER LEVEL FLOOR PLAN - EXISTING /DEMOLITION**  
SCALE: 1/8" = 1'-0"

**DRAWING**  
 EXISTING / DEMOLITION FLOOR PLANS  
 SCALE: 1/8" = 1'-0"  
 DWG. #

**EIGHTH & WASHINGTON BUILDING**  
 191 EAST EIGHTH STREET, KETCHUM, IDAHO

**A 2.0**

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**WALL LEGEND**

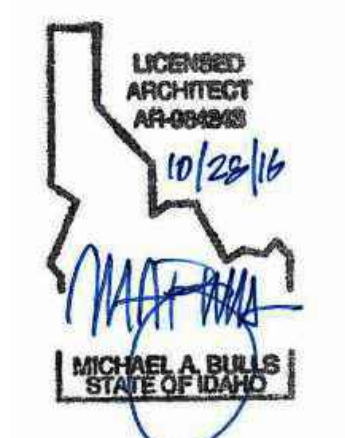
- WALL TO BE REMOVED
- ▨ EXISTING WOOD STUD WALL
- ▨ EXISTING MASONRY WALL
- ▨ EXISTING CONCRETE WALL
- ▨ NEW 2x4 WOOD STUD WALL
- ▨ NEW 2x6 WOOD STUD WALL
- ▨ NEW MASONRY WALL TO MATCH EXISTING

**EXTERIOR LIGHTING LEGEND**

- ☐ SURFACE MOUNT SCONCE PARTIALLY SHIELDED  
1,000 LUMENS MAX (1-60W INCAND. OR EQ.)  
HAMMERTON STUDIOS  
SHORT SQUARE MESH COVER SCONCE  
(16 FIX. TOTAL)
- ☐ RECESSED SOFFIT FULL CUT-OFF DOWNLIGHT  
36 WATT MR16  
CONTRAST LIGHTING  
TR000 (OR SIM.)  
(20 FIX. TOTAL)
- ☐ RECESSED STEP FULL CUT-OFF DOWNLIGHT  
WAC LIGHTING  
4011 RECTANGLE LED STEP LIGHT (OR SIM.)  
(6 FIX. TOTAL)

**ISSUED**

2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS



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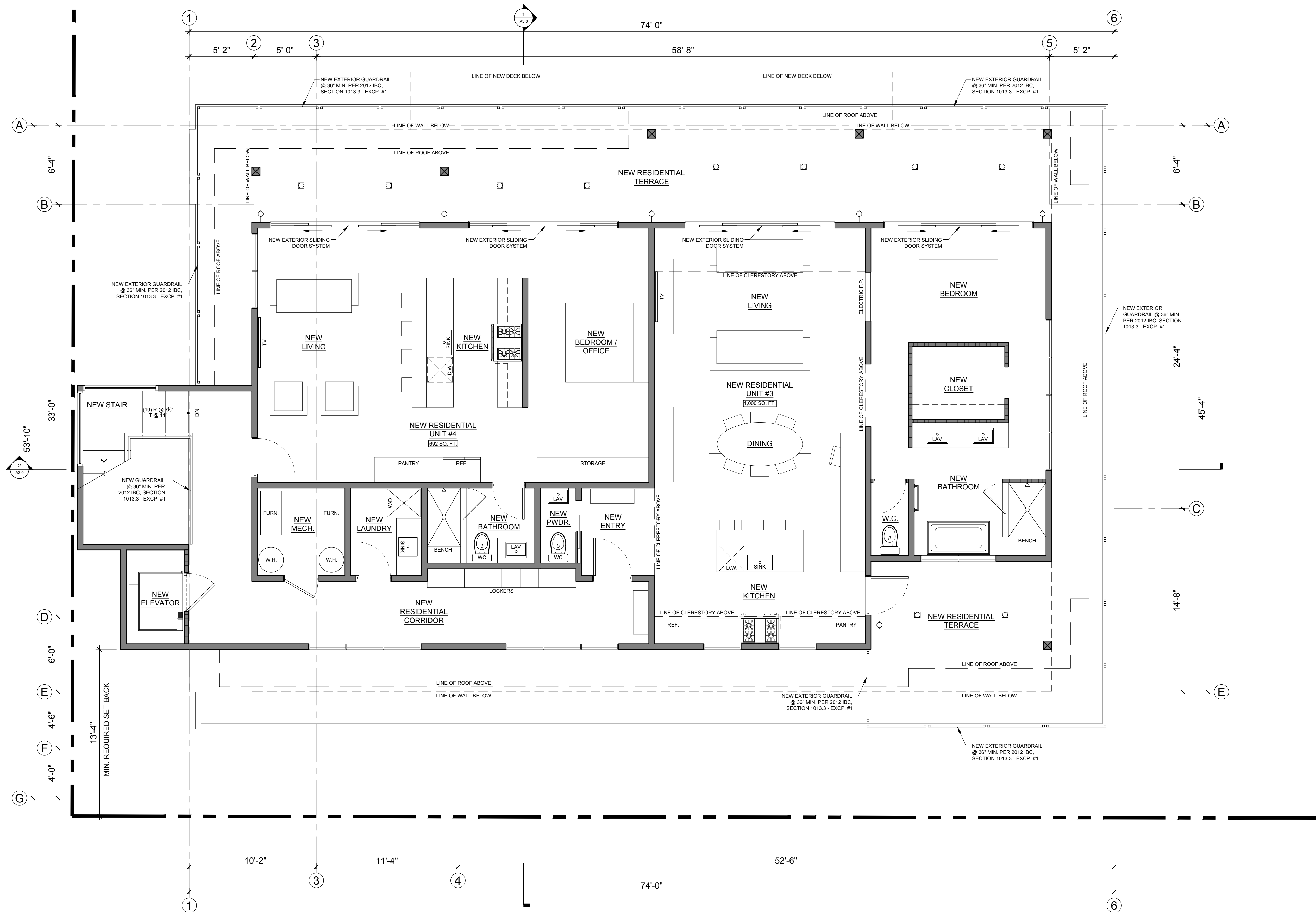
WASHINGTON AVE.

LOWER LEVEL FLOOR PLAN - NEW WORK  
 SCALE: 1/4" = 1'-0"

DRAWING  
 LOWER LEVEL FLOOR PLAN - NEW WORK  
 SCALE: 1/4" = 1'-0"  
 DWG. #

**A 3.0**

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**WALL LEGEND**

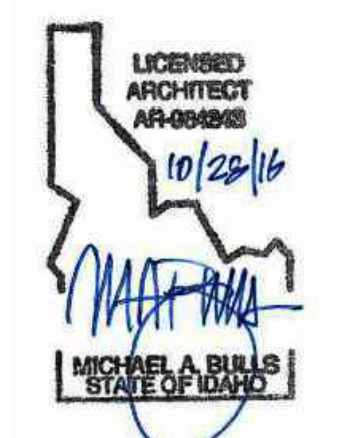
- WALL TO BE REMOVED
- EXISTING WOOD STUD WALL
- EXISTING MASONRY WALL
- EXISTING CONCRETE WALL
- NEW 2X4 WOOD STUD WALL
- NEW 2X6 WOOD STUD WALL
- NEW MASONRY WALL TO MATCH EXISTING

**EXTERIOR LIGHTING LEGEND**

- SURFACE MOUNT SCONCE PARTIALLY SHIELDED  
1,000 LUMENS MAX (1-40W INCAND. OR EQ.)  
HAMMERTON STUDIOS  
SHORT SQUARE MESH COVER SCONCE  
(16 FIX. TOTAL)
- RECESSED SOFFIT FULL CUT-OFF DOWNLIGHT  
30 WATT MR16  
CONTRAST LIGHTING  
1400K (OR SIM.)  
(20 FIX. TOTAL)
- RECESSED STEP FULL CUT-OFF DOWNLIGHT  
WAC LIGHTING  
4011 RECTANGLE LED STEP LIGHT (OR SIM.)  
(6 FIX. TOTAL)

**ISSUED**

DATE	DESCRIPTION
2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS



WASHINGTON AVE.

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**EIGHTH & WASHINGTON BUILDING**  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

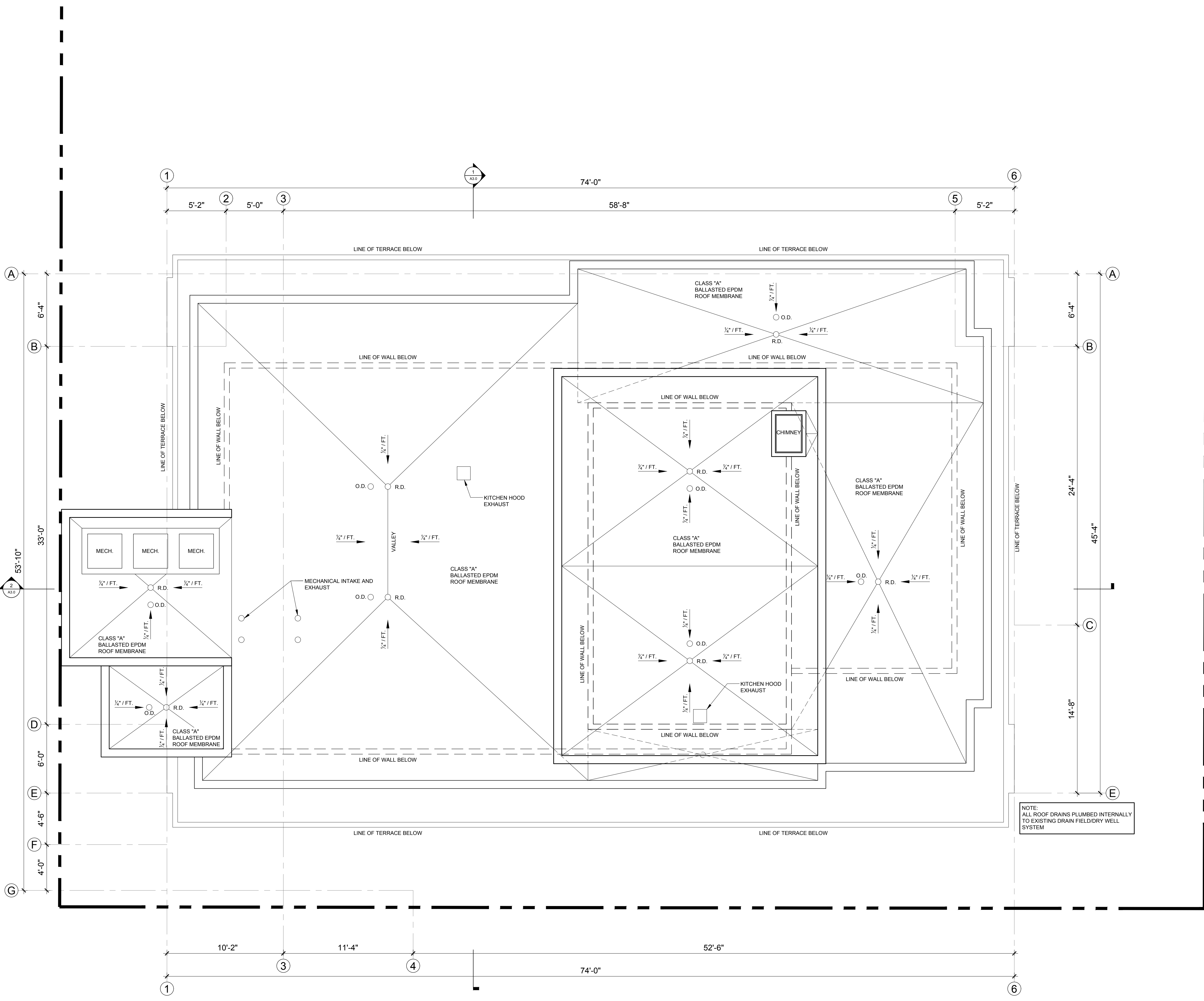
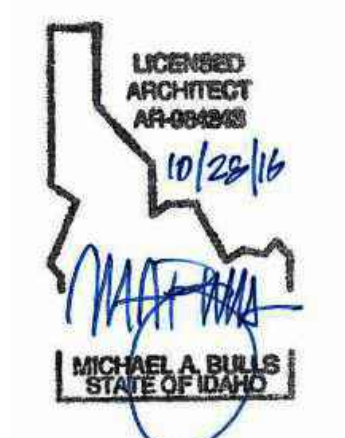
DRAWING  
UPPER LEVEL FLOOR PLAN - NEW WORK  
SCALE: 1/2" = 1'-0"  
0 2 4  
DWG. #

UPPER LEVEL FLOOR PLAN - NEW WORK  
SCALE: 1/2" = 1'-0"

**A 3.2**



ISSUED	2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS	



NOTE:  
ALL ROOF DRAINS PLUMBED INTERNALLY  
TO EXISTING DRAIN FIELD/DRY WELL  
SYSTEM

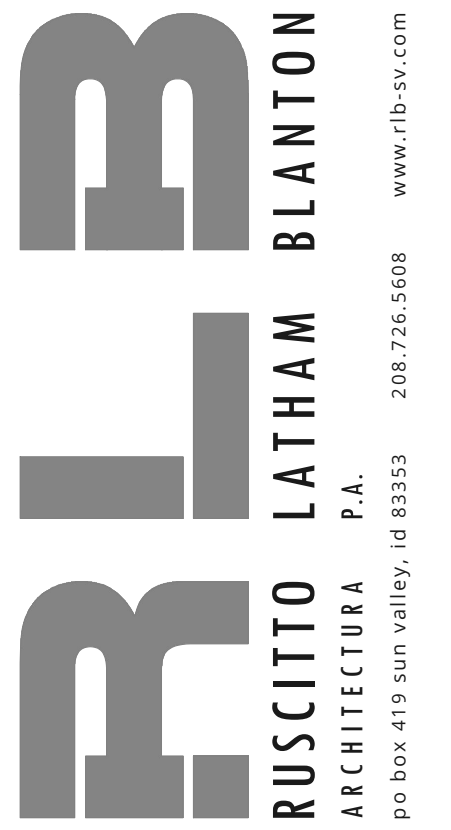
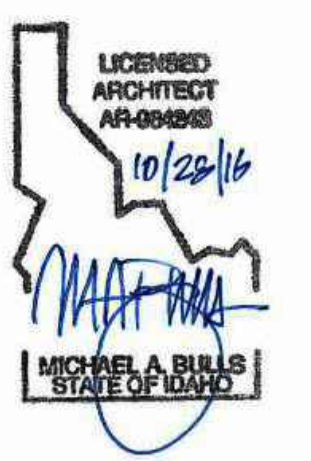
WASHINGTON AVE.

EIGHTH & WASHINGTON BUILDING  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

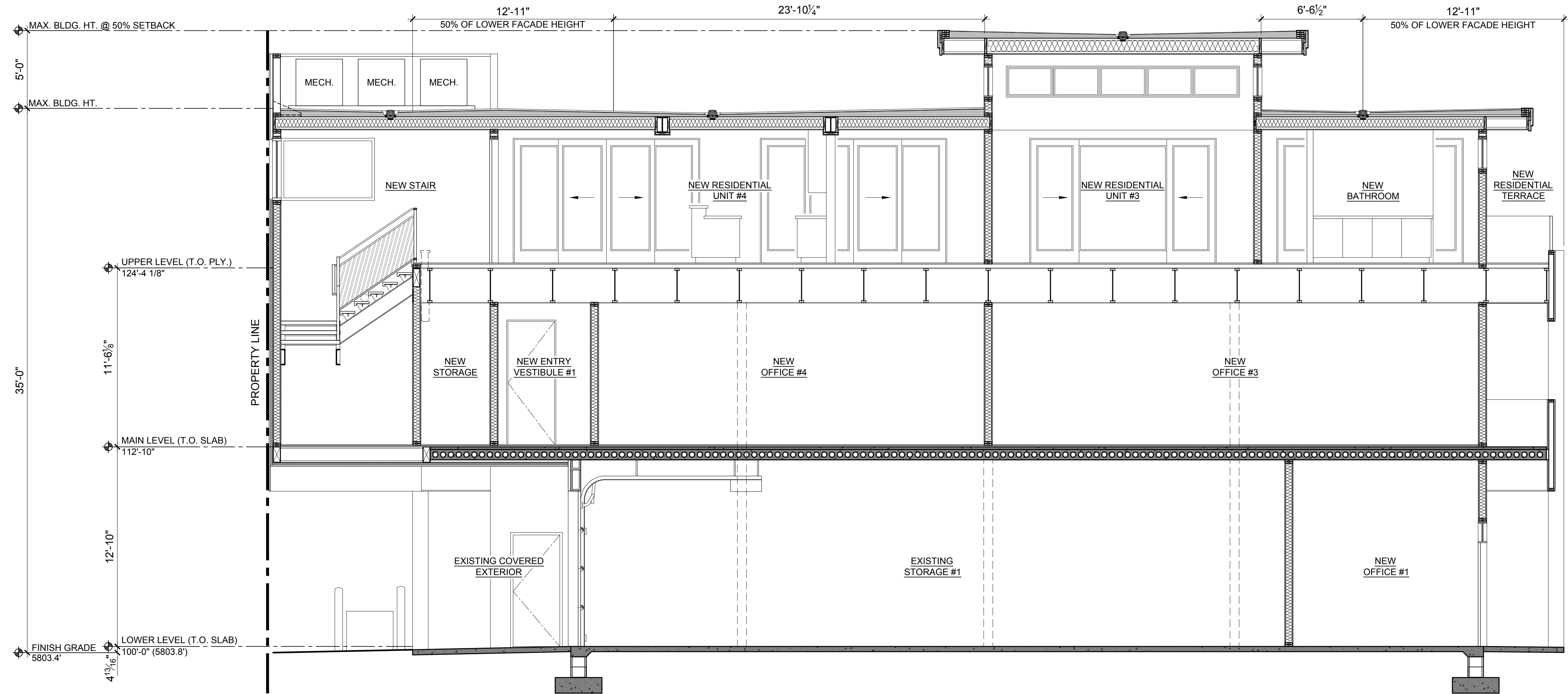
DRAWING  
ROOF PLAN -  
NEW WORK  
SCALE: 1/2" = 1'-0"  
DWG. #

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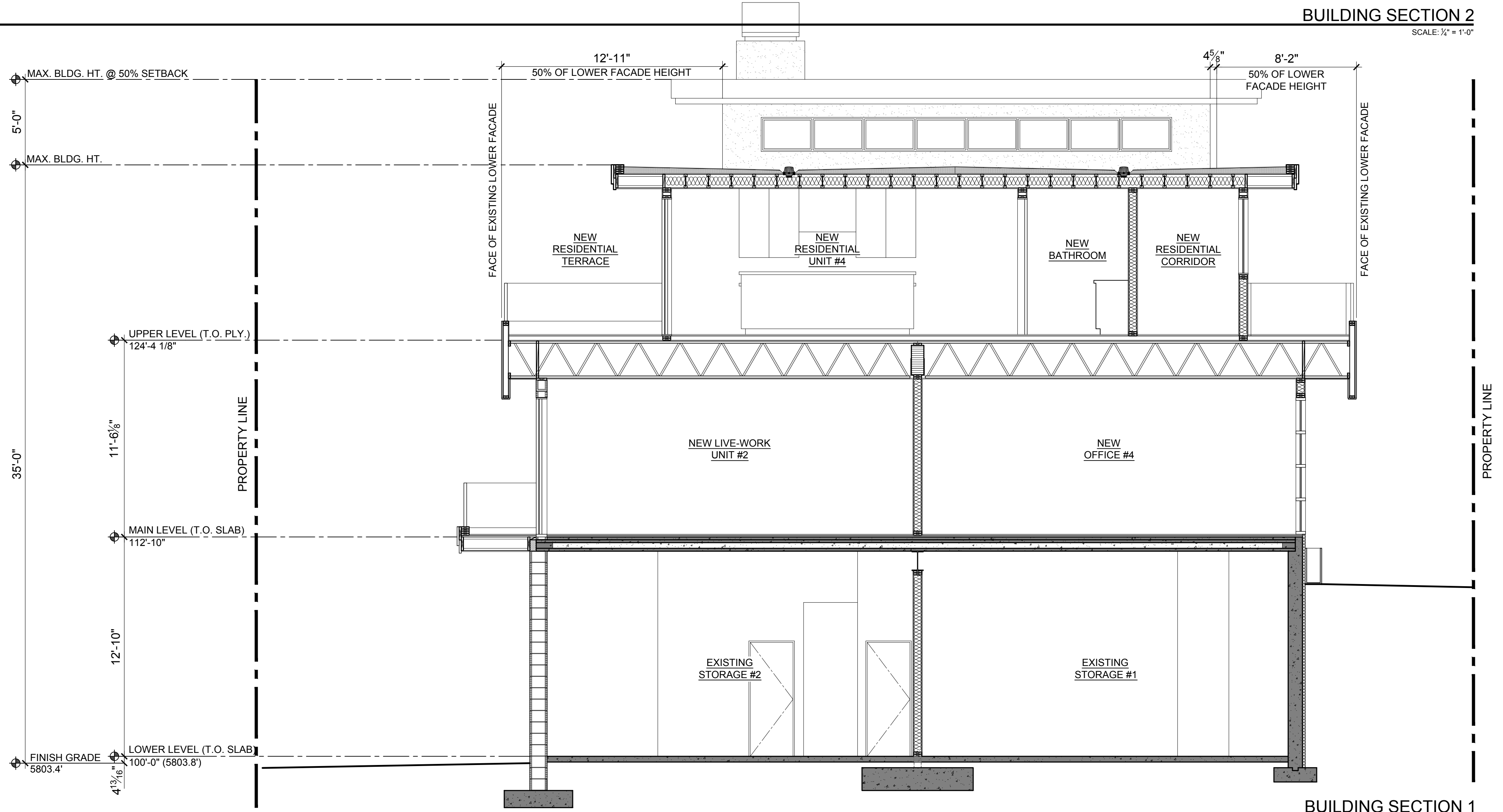
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2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS



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**BUILDING SECTION 2**  
SCALE: 1/2" = 1'-0"



**BUILDING SECTION 1**  
SCALE: 1/2" = 1'-0"

**EIGHTH & WASHINGTON BUILDING**  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING  
BUILDING SECTIONS  
SCALE: 1/2" = 1'-0"  
0 2 4  
DWG. #

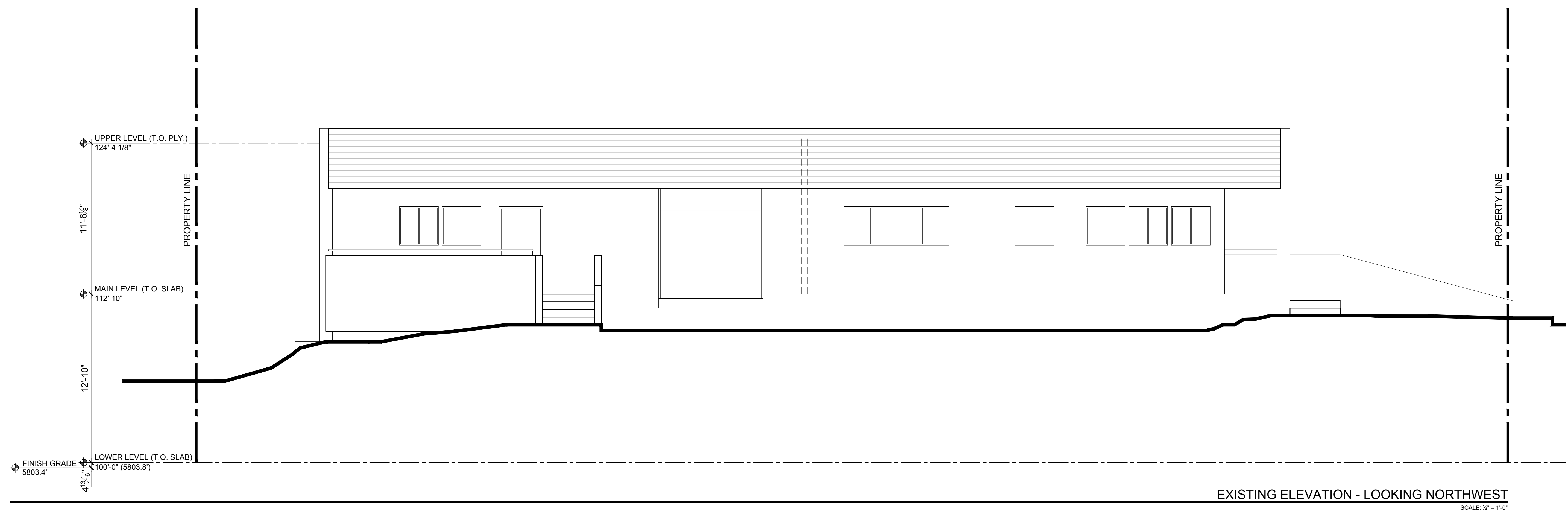
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ISSUED	
2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS

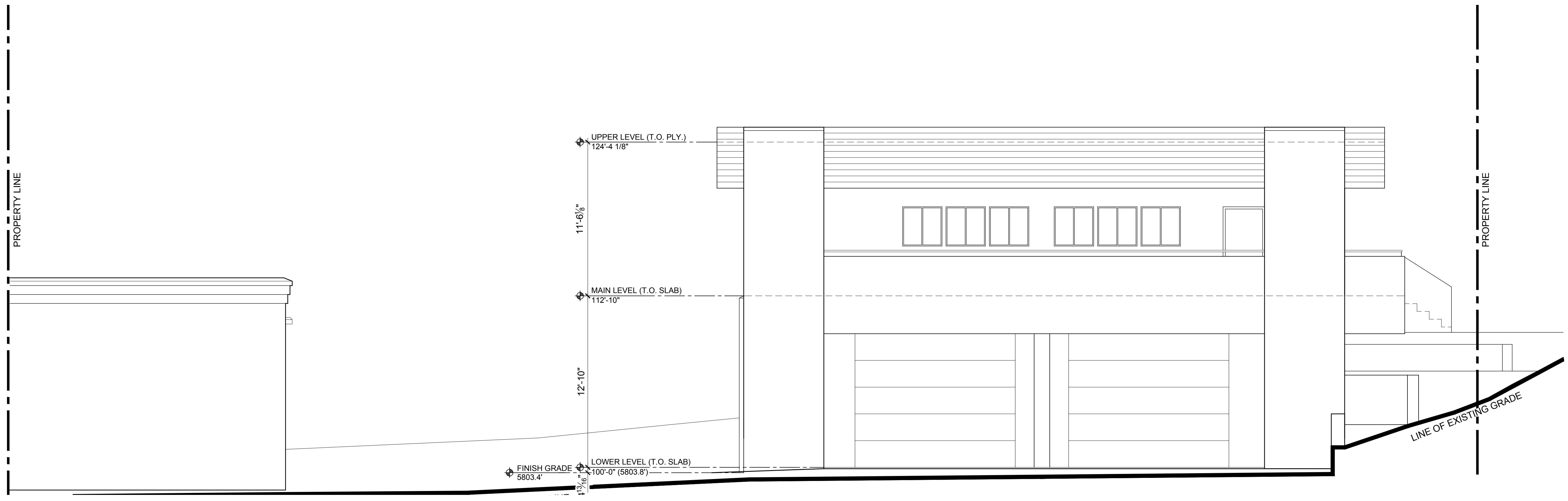


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EXISTING ELEVATION - LOOKING NORTHWEST  
SCALE: 1/2" = 1'-0"



EXISTING ELEVATION - LOOKING NORTHEAST  
SCALE: 1/2" = 1'-0"

**EIGHTH & WASHINGTON BUILDING**  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING  
BUILDING ELEVATIONS - EXISTING  
SCALE: 1/2" = 1'-0"  
0 2 4  
DWG. #

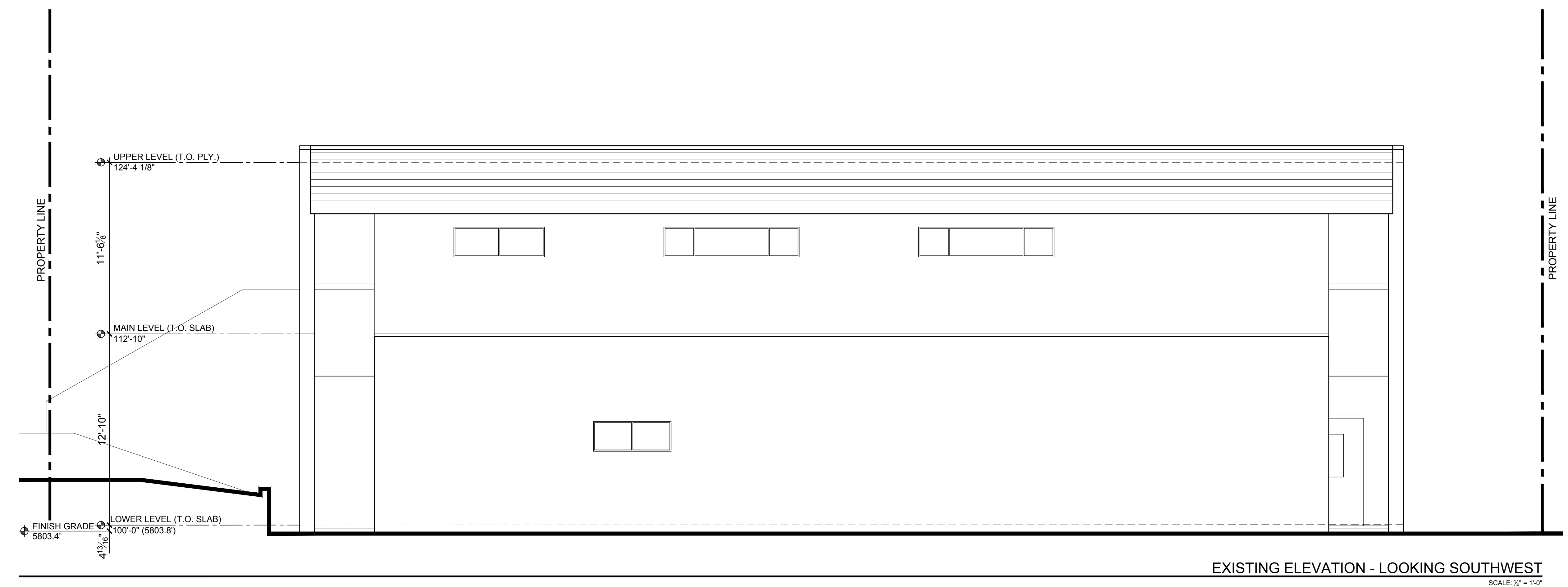
**A5.0-EX**

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ISSUED	
2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS

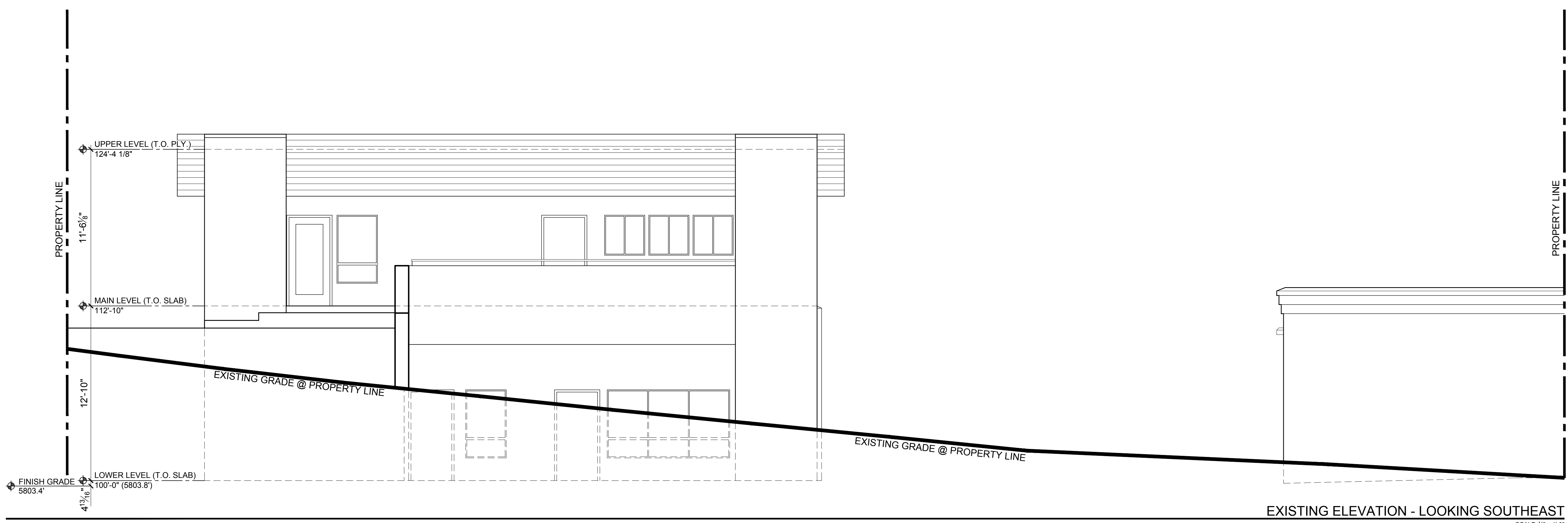


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EXISTING ELEVATION - LOOKING SOUTHWEST

SCALE: 1/2" = 1'-0"



EXISTING ELEVATION - LOOKING SOUTHEAST

SCALE: 1/2" = 1'-0"

EIGHTH & WASHINGTON BUILDING  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING  
 BUILDING ELEVATIONS - EXISTING  
 SCALE: 1/2" = 1'-0"  
  
 DWG. #

A5.1-EX

ISSUED	2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS	

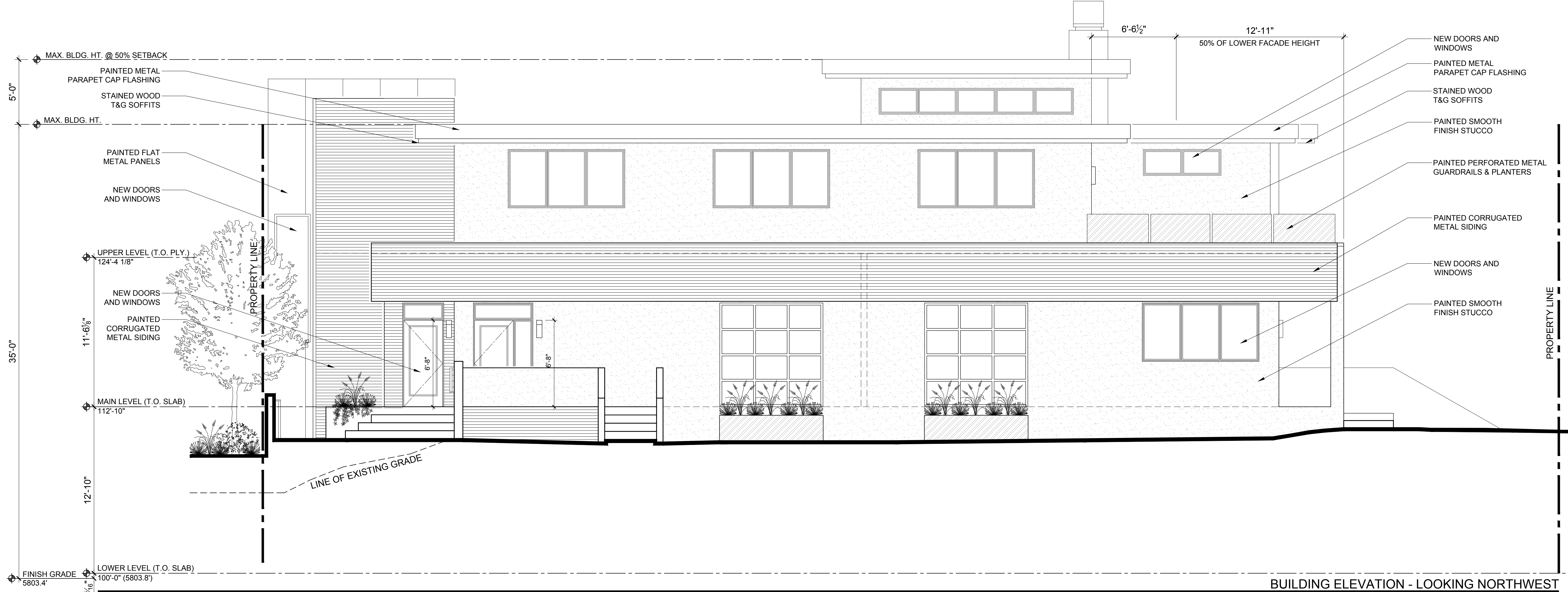


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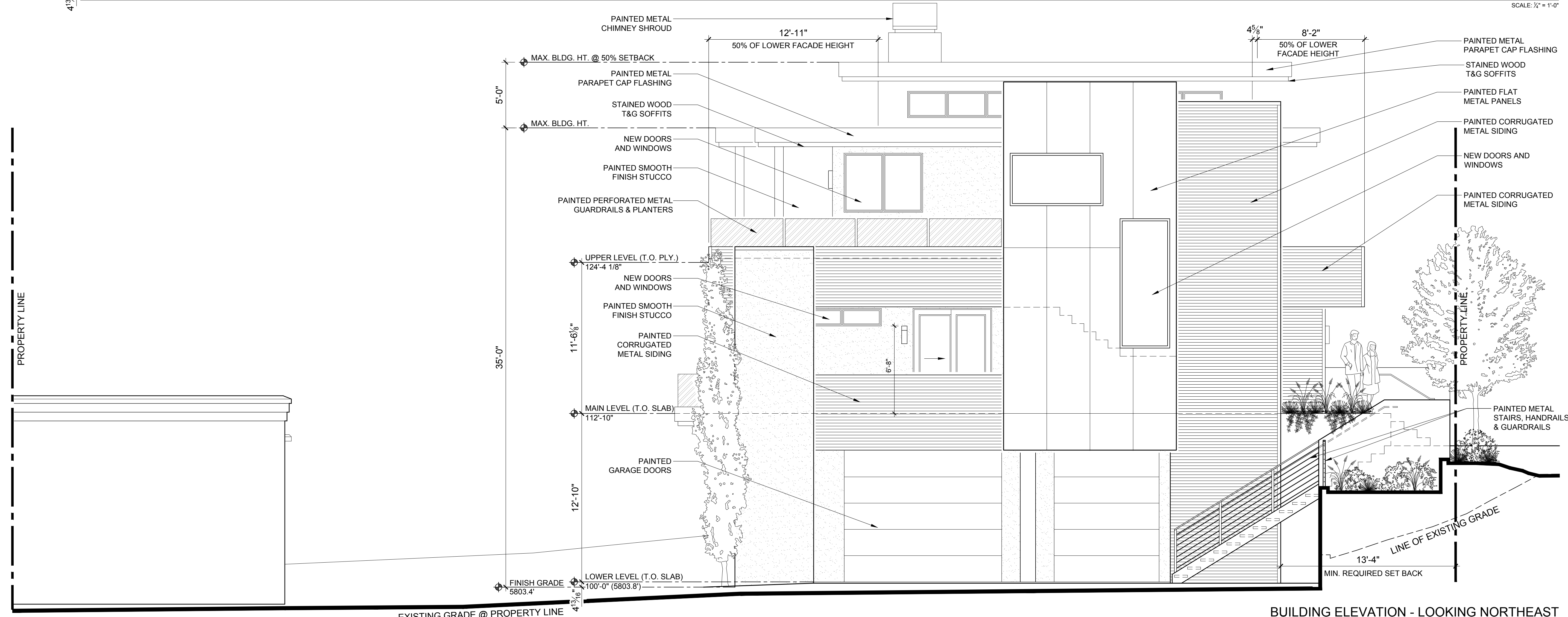
**EIGHTH & WASHINGTON BUILDING**  
 191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING	BUILDING ELEVATIONS - NEW WORK
SCALE: 1/2" = 1'-0"	
DWG. #	

**A 5.0**



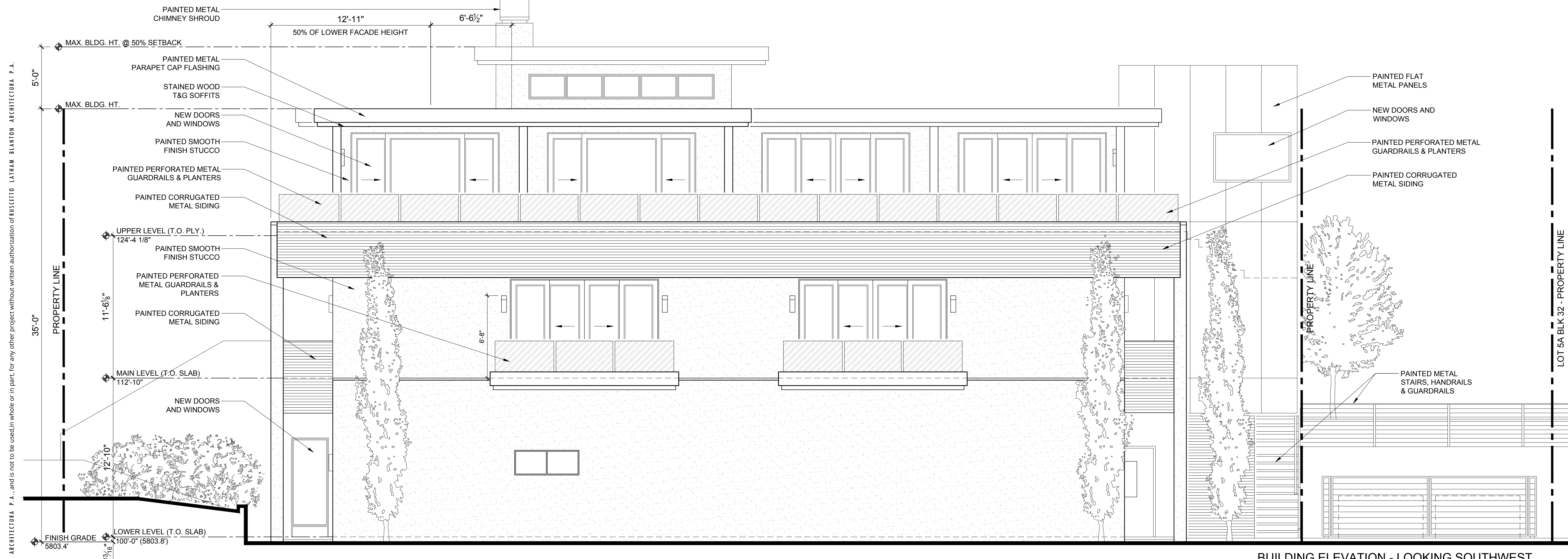
**BUILDING ELEVATION - LOOKING NORTHWEST**  
 SCALE: 1/2" = 1'-0"



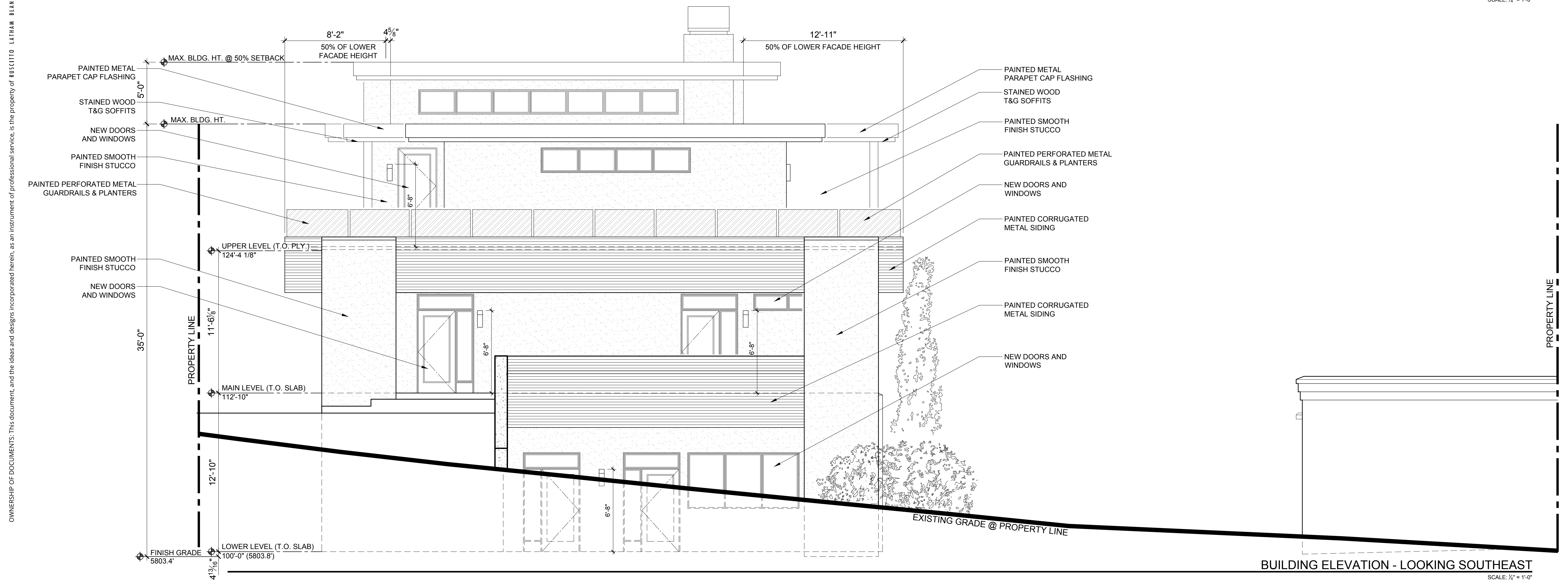
**BUILDING ELEVATION - LOOKING NORTHEAST**  
 SCALE: 1/2" = 1'-0"

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2016.10.28	DESIGN REVIEW REVISIONS	



BUILDING ELEVATION - LOOKING SOUTHWEST  
SCALE: 1/2" = 1'-0"



BUILDING ELEVATION - LOOKING SOUTHEAST  
SCALE: 1/2" = 1'-0"

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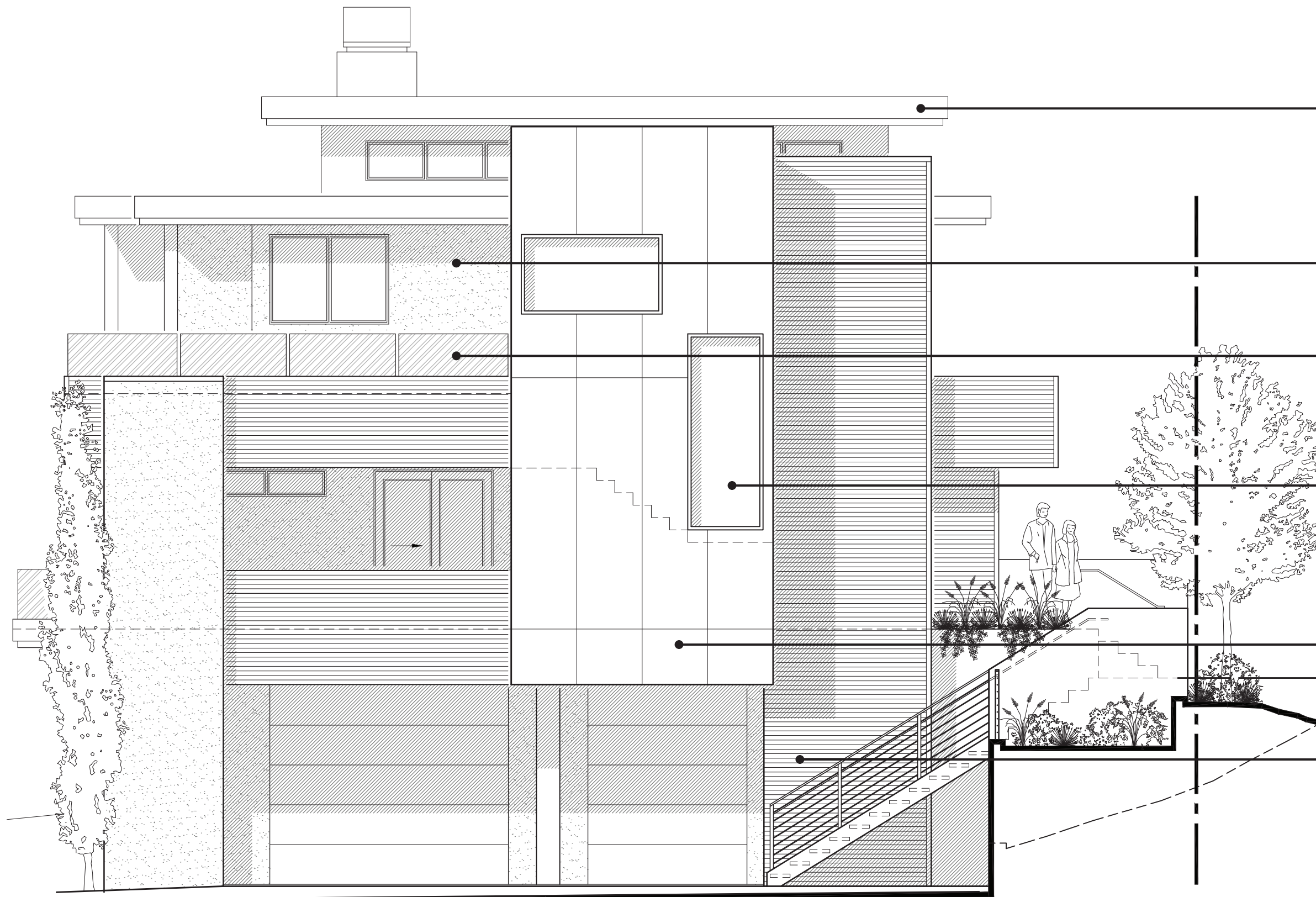


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**EIGHTH & WASHINGTON BUILDING**  
191 EAST EIGHTH STREET, KETCHUM, IDAHO

DRAWING	BUILDING ELEVATIONS - NEW WORK
SCALE: 1/2" = 1'-0"	0 2 4
DWG. #	

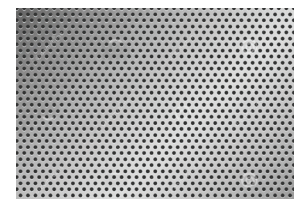
**A5.1**



METAL FLASHINGS,  
PARAPET CAPS &  
RAILINGS  
MIDNIGHT BRONZE



STUCCO & GARAGE  
DOORS  
BENJAMIN MOORE -  
CASTLE WALLS 1573



METAL GUARDRAILS &  
PLANTERS  
LIGHT GREY PERFORATED



DOORS AND WINDOWS  
MILGARD - BLACK BEAN



FLAT METAL PANELS  
LIGHT GREY PATINA



CORRUGATED METAL  
SIDING  
MIDNIGHT BRONZE



WOOD T&G SOFFIT  
SEMI-TRANSPARENT BLACK

ELEVATION LOOKING NORTHEAST

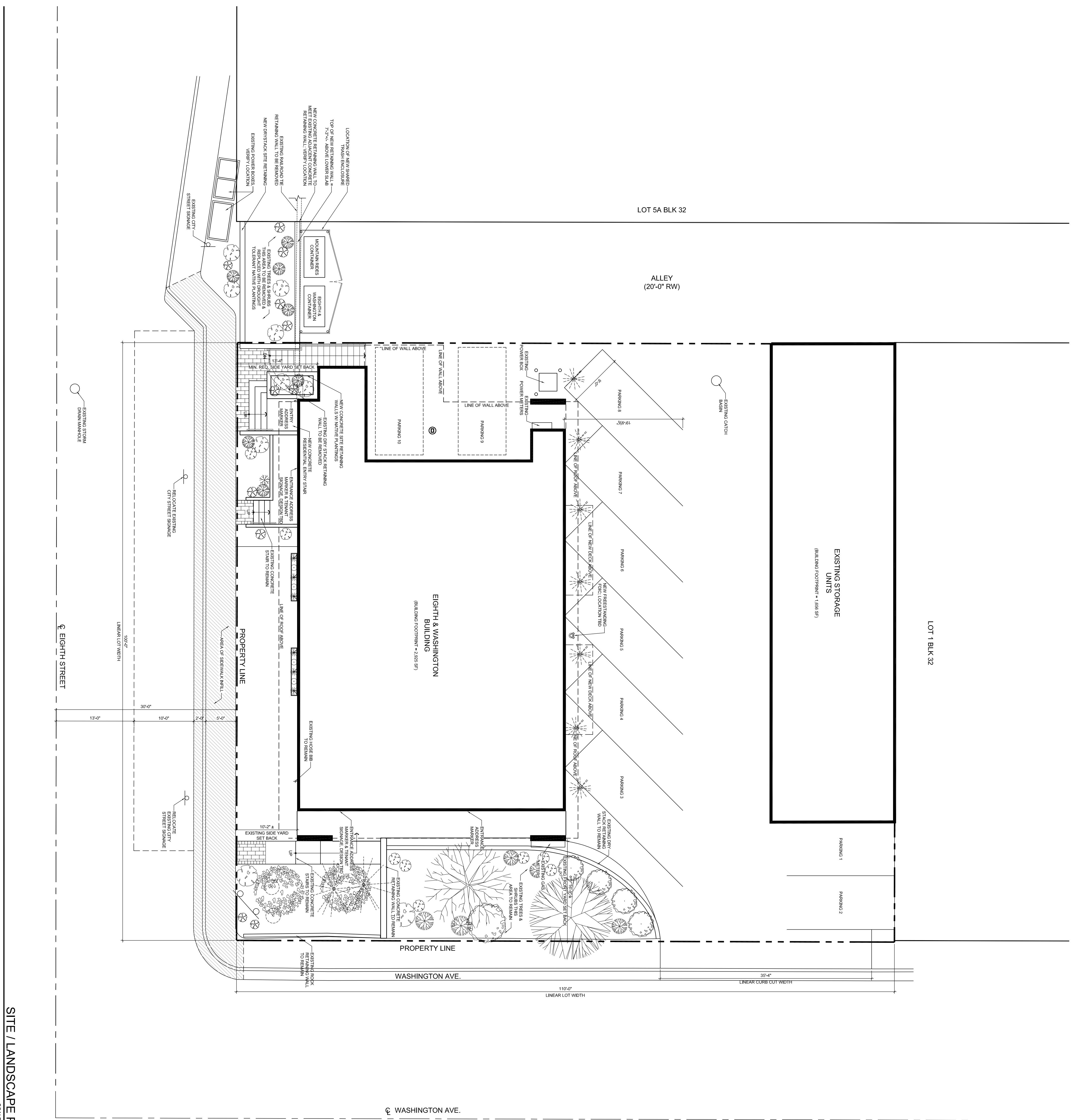
SCALE: 3/16" = 1'-0"

DESIGN REVIEW REVISIONS: 10.28.2016

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p.o. box 419 83353  
sun valley, idaho



RUSCITTO LATHAM BLANTON  
ARCHITECTURA P.A.



LEGEND	
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE REMOVED
	EXISTING SHRUBS TO BE REMOVED
	EXISTING EVERGREEN TREE TO REMAIN
	EXISTING DECIDUOUS TREE TO REMAIN
	EXISTING SWISSHED ASPEN TO REMAIN
	EXISTING SWISSHED ASPEN TO REMAIN
	EXISTING SHRUBS TO REMAIN
	EXISTING SHRUBS TO REMAIN
	NEW AUTUMN BURNING SHRUB
	NEW PRUNING TO ENHANT NATIVE PLANTINGS
	NOTE: ALL NEW PRUNING TO BE PERFORMED WITHIN THE DESIGN PERIOD

ISSUED	DESIGN REVIEW
2016.10.14	2016.10.28
2016.11.08	2016.11.08

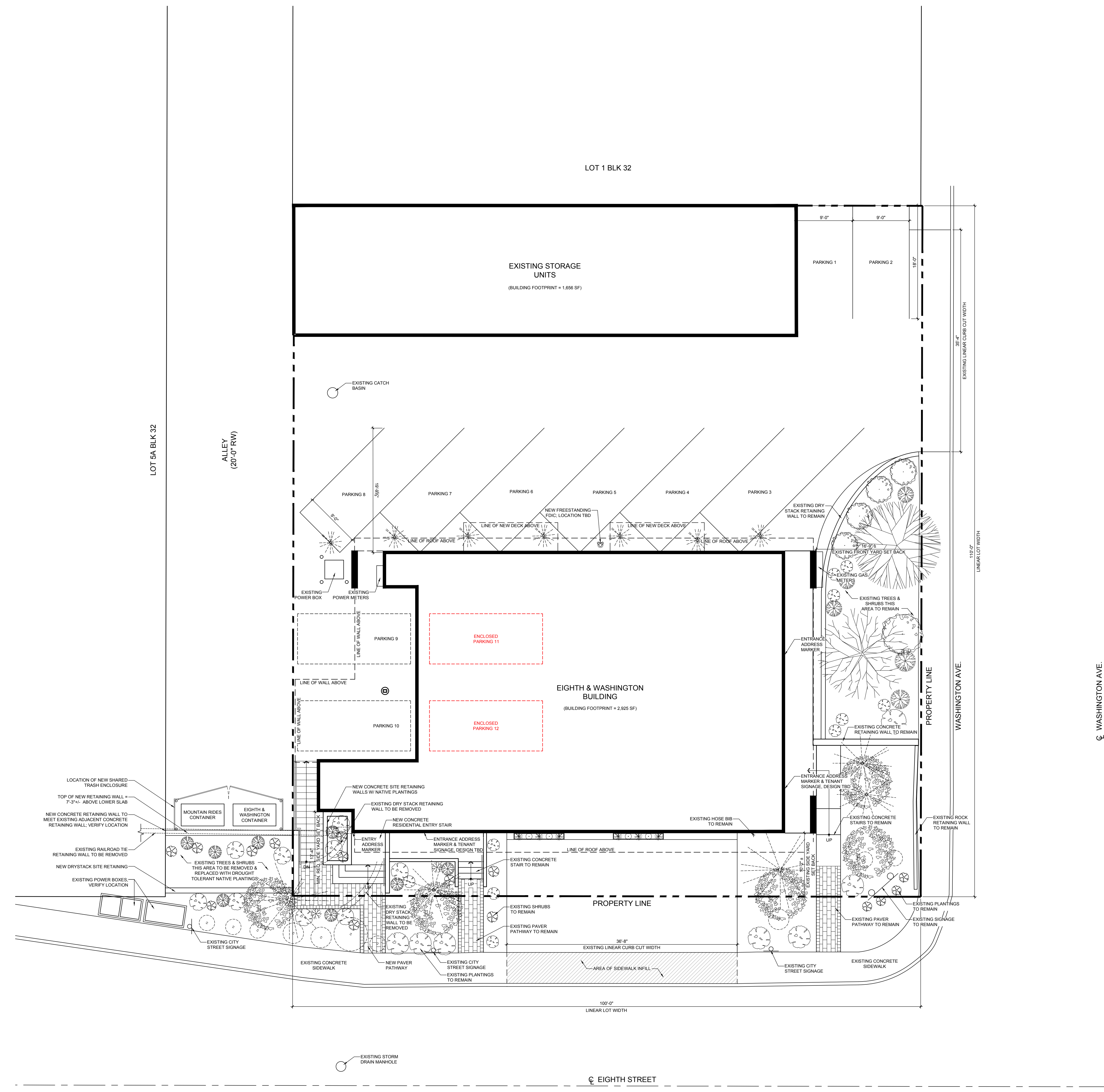
DRAWING  
 SITE / LANDSCAPE PLAN  
 SCALE: 1/8" = 1'-0"  
 0 4 8  
 DWG. #  
**A1.1**

**EIGHTH & WASHINGTON BUILDING**  
 191 EAST EIGHTH STREET, KETCHUM, IDAHO

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**LEGEND**

- EXISTING TREE TO BE REMOVED
- EXISTING SHRUBS TO BE REMOVED
- EXISTING EVERGREEN TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING SWEDISH ASPEN TO REMAIN
- EXISTING SHRUBS TO REMAIN
- NEW AUTUMN BLAZE MAPLE
- NEW DROUGHT TOLERANT NATIVE PLANTINGS

\*NOTE: ALL NEW IRRIGATION TO BE DRIP IRRIGATION WITH MOISTURE SENSORS

**ISSUED**

2016.10.14	DESIGN REVIEW
2016.10.28	DESIGN REVIEW REVISIONS
2016.11.08	REVISED OFF STREET PARKING

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**EIGHTH & WASHINGTON BUILDING**  
 191 EAST EIGHTH STREET, KETCHUM, IDAHO

**DRAWING**  
 SITE / LANDSCAPE PLAN  
 SCALE: 1/4" = 1'-0"  
 DWG. #

**A1.1**

**SITE / LANDSCAPE PLAN**  
 SCALE: 1/4" = 1'-0"



**EIGHTH and WASHINGTON BUILDING**

KETCHUM, IDAHO

**BUILDING COVERAGE CALCULATION:****17.124.020: RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:**

- #3. Up to 50% of any light industrial building may be devoted to dwelling units, unless otherwise specified.
- #5. Dwelling units shall be a minimum of four hundred square feet and shall not exceed one thousand square feet total and shall contain no more than two bedrooms, unless otherwise specified.

**COMMERCIAL SQ. FTG.**

LOWER LEVEL:	NEW MEETING ROOM	329 SF
	NEW OFFICE #1	428 SF
	NEW OFFICE #2	180 SF
	EXISTING STORAGE #1	898 SF
	EXISTING STORAGE #2	729 SF
	EXISTING COVERED EXTERIOR	284 SF
MAIN LEVEL:	NEW OFFICE #3	686 SF
	<b>NEW OFFICE #4</b>	<b>420 SF</b>
	NEW COMMERCIAL CIRCULATION	51 SF
<b>TOTAL COMMERCIAL GSF:</b>		<b>4,005 SF</b>

**RESIDENTIAL SQ. FTG.**

LOWER LEVEL:	NEW RESIDENTIAL CIRCULATION	92 SF
MAIN LEVEL:	NEW LIVE WORK RESIDENTIAL UNIT #1	672 SF
	<b>NEW LIVE WORK RESIDENTIAL UNIT #2</b>	<b>828 SF</b>
	NEW RESIDENTIAL CIRCULATION / OTHER	268 SF
UPPER LEVEL:	NEW RESIDENTIAL UNIT #3	1,000 SF
	NEW RESIDENTIAL UNIT #4	692 SF
	NEW RESIDENTIAL CIRCULATION / OTHER	375 SF
<b>TOTAL RESIDENTIAL GSF:</b>		<b>3,927 SF</b>

**AREA OF BUILDING**

TOTAL GSF:	7,932 SF
TOTAL ALLOWABLE DEVOTED TO RESIDENTIAL:	3,966 SF MAX.
<b>TOTAL PROPOSED RESIDENTIAL:</b>	<b>3,927 SF</b>



**RUSCITTO**  
ARCHITECTURA P.A.

**LATHAM BLANTON**

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sun valley, idaho

**EIGHTH and WASHINGTON BUILDING**

KETCHUM, IDAHO

**PARKING CALCULATION:****17.125.050: OFF STREET PARKING AND LOADING CALCULATIONS:**

C. Area Measurements: Unless otherwise specifically noted, all square footage based parking and loading standards are to be computed on the basis of gross floor area.

**OFF STREET PARKING MATRIX**

Residential units, industrial districts: 1 space per bedroom  
Office, industrial districts: 1 space per 250 gross square feet

**OFFICE PARKING**

LOWER LEVEL:	NEW MEETING ROOM	329 SF
	NEW OFFICE #1	428 SF
	NEW OFFICE #2	180 SF

MAIN LEVEL:	NEW OFFICE #3	686 SF
	NEW OFFICE #4	420 SF

**TOTAL OFFICE @ 1 SPACE PER 250 GFS: 2,043 SF / 250 = 8 SPACES**

**RESIDENTIAL PARKING**

MAIN LEVEL:	NEW LIVE WORK RESIDENTIAL UNIT #1	1 SPACE
	NEW LIVE WORK RESIDENTIAL UNIT #2	1 SPACE

UPPER LEVEL:	NEW RESIDENTIAL UNIT #3	1 SPACE
	NEW RESIDENTIAL UNIT #4	1 SPACE

**TOTAL RESIDENTIAL @ 1 SPACE PER BEDROOM: 4 SPACES**

**TOTAL PARKING**

**TOTAL REQUIRED: 12 SPACES**

**TOTAL OFF STREET PARKING SPACES PROVIDED: 12 SPACES**





# Planning and Zoning

## Regular Meeting

~ Minutes ~

480 East Avenue North  
Ketchum, ID 83340  
<http://ketchumidaho.org/>

Keshia Owens  
(208) 726-7801

**Monday, November 14, 2016**

**5:30 PM**

**Ketchum City Hall**

Commissioners Present: Jeff Lamoureux, Commissioner  
Erin Smith, Commissioner  
Betsy Mizell, Commissioner

Commissioners Absent: Steve Cook, Chairperson

Staff Present: Micah Austin, Director of Planning & Building  
Carl Anderson, Associate Planner  
Keshia Owens, Planning Technician

Staff Absent: Brittany Skelton, Senior Planner

Members of the Public

1. **5:00 PM SITE VISIT: NexStage Theater Performing Arts Center: 120 South Main Street and 111 South Leadville, Ketchum, Idaho**
2. **5:15 PM SITE VISIT: 8th and Washington Design Review- 191 East 8th Street/ 831 North Washington Avenue, Ketchum, Idaho**
3. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**

Commissioner Lamoureux called the meeting to order at 5:39 PM and noted previous site visits to the NexStage Theater and 8th and Washington.

4. **PUBLIC COMMENT - Communications from the public for items not on the agenda.**
5. **COMMUNICATIONS FROM STAFF**

- a. **191 East 8th Street/ 831 North Washington Avenue, Ketchum, Idaho (Eight & Washington Building Condo): The applicant is proposing to add a new upper floor to the existing structure and to remodel the interior of the existing structure, which will result in 4,105 square feet of commercial space and 4 residential units totaling 3,825 square feet. The property is 0.25 acres and is zoned Light Industrial-1 (LI-1).**

**COMMENTS:**

Austin said that staff recommends that the Commission continue this item because it does not meet some of the approval requirements from the Public Works and Street's Departments.

Public comment:

- Kingsley Murphy, Ketchum resident, said that this project is a perfect mix for how the Light Industrial District should move forward. He added and there has been a lot of work in

maintaining the Light Industrial standard and stated that this will also provide an opportunity for less expensive housing and better transportation throughout the area.

Commissioner Smith made a motion to continue the 8th and Washington Conditional Use Permit and Design Review for 191 East 8th Street and 831 North Washington Avenue to a date certain, which is the 28<sup>th</sup> of November, 2016.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Erin Smith, Commissioner
<b>SECONDER:</b>	Betsy Mizell, Commissioner
<b>AYES:</b>	Cook, Lamoureux, Smith, Mizell

- b. **191 East 8th Street/ 831 North Washington Avenue, Ketchum, Idaho (Eight & Washington Building Condo). The applicant is proposing to add a new upper floor to the existing structure and to remodel the interior of the existing structure, which will result in 4,105 square feet of commercial space and 4 residential units totaling 3,825 square feet. The property is 0.25 acres and is zoned Light Industrial-1 (LI-1).**

**COMMENTS:**

Commissioner Smith made a motion to continue the 8th and Washington Conditional Use Permit and Design Review for 191 East 8th Street and 831 North Washington Avenue to a date certain, which is the 28<sup>th</sup> of November, 2016.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Erin Smith, Commissioner
<b>SECONDER:</b>	Betsy Mizell, Commissioner
<b>AYES:</b>	Cook, Doty, Lamoureux, Smith, Mizell

- c. **120 South Main Street and 111 South Leadville, Ketchum, Idaho (Ketchum Lot 4, Block 1, West 10' of Alley and Ketchum Lot 8, Block 1, East 10' of Alley). The applicant is proposing a complete reconstruction of the existing performing arts facility, which is located on two adjacent lots. The properties are 0.126 acres and 0.126 in size and are zoned Community Core (CC), Sub-district A.**

**COMMENTS:**

Austin said that the proposal is to replace the existing NexStage theater building with a new building. He stated that in terms of meeting city standards, the project meets height, bulk, setback, and lot coverage requirements, but not the parking ordinance. He stated that there is a provision in the new parking code that names an exception for assembly uses from all parking requirements and when that ordinance passes the NexStage will be able to move forward.

Anderson said that the applicant is proposing to demolish the existing NexStage Theater and rebuild a new three-story theater. He added that there will be a black box in addition to the new theater space and pointed out the location of seating, means of egress, offices, and an outdoor seating area.

**Applicants' comments:**

- Jim Garrison, representative of the applicant, said that they are working toward construction by April of next year and stated that they are extremely grateful for the number of letters that came in the support of the project.
- Tim Mott, representative of the applicant, said that they have the goal in mind of starting construction by April 2017 and opening doors by the fall of 2018. He provided a brief history of

the Nexstage Theater and stated that he hopes the project will bring cultural and economic benefits to the local economy. He also explained that they held a meeting with stakeholders involved in the performing arts and noted that this proved to be very helpful because it provided them with a vision of what they needed in a new facility. He then commented that they wanted the facility to feel very vibrant and inclusive and said they expect the building will be used by other groups throughout the community. He later pointed out that in relation to large trucks coming in, when you have theater space such as the Nexstage there are special requirements placed on the people who are going to be using the theater. He then explained that that they are only going to have small productions at the theater, so sets and equipment are always limited and this is written into the contract shared with anyone who will perform there.

- Mike Doty and Brenda Moczygemba, representatives of the applicant, noted features on the existing site plan and pointed out parking spaces. Moczygemba said that there are ten angled parking spaces, three of which are ADA compliant. She pointed out that they are looking to create an indoor/outdoor meeting place, as there could be a dance or something of that nature in that area. She then explained that large elements of glass are incorporated into the building and Doty explained the design of the building, delivery truck access, and stated that the height of the building articulates so that it doesn't become a big long box.
- Rob King, Clemens associates, said that they wanted to articulate the plaza by using features that would complement the building. He stated that they are trying to use materials like wood and steel to provide a substantial definition to the space.

**Public comment:**

- Robert DeGenerao, NexStage Theater board member, said that he is a strong advocate of the arts and what it does for communities. He praised Tim Mott for working to improve the theater and said that this is about more than just a building. He noted that there are a lot of organizations that use this facility and then explained that the next stage board is committed to providing the arts to the surrounding community.
- Carol My, Ketchum resident, said that this project will provide a welcoming and exciting entry point for visitors to the Wood River Valley. She commented that the plaza and lobby will become a meeting area for locals and tourists alike. She stated that the new center will provide a stunning alternative meeting space for organizations and businesses alike. She then said that the theater will also present performances from outside the valley, which will increase the number of visitors coming to the area. She also communicated that she is excited about this project from both a personal and organizational standpoint and would like to see it approved in as quick of a manner as possible.
- Kinsley Murphy, Ketchum resident, said that he fully supports this project and thinks it's a great asset to the community. He noted that a lot of performing arts programs are already in place, but we haven't had a large enough place to put them.
- Kevin Wade, The Spot, said that he is excited about the project as it is filling a huge need for his generation. He also explained that many performing arts programs are in place, yet there isn't a big enough venue to host them. He also commented that there were many people who wanted The Spot to get out of the Light Industrial District and this is the opportunity for them to do so. He then added that the proposed theater will be an opportunity for Ketchum to become a cultural destination and reiterated how important creative place-making is to communities.

- John Carno, general manager of the Limelight Hotel, said that they are very excited about this and look forward to having this project across the street from the new hotel. He added that he hopes they will be able to work together to create supportive spaces for businesses and conferences.
- Mark Eschbin, Ketchum resident, said that unlike most of the country, Ketchum is stagnant and hasn't seen a big increase since 2007-2008. He commented that this stagnation has been due to lack of political will to enrich the community. He also commented that what he sees with the Nexstage is the opportunity to have something that is fully funded with little impact and good for the community. He stated that Ketchum needs some political leadership to recognize a project like this and make it happen in as speedy of a way as possible.
- Brett Williams, Ketchum resident, noted that he is for this project, but pointed out a couple of issues. He commented that only a twenty-four-foot delivery truck backing in has been accounted for, but asked how this would work with a thirty-six-foot truck. He also added that allowing larger trucks to come in may lead to semis and noted the need for a bike rack.
- Cindy Forgen, Best Western Kentwood Lodge owner, said that she is very excited to see the new courtyard and the new building, but is concerned about noise and how it will transfer over to her area. She stated that in the past, a lot of noise transferred over and there have been many guest concerns. She also stated that if there's going to be offices, the proposed nine parking spots will be used quickly. She then commented that the second and third floor is where most of their rooms are and asked if there could be a barrier to help keep out noises. She also noted that streets may not be wide enough to get a thirty-six-foot truck through.
- Dan Turner, community volunteer, said that he finds this project incredibly inspirational and said this will benefit many groups throughout the community. He added that this will be a great asset and asked that this be approved as soon as possible
- Dick Fenton, said that this is a phenomenal project and it will be a great asset to the community. He explained that in time cars will likely disappear more and more and downtowns will evolve to accommodate this type of use.
- Brett Mollenberg, The Spot, said that he represents a lot of kids and he would like to see them have more of a reverence for the arts. He added that this new theater will be a great use of space and asset for the community.

Austin said that this is a pre-application design review and the only decision the Commission should make is to advance the project to design review or not.

**Directives:**

A plan that demonstrates how parking demand is met

Submit some type of analysis or TDM to justify the need for no parking and encouraging use of public transit

Establish some type of program with local businesses for valley parking operation that could be used for major events

Applicant needs to meet the new parking ordinance standards

Addressing larger trucks than what's anticipated

Make materials board with decent sized pieces



Commissioner Mizell motioned to advance the application from Sun Valley Performing Arts Center from Pre-Application Design Review to Design Review. Commissioner Smith seconded.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Betsy Mizell, Commissioner
<b>SECONDER:</b>	Erin Smith, Commissioner
<b>AYES:</b>	Cook, Doty, Lamoureux, Smith, Mizell

- d. **500 N. Washington Ave, Ketchum, ID (Ketchum, Lot 8, Block 15). The applicant is proposing to convert a three-story mixed use building, currently under construction, to condominiums for office, commercial, and residential space. The property is 0.126 acres in size and zoned Community Core (CC) Sub-district C, Urban Residential.**

**COMMENTS:**

Austin said that this is a conversion of an existing structure to condominium units. He also said that the project is on its way to getting a certificate of occupancy and there are no issues with any city departments.

Austin said that he wanted to eliminate condition number ten- a plat note stating that first-floor commercial units are connected to the same water meter and recommend approval of conditions number one through ten.

**Public Comment:**

- Brent Williams, Ketchum resident, asked for clarification on the buildings layout, parking conditions on 5th Street, and affordable housing requirements

Commissioner Mizell motioned to recommend approval to the City Council of the Kneebone Building Preliminary Plat by Kneebone, LLC with conditions one through ten. Commissioner Mizell seconded.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Betsy Mizell, Commissioner
<b>SECONDER:</b>	Erin Smith, Commissioner
<b>AYES:</b>	Cook, Doty, Lamoureux, Smith, Mizell

**6. CONSENT CALENDAR**

- a. **October 24, 2016 Minutes**

**COMMENTS:**

Commissioner Mizell moved approved the minutes from October 24, 2016 as amended. Commissioner Smith seconded.

**7. FUTURE PROJECTS AND NOTICING REQUIREMENTS**

Anderson mentioned the following future projects:

- 8th and Washington on November 28
- Bracken Station on December 12 with application materials due on November 23.

**8. STAFF REPORTS & CITY COUNCIL MEETING UPDATE**

Austin said that the Warm Springs Ranch Resort is scheduled for December 5<sup>th</sup>.

**9. Commission reports and ex parte discussion disclosure****10. ADJOURNMENT**

Commissioner Mizell motioned to adjourn and Commissioner Smith seconded.