



PLANNING AND ZONING COMMISSION AGENDA

Monday, March 13, 2017

Ketchum City Hall

480 East Avenue North, Ketchum, ID 83340

1. **5:00 PM- SITE VISIT: Sun Valley Mixed Use Project - 231 Sun Valley Road, Ketchum Idaho (Lot 8 Remainder, Block 17, Section 18, Township 4)**
2. **5:15 PM- SITE VISIT: Angel Wings Retail Addition - 320 North Leadville Ave, Ketchum Idaho (Ketchum Lot 2 Block 24)**
3. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**
4. PUBLIC COMMENT - Communications from the public for items not on the agenda.
5. COMMUNICATIONS FROM STAFF
 - a. Discussion on Emergency Ordinance 1169 of the City of Ketchum, Finding an Imminent Peril to the Public Health, Safety or Welfare Due to Pending Litigation and Therefore Amending Ketchum City Code 17.124.040 To Provide for A Floor Area Exceedance Agreement and Clarify the Administrative Procedures of Such Chapter; Providing a Savings and Severability Clause; And Providing An Effective Date - City Administrator Suzanne Frick and Matthew Johnson, City Attorney
 - b. Public Hearing - *Continued from February 13, 2017, and February 27, 2017*: Knudson Conditional Use Permit 491 East 10th Street, Ketchum, Idaho (Tenth St Light Industrial Complex, Building A Unit 1): The Commission will consider and take action on an application for a Conditional Use Permit application for a live-work studio.
 - c. Sun Valley Mixed Use Project, 231 Sun Valley Road, Ketchum, Idaho (Lot 8 Remainder, Block 17, Section 18, Township 4): The Commission will consider and take action on Design Review approval for a new two story building to be used for residential and commercial use.
 - d. Angel Wings Retail Addition, 320 North Leadville Ave Ketchum, Idaho (Ketchum Lot 2 Block 24) The Commission will consider and take action on Design Review approval for a commercial addition.
 - e. Zoning Code Amendments, Phase II - Dark Sky Chapter Text Amendment: Text amendments to the City of Ketchum Municipal Code to amend Ordinance 1135, Title 17 Zoning Code, Chapter 17.132 "Dark Skies" Section 17.132.010 "General Provisions" and Section "17.132.020 "Criteria." The proposed amendments to Chapter 17.132 "Dark Skies" will include amendments to establish a dark sky lighting curfew, establish standards for holiday lighting, and establish lighting color temperature and photometric standards.
6. CONSENT CALENDAR
 - a. Minutes: February 13, 2017
 - b. Minutes: February 27, 2017
 - c. Argyros Performing Arts Center Design Review (Ketchum Lot 4, Block 1, West 10' of Alley and Ketchum Lot 8, Block 1, East 10' of Alley): Findings
7. FUTURE PROJECTS AND NOTICING REQUIREMENTS
8. STAFF REPORTS & CITY COUNCIL MEETING UPDATE
9. COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE
10. ADJOURNMENT

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF March 13th, 2017

PROJECT: 491 E. 10th Street

FILE NUMBER: #17-001

OWNERS: Lynn Knudson

REPRESENTATIVE: Lynn Knudson

REQUEST: Conditional Use Permit (CUP) for residential use in the Light Industrial-Number Two (LI-2) zoning district.

LOCATION: 491 E. 10th Street
(Tenth St Light Industrial Building A Unit 1)

ZONING: Light Industrial District Number Two (LI-2)

OVERLAY: None

NOTICE: Notice was mailed to Property owners within 300 foot radius of subject property were mailed notice on January 23rd, 2017. Notice was posted in three public City locations on January 23rd, 2017 and on site on January 23rd, 2017. Continuation of the public hearing from February 13, 2017 to February 27, 2017 was announced at the February 13, 2017 meeting. Continuation of the public hearing to March 13, 2017 was announced at the February 27, 2017 meeting.

REVIEWER: Carl Anderson, Associate Planner

Background

1. The applicant is requesting a conditional use permit (CUP) for one (1) 440 sq. ft. live-work residential unit within the Light Industrial-Number Two (LI-2) zoning district. Residential uses within the LI-2 are permitted as a conditional use in this zone with restrictions. The site property is located at 491 E. 10th Street (Tenth St. Light Industrial Building A Unit 1).
2. Recently, the applicant planned for a family member to occupy the property as an art studio/live-work unit and discovered that there had been no application for a conditional use permit field with the City of Ketchum permitting the residential use of the property. Plans were submitted, and a building permit had been approved for the addition of a single garage door, the replacement of a second garage door with one of the same size, the removal of an existing window on the second level, and the demolition of interior walls on the upper level. Upon final inspection the Fire Marshal found that the interior had been prepared for residential use. The Ketchum Building Official inspected the property and determined that the unit was not code compliant and that certain work needed to be performed.

3. The applicant is currently working with Ketchum Building Official in determining the necessary changes to bring the residential unit into code compliance. Upon approval of the conditional use permit, the applicant will proceed with plans and building permit submittal.
4. The Conditional Use Application was continued at the February 13th meeting to the February 27th Planning and Zoning meeting. The Conditional Use Application was continued at the February 27th meeting the March 13th Planning and Zoning meeting.

Conditional Use Permit Overview

The Planning and Zoning Commission must determine if a Conditional Use Permit can be approved for the proposed addition of one (1) residential unit to the existing commercial use in the LI-2 district. According to the Zoning Ordinance, conditional uses by definition possess characteristics that require review and appraisal by the Commission to determine whether or not the use would cause any public health, safety or welfare concerns. Conditional uses may only be allowed if the Commission determines there would be no impact to the public health, safety and welfare of the community.

17.116.030 Conditional Use Permit Criteria:

1. A conditional use permit may be granted by the commission only if the applicant demonstrates that:
 - A. The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district;
 - B. The conditional use will not materially endanger the health, safety and welfare of the community;
 - C. The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood;
 - D. The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area, or conditions can be established to mitigate adverse impacts;
 - E. The conditional use is not in conflict with the policies of the comprehensive plan or the basic purposes of the Zoning Ordinance.

Should the Commission agree a CUP can be approved, they may attach additional conditions to the application approval as it determines necessary in order to make the uses more compatible with the vicinity and adjoining uses, mitigate impacts, and allow for health, safety and welfare. Such conditions may include, but are not limited to:

- A. Minimizing adverse impact on other development.
- B. Controlling the sequence and timing of development.
- C. Controlling the duration of development.
- D. Assuring that development is maintained properly.
- E. Designating the exact location and nature of development.
- F. Requiring the provision for on site or off site public facilities or services.
- G. Requiring more restrictive standards than those generally required in an ordinance.
- H. Requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the city. (Ord. 1135, 2015)

Additionally, section 17.124.090 of the Ketchum Municipal Code pertaining to residential standards in the Light-Industrial district states that the following conditions may be attached to the conditional use permit:

- A. Access to the apartments relative to design and relationship to light industrial uses;
- B. Location of residential and light industrial parking on the site;
- C. Restrictions on exterior storage of personal property of tenants;
- D. Certificate of occupancy required prior to occupancy of units;

- E. Ketchum fire department and Ketchum building department requirements shall be met prior to occupancy;
- F. Permit shall be reviewed when light industrial occupancies within the building change;
- G. Snow removal required to ensure utility of residential spaces;
- H. Such proof of long term occupancy as deemed appropriate;
- I. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; and/or
- J. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A9 of this section.

COMPREHENSIVE PLAN ANALYSIS

Staff finds the proposed residential unit, which is located in a land use district designated by the Comprehensive Plan for Mixed-Use Industrial use is consistent with the uses, goals and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	SUMMARY OF COMPLIANCE OF PROPOSED AMENDMENTS WITH THE 2014 COMPREHENSIVE PLAN
Future Land Use	
Mixed Use Industrial	<p>Primary Uses: Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development with this district.</p> <p>Secondary Uses: A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</p> <p>Characteristics and Location: The Mixed-Use industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</p>
Community Design and Neighborhoods	
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
A Strong and Diverse Economy	
Policy E-2 (e) Live-Work Opportunities and Home Businesses	Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.

STAFF RECOMMENDATION

Staff recommends approval of the application and supporting plans as presented.

COMMISSION OPTIONS

1. **Denial of the Application:** “Motion to deny the application from owner Lynn Knudson for a Conditional Use Permit application for a residential live-work unit in the Light Industrial Two (LI-2), finding the application **does not** meet the standards for approval under Chapter 17.116 of Ketchum Zoning Code, **for the following reasons:** [cite findings for denial].”
2. **Approval of the Application:** “Motion to approve the application from owner Lynn Knudson for a Conditional Use Permit application for a residential live-work unit in the Light Industrial Two (LI-2), finding the application **does** meet the standards for approval under Chapter 17.116 of Ketchum Zoning Code, **only if the following conditions are met:** [insert conditions of approval here]”
3. **Continuation of the Application:** “Motion to continue the application from owner Lynn Knudson to a date certain of [insert date of meeting].”

RECOMMENDED CONDITIONS

1. Ketchum City Engineer, Streets, Utilities, Fire, Planning and Building Department requirements shall be met, including all departmental conditions as described in Table 1;
2. All building and fire code requirements as dictated by 2012 family of international building codes shall apply to all construction onsite;
3. Per Title 17, Section 17.116.080: TERM OF PERMITS: Conditional Use Permit approval shall expire one (1) year from the date of approval if not acted upon within that time frame;
4. This Conditional Use Permit approval is based on representations made and other components of the application presented and approved at the meeting on March 13th, 2017. Any building discrepancies which do not conform to the approved plans will be subject to removal;
5. Dwelling units shall be owner occupied or used for “long-term occupancy” defined as a minimum of ninety (90) consecutive days, and shall not be separated in any manner for sale as individual units;
6. No greater than fifty (50) percent of the building shall be devoted to dwelling units;
7. All rental, sales and marketing of dwelling units shall include notice of the unit’s location within the light industrial district and that conflict may arise between light industrial uses and residential uses;
8. The city of Ketchum will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use;
9. Conditional Use Permit elements shall be completed prior to final inspection/occupancy; and
10. Plans shall be stamped by an architect prior to submission for a building permit.

ATTACHMENTS:

- A. Table 1: Requirements for All Applications
- B. Table 2: Zoning Standards Analysis
- C. Table 4: Standards for Residential, Light Industrial Districts
- D. Table 3: Conditional Use Permit Requirement
- E. Application
- F. Floor Plans dated March 8th, 2017
- G. Site photo

Attachment A.

Table 1: Requirements for All Applications

City Department Comments			
Compliant			
Yes	No	N/A	City Code
			City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.040
			Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Police Department: <i>None at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. <u>IF</u> a monitored fire detection system exists or is installed, it shall meet NFPA 72 and be monitored by an approved alarm monitoring station. Smoke detectors shall be installed as follows: 1. On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms. 2. In each room used for sleeping purposes. Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. The appropriate keys, for emergency fire department access, shall be provided and installed in the existing Knox box. <u>If the kitchen is used for commercial use such as cooking classes,</u> the kitchen exhaust hood and duct system required by Section 609 to have a Type I hood shall be protected with an approved automatic fire-extinguishing system installed in accordance with this code.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Public Works: <i>No Comment at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utilities: <i>None at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parks/Arborist: <i>None at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: Occupancy can be issued, when the following code requirements are met: <ol style="list-style-type: none"> 1. Provide documentation of total construction cost of actual work completed, which includes material & labor. 2. Water heater seismic strap installed. 3. Handrails installed. 4. Emergency egress window in bedroom. 5. The building inspector wants the applicant to provide an accurate floor plan by a design professional. 6. Must secure a conditional use permit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the staff report.

Attachment B.
Table 2: Zoning Standards Analysis

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Lot Area
			Staff Comments	Required: 8,000 square feet minimum. Existing: No change to existing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030 & 17.128.020.C	Setbacks and Supplementary Yard Requirements
			Staff Comments	Not applicable; there is no change to the existing building coverage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage
			Staff Comments	Permitted: 75% Proposed: Not applicable; there is no change to the existing building coverage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Staff Comments	Required: Maximum building height permitted in the LI-2 is 35', but a 5' increase in height is permitted when the maximum vertical distance from the lowest exposed finished floor to the highest point of the roof shall be no more than five feet (5') greater than the maximum height permitted in the zoning district. Proposed: No Change to existing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	Curb Cut
			Staff Comments	Required: 17.125.030: Off Street Parking Space H. A maximum of thirty five percent (35%) of the linear footage of any street frontage can be devoted to access to off-street parking. Corner lots that front two (2) or more streets may select either or both streets as access but shall still not devote more than thirty five percent (35%) of the total linear footage of street frontage to access to off-street parking. Proposed: No Change to existing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A. 2 & 17.125.050	Parking Spaces
			Staff Comments	Required: Off-Street parking standards of this chapter apply to any new development and to any new established uses. The applicant is establishing a commercial studio use and dwelling unit. "Commercial studio" is a permitted use in the LI-2 district. Encompassed in the definition of "commercial studio" are artists and artisans, including individuals practicing, teaching, or demonstrating in one of the fine arts or performing arts, or skilled in an applied art or craft, and recording studios. The Off Street parking Matrix (17.125.050G) does not specify a parking ratio for Commercial Studios, but a parking ratio for Recording Studio is defined as 1 space per 500 square feet + adequate loading area for trucks. Since the commercial studio use is related to fine art and not a recording studio, and bulky recording studio equipment and instruments will not be a part of the use, staff is calculating parking for the commercial studio at 1 space per 500 square feet. Residential Units, Industrial Districts: One (1) space per bedroom.

				<table border="1"> <thead> <tr> <th><i>Use</i></th> <th><i>Square Footage/# of bedrooms</i></th> <th><i>Parking Spaces Required</i></th> </tr> </thead> <tbody> <tr> <td><i>Dwelling Unit</i></td> <td><i>1 bedroom</i></td> <td><i>1 parking space</i></td> </tr> <tr> <td><i>Commercial Studio</i></td> <td><i>668 square feet</i></td> <td><i>1.34 parking spaces</i></td> </tr> <tr> <td>Total</td> <td></td> <td><i>2 parking space</i></td> </tr> </tbody> </table>	<i>Use</i>	<i>Square Footage/# of bedrooms</i>	<i>Parking Spaces Required</i>	<i>Dwelling Unit</i>	<i>1 bedroom</i>	<i>1 parking space</i>	<i>Commercial Studio</i>	<i>668 square feet</i>	<i>1.34 parking spaces</i>	Total		<i>2 parking space</i>
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Total		<i>2 parking space</i>														
				<p>Existing: <i>There are three (3) parking spaces on the west-side of the property on the lower-level: one (1) parking space adjacent to the building and two (2) interior parking spaces.</i> Total: 3</p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	Off Street Loading Areas												
			Staff Comments	<p>Required: <i>In the LI-1, LI-2 and LI-3 districts, off street loading areas (containing 180 square feet with no 1 dimension less than 10 feet) shall be required as an accessory use for new construction or major additions involving an increase in floor area, as follows: One off street loading space for floor area in excess of two thousand (2,000) square feet, provided no loading space occupies any part of a public street, alley, driveway or sidewalk; except, that where practicable to do so, an alley may be used in lieu of the requirement of this section if prior permission is granted by the commission.</i></p> <p>Proposed: <i>Not applicable; this application does not include new construction or an addition.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.140, 17.12.020, & 17.08.020	Zoning Matrix & Definitions												
			Staff Comments	<p>17.18.150 - A. Purpose. <i>The LI-2 light industrial district number 2 is established to provide for a permanent year round employment base and the location of light manufacturing, wholesale trade and distribution, research and development, service industries, limited related, bulk retail and offices related to building, maintenance and construction and which generate little traffic from tourists and the general public.</i></p> <p>17.12.020 Dwelling, multi-family: Multi-family dwelling units are allowed in the LI-2 district with a conditional use permit. See section 17.124.090 for development standards for industrial district residential. Proposed: <i>The applicant is proposing a live-work unit which will devote 440 sq. ft., of the existing structure, to be utilized as shared residential use, in conjunction with the existing commercial uses on site.</i></p> <p>17.08.020 – Definitions Mixed Use: Properties on which various uses, such as office, commercial, institutional, and residential, are combined in a single building or on a single site in an integrated development project with significant functional interrelationships and a coherent physical design.</p> <p>Studio, Commercial: Work space within an enclosed structure for artists and artisans, including individuals practicing one of the fine arts or performing arts, or skilled in an applied art or craft. Also includes recording studios. Incidental retail sales of items produced on the premises is allowed. A commercial studio may hold occasional events solely and exclusively in connection with the permitted uses conducted by the commercial studio. The events shall be subordinate in nature to the commercial studio and subject to the standards of section 17.124.150 of this title.</p>												

				<p>Dwelling, multi-family: A building, under single or multiple ownership, containing two (2) or more Dwelling Units used for Residential Occupancy.</p> <p>Short Term Occupancy: The rental or lease of any unit or structure or portion for a period of not more than thirty (30) days. See also Tourist Housing Accommodation.</p>
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Attachment C.

Table 3: Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	1. Dwelling units shall not occupy the ground floor.
			Staff Comments	<i>As the property address is 491 E. 10th Street, the lower level has been determined to be the ground floor. There are no dwelling units proposed on the lower lever. The residential space (bedroom/office and shared bathroom) for the proposed project is primarily located on the middle/mezzanine floor, with a shared kitchen located on the top floor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	2. Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Staff Comments	<i>Due to the nature of the project, which is an interior remodel only, the requirement for Design review under chapter 17.96 is has been waived for this project by the administrator.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	3. Up to fifty percent (50%) of any light industrial building may be devoted to dwelling units, unless otherwise specified in the section.
			Staff Comments	<p><i>The proposed gross square footage of the building is 2,040sf. The breakdown of the total square footage is as follows:</i></p> <p><i>(Level 3) Top floor: 969 sf</i> <i>(Level 2) Middle/mezzanine floor: 486 sf</i> <i>(Level 1) Lower level: 956 sf</i> <i>Total sf = 2411sf</i></p> <p><i>Residential:</i> <i>Bedroom: 203 sf.</i> <i>Shared Bathroom: 93 sf</i> <i>Shared Kitchen: 96 sf</i> <i>Connecting Hall from bedroom to bathroom: 69 sf</i> <i>Total residential sf = 461</i></p> <p><i>The applicant proposes devoting 19.12% of the building to residential use.</i> <i>The total residential square footage devoted to residential space is 461sf.</i> <i>Approximately 1,950 square feet of the building is devoted to a combination of storage/parking and commercial studio (art studio) space.</i></p> <p><i>Note: Parking areas covered by a roof or portion of the building and enclosed on three (2) or more sides by building walls are included into the gross floor area calculation. See Ketchum code 17.08.020 Definitions: Floor Area, Gross for full definition.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	4. Dwelling units shall be owner occupied or used for "long term occupancy", defined as a minimum of ninety (90) consecutive days, and shall not be separated in any manner for sale as individual units.
			Staff Comments	<p><i>The applicant has stated that the dwelling unit shall be used for long term occupancy by the owner and/or immediate family member(s).</i></p> <p><i>No portion of the space may be devoted to short term occupancy as defined by city of Ketchum Code Ch. 17.08.020 Short Term Occupancy: The rental or lease of any unit or structure or portion for a period of not more than thirty (30) days. See also Tourist Housing Accommodation.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	5. Dwelling units shall be a minimum of four hundred (400) square feet and shall not exceed one thousand (1,000) square feet total and shall contain

				not more than two (2) bedrooms, unless otherwise specified in this section.
			Staff Comments	<i>The proposed dwelling unit is above the minimum of four hundred (400) square feet and does not exceed one thousand (1,000) square feet total. The proposed dwelling unit has one (1) bedroom and therefore does not contain more than two (2) bedrooms. See staff comments in section 17.124.090 A (3) for a breakdown of residential unit square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	6. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
			Staff Comments	<i>The applicant is aware of this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (7)	7. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
			Staff Comments	<i>All persons who rent or sublet any residential living unit will notify the tenant, lessee or subtenant with written notice that the unit is located within the light industrial zone, and is therefore subordinate in nature to all legal light industrial activities.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	8. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone
			Staff Comments	<i>All future real estate agents, sales person, broker, and/or each private party who offers for rent or show any of the dwelling units located in the proposed building, shall provide written notice that the building is located within such light industrial zone.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	9. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.
			Staff Comments	<i>The applicant will meet this requirement.</i>

Attachment D.

Table 4: Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A) CONDITIONAL USE	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.
			Staff Comments	<p><i>The Light Industrial two (LI-2) district allows for one of the widest varieties of uses in the zoning code use matrix; uses ranging from manufacturing to personal service to warehousing and wholesaling to automotive uses are permitted.</i></p> <p><i>Multi-family dwelling units are permitted only with a conditional use permit in the LI-1, LI-2 and LI-3 with the condition that they comply with Ketchum zoning code 17.124.090, the Residential Development Standards for the light industrial districts. For residential development in the light industrial, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units, unless otherwise specified in the section.</i></p> <p><i>The proposed project is compliant with all standards from Ketchum zoning code 17.124.090. For staff comment, see Table 3: Standards for Residential, Light Industrial Districts.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	The conditional use will not materially endanger the health, safety and welfare of the community.
			Staff Comments	<p><i>The proposed live-work space is well suited for the location at 491 E. 10th Street. The property is on the edge of the LI-2 district and has access from both E. 10th Street and State Highway 75. The building is surrounded by a mix of both industrial and office use, with some residential uses in close proximity, and is anticipated to be well suited for the neighborhood.</i></p> <p><i>The property is an existing use and the building is currently being supported by adequate public facilities and services.</i></p> <p><i>The Tenth Street Light Industrial Building currently has one similar live-work unit in existence that has received conditional use approval for the residential use of the space. This project was approved in 2011 under similar circumstances.</i></p> <p><i>The proposed project is consistent with the types of uses in the neighborhood. The proposed residential use, in the form of a live-work unit, is not expected to materially endanger the health, safety and welfare of the community.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.
			Staff Comments	<p><i>The proposed project is not anticipated to significantly increase the amount of pedestrian and/or vehicular traffic associated with the existing use.</i></p> <p><i>The total residential square footage devoted to residential space is 461 square feet. Approximately 1,950 square feet of the building is devoted to a combination of commercial storage, and art studio space.</i></p> <p><i>The conditional use to utilize 461 square feet of the proposed unit is not anticipated to be hazardous or in conflict with existing and anticipated traffic in the neighborhood.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.
			Staff Comments	<p><i>The building is currently being supported by public facilities and services. The conditional uses can continue to be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area.</i></p> <p><i>The fire department has reviewed the application and has determined that they can provide adequate services to the project. The police department has no comment on the project.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this Section.
			Staff Comments	<p><i>The Comprehensive Plan designates the property for mixed-industrial use. Primary uses specified include: light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district. Secondary uses specified include: a limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p><i>The Comprehensive Plan also designated that the Mixed-Use Industrial category is intended to provide critical lands for Ketchum's economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p> <p><i>The project contains both a designated primary use of a studio and a designated secondary use of a housing type. Therefore, the proposed live-work project is consistent with the uses specified within the Comprehensive Plan, as well as Policy E-2 (e) Live-Work Opportunities and Home Businesses which states: "support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards." (Ketchum 2014 Comprehensive Plan, pg. 17).</i></p> <p><i>The Commission must decide if the uses proposed are appropriate for the site and the location and are necessary to serve the LI district.</i></p>

Attachment E. Application



City of Ketchum
Planning & Building

**CERTIFIED
COMPLETE**

11/10/17

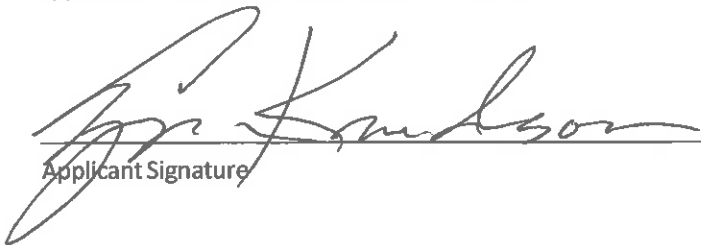
OFFICIAL USE ONLY	
File Number:	17-001
Date Received:	1-9-17
By:	K. Owens
Fee Paid:	\$300
Approved Date:	
Denied Date:	
By:	C. Anderson

Conditional Use Permit Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code. Fence heights are regulated in Title 17 of the Ketchum Municipal Code.

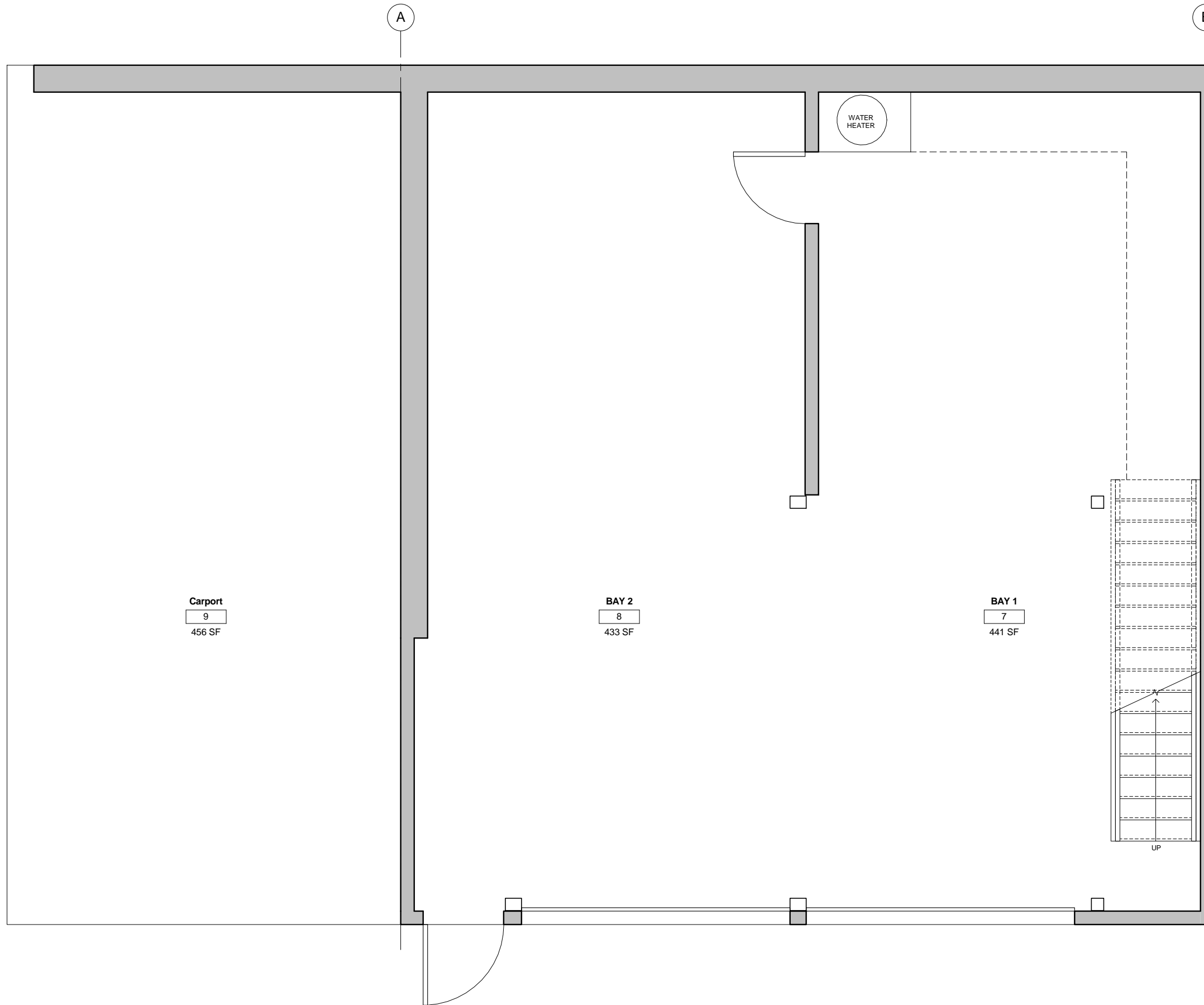
OWNER INFORMATION	
Name: Lynn Knudson	
Name of Owner of Record: Lynn Knudson	
Physical Address: 491 E. 10th Street	
Property Legal Description: A unit 1 10th Street light industrial complex	
Property Zoning District: light industrial - 2	
Contact Phone: 208 3095166	Contact Email: Lynn@Knudson3.com
PROJECT INFORMATION	
Description of Proposed Conditional Use: Art studio/life work	
Description of Proposed and Existing Exterior Lighting: no change	
ADDITIONAL COMMENTS	
Garage	

The applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, its officers and employees from all liability claims, suits and costs arising from incidents or accidents occurring under this permit. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.


Applicant Signature

1/10/17
Date

Attachment F. Floor Plans



BUILDING INFORMATION

CONSTRUCTION TYPE: V-B
 OCCUPANCY CLASSIFICATION:
 B-BUSINESS; U-UTILITY
 ZONING DISTRICT: LIGHT INDUSTRIAL - 2
 CONDITIONAL USE: LIVE/WORK
 BUILDING AREAS:
 LEVEL 1 (U-UTILITY):
 956 SF GROSS
 883 SF NET
 LEVEL 2 (B-BUSINESS):
 486 SF GROSS
 389 SF NET
 LEVEL 3 (B-BUSINESS):
 969 SF GROSS
 885 SF NET
 NOTE: GROSS AREAS INCLUDE
 EXTERIOR WALLS AND STAIRS ON
 ALL LEVELS. NET AREAS DO NOT
 INCLUDE EXTERIOR OR PARTY
 WALLS, OR UPPER LEVELS OF
 STAIRS

Gallery COCO

491 E. 10th Street
 Ketchum, ID
 83340

The Office of
 ARCHITECT SUSAN DESKO AIA

sdesko@susandesko.com

① AS BUILT LEVEL 1 FLOOR PLAN
 1/2" = 1'-0"

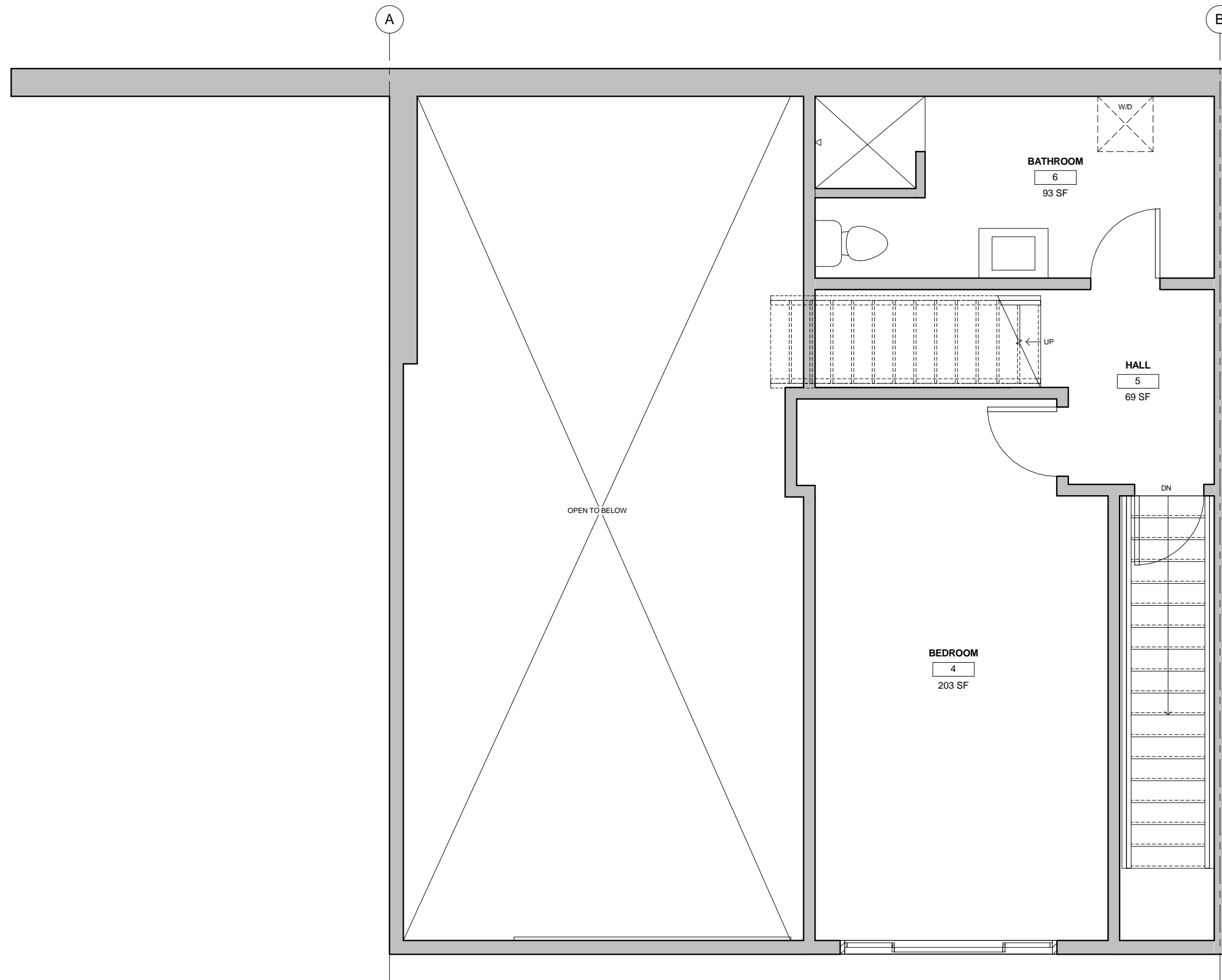
11x17 SHEETS PRINTED HALF SCALE

Drawing:
 AS-BUILT LEVEL 1 FLOOR
 PLAN

Date:
 03/08/17

Scale:
 1/2" = 1'-0"

No:
 A101



BUILDING INFORMATION

CONSTRUCTION TYPE: V-B
 OCCUPANCY CLASSIFICATION:
 B-BUSINESS; U-UTILITY
 ZONING DISTRICT: LIGHT INDUSTRIAL - 2
 CONDITIONAL USE: LIVE/WORK
 BUILDING AREAS:
 LEVEL 1 (U-UTILITY):
 956 SF GROSS
 883 SF NET
 LEVEL 2 (B-BUSINESS):
 486 SF GROSS
 389 SF NET
 LEVEL 3 (B-BUSINESS):
 969 SF GROSS
 885 SF NET
 NOTE: GROSS AREAS INCLUDE
 EXTERIOR WALLS AND STAIRS ON
 ALL LEVELS. NET AREAS DO NOT
 INCLUDE EXTERIOR OR PARTY
 WALLS, OR UPPER LEVELS OF
 STAIRS

Gallery COCO

491 E. 10th Street
 Ketchum, ID
 83340

The Office of
 ARCHITECT SUSAN DESKO AIA

sdesko@susandesko.com

① AS BUILT LEVEL 2 FLOOR PLAN
 1/2" = 1'-0"

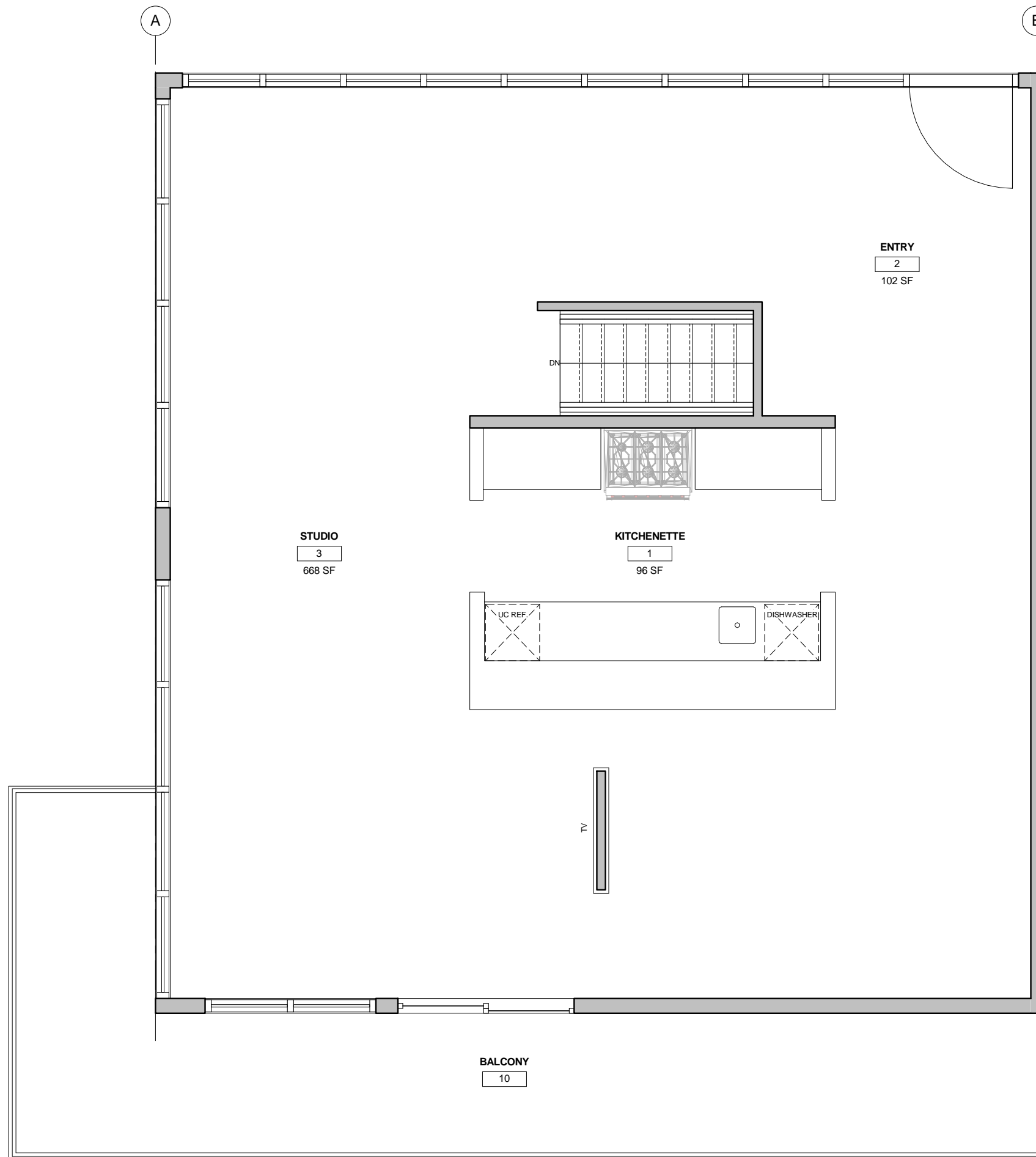
Drawing:
 AS BUILT LEVEL 2 FLOOR
 PLAN

Date:
 03/08/17

Scale:
 1/2" = 1'-0"

No:
 A102

11x17 SHEETS PRINTED HALF SCALE



BUILDING INFORMATION

CONSTRUCTION TYPE: V-B
 OCCUPANCY CLASSIFICATION:
 B-BUSINESS; U-UTILITY
 ZONING DISTRICT: LIGHT INDUSTRIAL - 2
 CONDITIONAL USE: LIVE/WORK

BUILDING AREAS:
 LEVEL 1 (U-UTILITY):
 956 SF GROSS
 883 SF NET
 LEVEL 2 (B-BUSINESS):
 486 SF GROSS
 389 SF NET
 LEVEL 3 (B-BUSINESS):
 969 SF GROSS
 885 SF NET
 NOTE: GROSS AREAS INCLUDE
 EXTERIOR WALLS AND STAIRS ON
 ALL LEVELS. NET AREAS DO NOT
 INCLUDE EXTERIOR OR PARTY
 WALLS, OR UPPER LEVELS OF
 STAIRS

Gallery COCO
 491 E. 10th Street
 Ketchum, ID
 83340

The Office of
 ARCHITECT SUSAN DESKO AIA

sdesko@susandesko.com

Drawing:
 AS BUILT LEVEL 3 FLOOR
 PLAN

Date:
 03/08/17

Scale:
 1/2" = 1'-0"

No:
 A103

① AS BUILT LEVEL 3 FLOOR PLAN
 1/2" = 1'-0"

11x17 SHEETS PRINTED HALF SCALE

Attachment G. Site Photo

5
DECKLEIN
BLISHING

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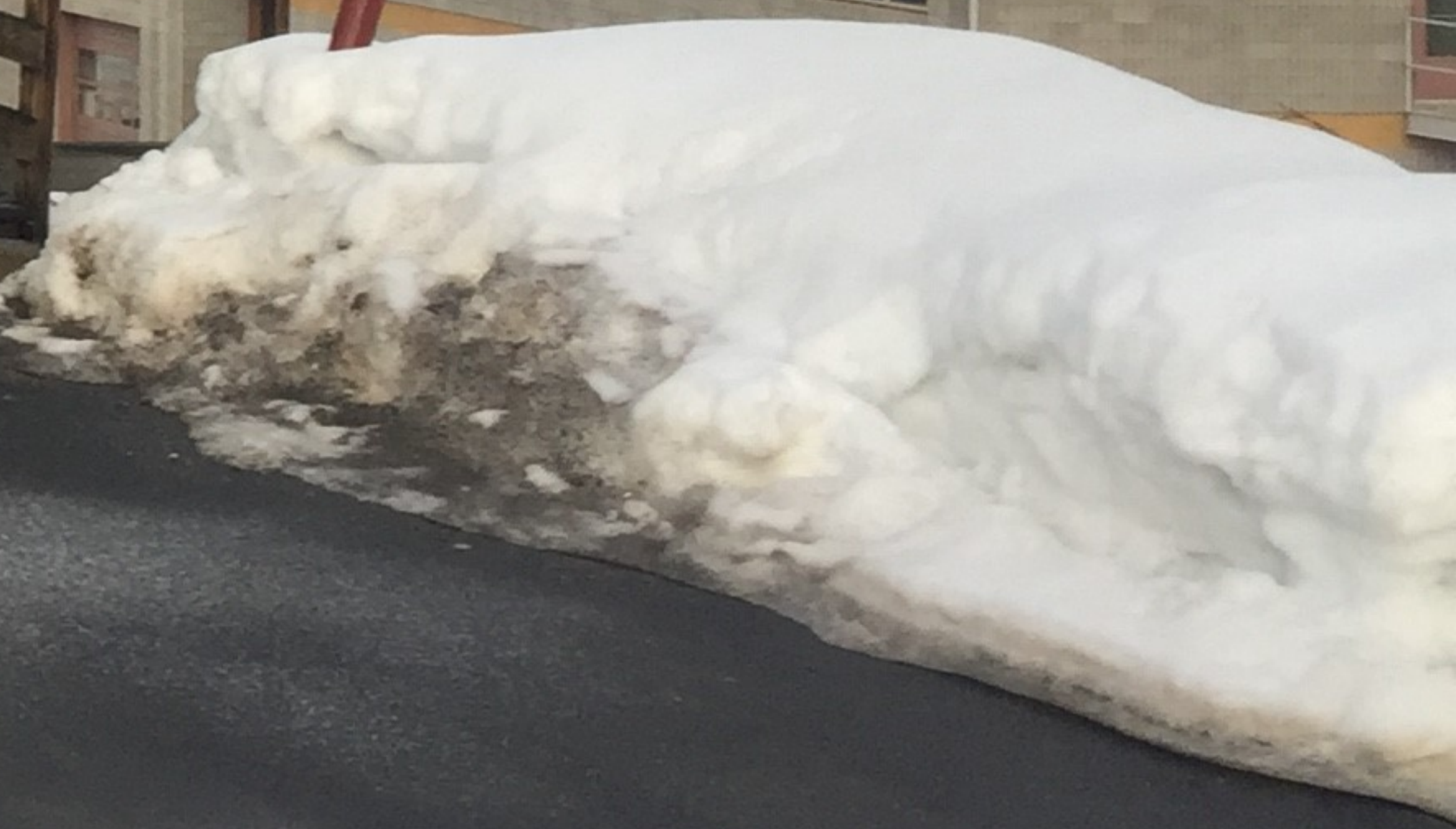
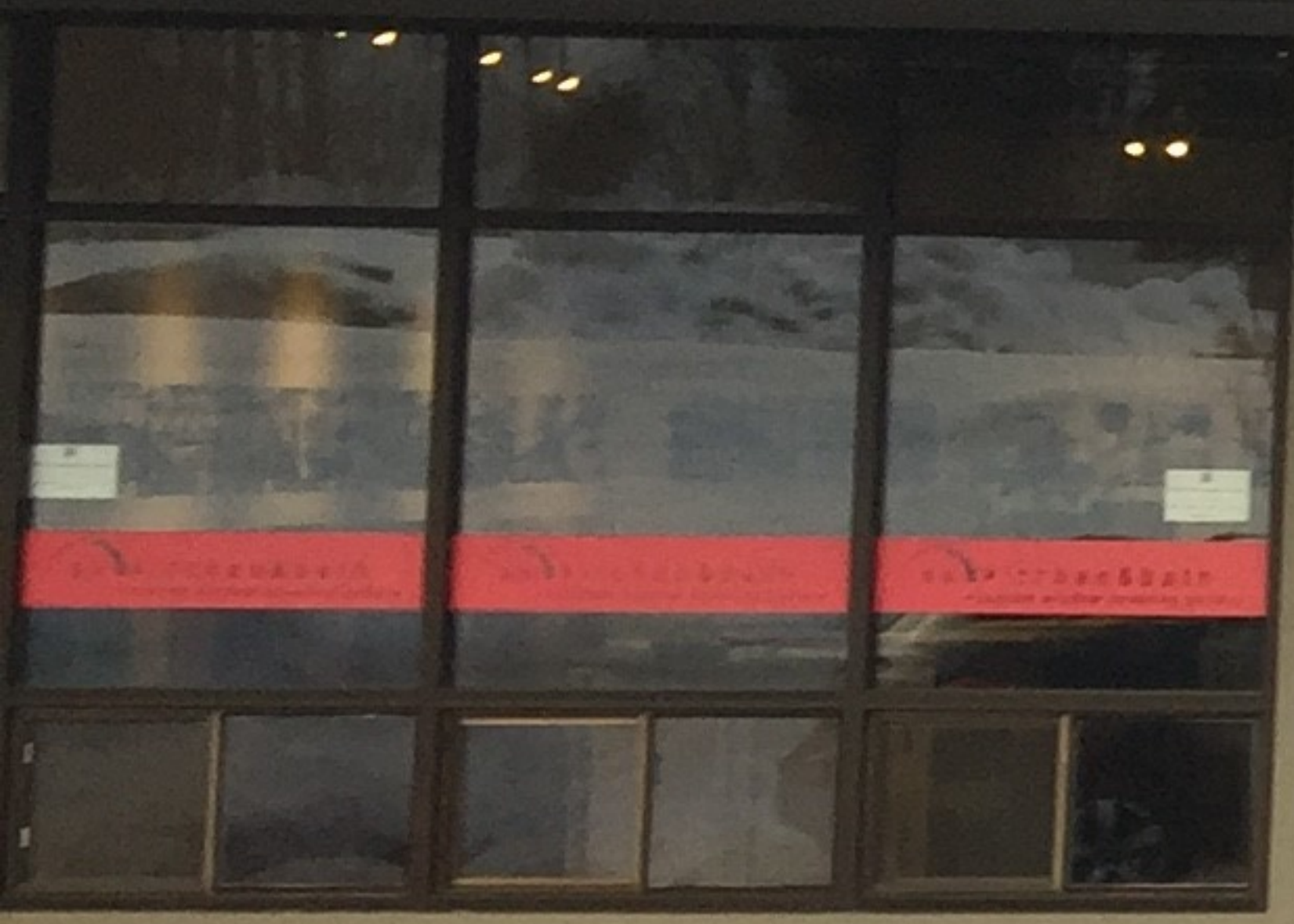
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301 BEL
INDUSTRIAL &



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF March 13th, 2017

PROJECT: 231 E. Sun Valley Road Mixed Use Project

FILE NUMBER: #17-009

OWNER: Devin Piscitelli

REPRESENTATIVE: EOS Architecture, INC.

REQUEST: Design Review approval for a new two story mixed-use residential and commercial building with a third floor roof deck.

LOCATION: 231 E. Sun Valley Road
(Ketchum, Lot E 75' of Lot 8 BLK 17)

ZONING: Community Core sub district Urban Residential (CC-C)

OVERLAY: None

NOTICE: Notice was mailed to Property owners within 300 foot radius of subject property were mailed notice on February 28th, 2017. Notice was posted in three public City locations on February 28th, 2017.

REVIEWER: Carl Anderson, Associate Planner

BACKGROUND

The site property is located in the Community Core Urban Residential Sub-district (CC-C). The lot is currently a non-conforming lot with a total of 4,124 square feet and is, located at 231E. Sun Valley Road (Ketchum, Lot E 75' of Lot 8 Block 17). The applicant is proposing to construct a two-story mixed used building, which will have a total square footage of 4,928 square feet. The applicant is proposing to use the ground floor be as retail space and to use the second floor for one residential condominium unit. The third floor contains 238 square feet which is primary used as a stairwell and circulation area to provide access to the third floor roof deck.

The site received Design Review approval on August 10th, 2015. The approval was for a 7,826 square foot mixed use residential and commercial building. The approval expired one year from the approval date and no request to extend the approval was submitted to the City of Ketchum Planning and Building Department. Additionally, the revisions to the proposed mixed-use building are significant and require Design Review approval from the Planning and Zoning Commission. The requirement for Pre-Application Design Review has been waived for this project.

ANALYSIS

The purpose of Design Review is to maintain and enhance appearance, character, beauty and function of the city, to ensure that new development is complementary to the design of existing city neighborhoods and to protect and enhance the economic base of the City of Ketchum. Design review is required for building, developing, or substantially altering the exterior of the following buildings or projects in all zoning districts:

1. Non-residential use
2. Public or semi-public use
3. Multi-family dwellings, including attached and detached townhomes
4. Mixed use
5. Any structure with an original construction date of 1940 or earlier

Design Review approval may be granted by the Commission only if the applicant demonstrates that:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to all applicable standards and criteria as set forth in this chapter, 17.96: Design Review, and any other standards as adopted or amended by the City of Ketchum from time to time.

As demonstrated in the supporting attachments staff believes the applicant has addressed all of the Design Review standards. Should the Commission agree, the Commission may allow the applicant to move forward with Design Review and may attach additional conditions to approval as it determines necessary to ensure the health, safety, or welfare of the public. All conditions must cite the appropriate standard for imposing such condition. Such conditions include, but are not limited to:

1. Ensuring compliance with applicable standards.
2. Requiring conformity to approved plans and specifications.
3. Requiring security for compliance with the terms of the approval.
4. Minimizing adverse impact on other development.
5. Controlling the sequence, timing and duration of development and ongoing maintenance.
6. Requiring more restrictive standards than those generally found in the Ketchum Municipal Code.

COMPREHENSIVE PLAN ANALYSIS

Staff finds the proposed new construction of the mixed-use of retail space is consistent with the uses, goals and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	SUMMARY OF COMPLIANCE OF PROPOSED AMENDMENTS WITH THE 2014 COMPREHENSIVE PLAN
Future Land Use	
Mixed-Use Commercial	<p>Primary Uses: The Mixed-Use Commercial category is intended to promote a wide range of land uses, including offices, medical facilities, health/wellness-related services, recreation, government, residential, and services. General retail is limited to the downtown core (Areas in the ACI with this designation will require evaluation with regard to the provision of access, utility service, safety, and environmental impacts.)</p> <p>Secondary Uses: Open space, places of worship and public uses are also appropriate.</p> <p>Characteristics and location: The intent of the Mixed-Use Commercial category is to improve two areas: 1) the downtown area outside the retail core, and 2) the area surrounding St. Luke’s Hospital where development must be sensitively sited for viewshed and wildlife habitat protection.</p>
Retail Core	The community’s primary shopping district is the Retail Core. The Retail Core provides a variety of mixed-use buildings that have ground-floor storefronts. Specialty shops, restaurants, and outdoor seating areas line the sidewalks, creating an active

	pedestrian-friendly environment. Convenient shopping and dining served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices.
Community Design and Neighborhoods	
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
Housing	
Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas	Housing should be integrated into the downtown core and light industrial areas, and close to the ski base. The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.
Mobility	
Policy M-1.3 Compact Development and Housing Downtown and in Activity Centers	Encourage compact development, mixed uses, and additional housing density in the downtown and in high-activity areas. This will increase opportunities for walking, bicycling and transit ridership and reduce vehicle traps.
A Strong and Diverse Economy	
Policy E-1 (b) Downtown as a Major Community Asset and Tourism Attraction	The community will strive to maintain a single concentrated commercial and retail core . The city will reinforce the downtown core's role as a more asset and visitor attraction by encouraging businesses that fit the downtown character and by developing policies, programs, investment strategies, and organizations that help retain downtown business.

STAFF RECOMMENDATION

Staff recommends approval of the application and supporting plans as presented.

COMMISSION OPTIONS

1. **Denial of the Application:** "Motion to deny the application from the owner Devin Piscitelli for the Design Review application for 231 E. Sun Valley Road finding the application **does not** meet the standards for approval under Chapter 17.96 of Ketchum Zoning Code, for the following reasons: [cite findings for denial]."
2. **Approval of the Application:** "Motion to approve the application from the owner Devin Piscitelli for the Design Review application for 231 E. Sun Valley Road, finding the application meets the standards for approval under Chapter 17.96 of Ketchum Zoning Code with the following conditions: [insert conditions of approval here]"
3. **Continuation of the Application:** "Motion to continue the application from owner Devin Piscitelli to a date certain of [insert date of meeting]."

RECOMMENDED CONDITIONS

Ketchum City Engineer, Streets, Utilities, Fire, Planning and Building Department requirements shall be met, including:

1. All departmental conditions as described in Table 1;
2. All staff conditions as described in Tables 2 and 3;
3. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
4. All building and fire code requirements as dictated by 2012 family of international codes shall apply to all construction onsite;
5. Per Title 17, Section 17.96.090: TERM OF APPROVAL: The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations;
6. All Design Review elements shall be completed prior to final inspection/occupancy;
7. Any work in the right-of-way will require a right-of-way encroachment permit, reviewed and approved by the City before installation;
8. The applicant will substitute the green ash with *Tilia cordata* little leaf Linden.
9. The applicant shall obtain written approval from Idaho Power at the time of building permit stating that all appropriate buffers around power lines have been meet; and
10. The project shall comply with the requirements of 17.124.040 as adopted on the date a building permit is submitted for the project.

ATTACHMENTS:

- A. Table 1. Requirements for All Applications
- B. Table 2. Zoning Standards Analysis
- C. Table 3. Design Review Standards
- D. Table 4. Standards for Residential, Light Industrial Districts
- E. Application
- F. Plans
 - a. Plan Set dated: 01/24/2017
 - b. Updated Plan Set (A1.0; A1.1; A1.2; A1.3; A4.0, A4.1; and, A4.2) dated: 01/20/2017
 - c. Materials Board

Attachment A.

Table 1: Requirements for All Applications

City Department Comments			
Compliant			
Yes	No	N/A	City Code
			City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.040
Complete Application			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Police Department: No Comment at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Fire Department: The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.</p> <p>Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.</p> <p>Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.</p> <p>An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.</p> <p>NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.</p> <p>An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.</p> <p>Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.</p> <p>Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.</p>

			<p>An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.</p> <p>Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.</p> <p>An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.</p> <p>Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Public Works: Gates from the construction fencing, cannot encroach into the ROW. Maximum encroachment into SVRD will be 8'. Any concrete or asphalt that is damaged by construction activities will need to be replaced to city standards. The valley gutter in the alley will need to be made of concrete and detailed for city approval. We recommend that the sidewalk on SVRD from the alley West to the curb cut, be replaced.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Utilities: Records show a sewer service to the main in the alley. The property had once been served by the KSW system. Each residential unit will require its own water meter and a separate meter for the commercial usage. One impact fee will be waived due to prior KSW service. If any cover is taken off the alley elevation the old KSW line in the alley will need to be lowered to 6'. All water meters will be located in the fire sprinkler room</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Parks/Arborist: Varieties of green ash are no longer acceptable, please identify alternate proposed species and provide planting detail per International Society of Arboriculture planting standards.</p> <p>The applicant has proposed an alternate species and received approval from the City Arborist. The alternate species is the <i>Tilia cordata</i> little leaf Linden.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Building: Building must meet 2012 International Building Codes.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Planning and Zoning: Comments are denoted throughout the staff report.</p>

Attachment B.
Table 2: Zoning Standards Analysis

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Lot Area
			<i>Staff Comments</i>	Required: 5,500 square feet minimum. Existing: 4,125 square feet (Existing non-conforming lot size.)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Building Setbacks
			<i>Staff Comments</i>	Required: Front (south): 5' avg. Adjacent to alleyway (east): 3' Interior Side (west): 0' Rear (north): 0' Proposed: Front (Sun Valley Road): 5' Adjacent to alleyway: 12'- 0.75" Interior Side: 0' Rear: 0'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Height
			<i>Staff Comments</i>	Required: Maximum building height permitted in the Community Core is forty-two feet (42'), but a five-foot (5') increase in height is permitted when the maximum vertical distance from the lowest exposed finished floor to the highest point of the roof shall be no more than five feet (5') greater than the maximum height permitted in the zoning district. Proposed: The highest point of the proposed building is thirty-nine feet and six inches (39'-6") and forty feet and three-quarters of an inch (40'-0.75") at the parapet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040.H	Curb Cut
			<i>Staff Comments</i>	Required: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Proposed: No curb cut is proposed. The applicant is proposing to remove the existing driveway cut along Sun Valley Road and to replace it with 5" curb and gutter. Vehicular access to the project will be provided from the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A.2 & 17.125.050	Parking Spaces
			<i>Staff Comments</i>	Required: Off-street parking standards of this chapter apply to any new development and to any new established uses. Retail Trade, CC District: Two (2) spaces per 1,000 gross square feet. Residential, CC District: One (1) space per 1,500 net square feet. Proposed: Retail Trade gross square feet: 1,497 = 1.5 parking spaces required Residential, net square feet: 2,102 = 1.4 parking spaces required Total: 3 parking spaces required The applicant is proposing four (4) on-site parking spaces on-site.

☒	☐	☐	17.124.040	<p>Floor Area Ratios and Community Housing</p> <p><i>Staff Comments</i> Prior to the issuance of a building permit, the applicant will be required comply with the proposed emergency Ordinance 1169, which will require an applicant to enter into an exceedance agreement with the City of Ketchum, acknowledging, and agreeing to the city’s Community Housing requirements. The ordinance has not been adopted yet, and is scheduled for a second reading on April 3rd, 2017. The project shall comply with the requirements of 17.124.040 as adopted on the date a building permit is submitted for the project.</p> <table border="1" data-bbox="609 403 1442 646"> <thead> <tr> <th colspan="3">Total Floor Area</th> </tr> <tr> <th></th> <th>Proposed</th> <th>Existing</th> </tr> </thead> <tbody> <tr> <td>Basement</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>1st Floor</td> <td>2,064 SF</td> <td>N/A</td> </tr> <tr> <td>2nd Floor</td> <td>2,125 SF</td> <td>N/A</td> </tr> <tr> <td>3rd Floor</td> <td>120 SF</td> <td>N/A</td> </tr> <tr> <td>Total</td> <td>4,309 GSF</td> <td>N/A</td> </tr> </tbody> </table> <p>Permitted in CC <i>Permitted Gross FAR: 1.0</i> <i>Inclusionary Housing Incentive: 2.25</i></p> <p>Proposed FAR: 1.05 (4,309 sf/4,125 sf) Note: excludes two garage parking spaces, and stair-well above ground floor.</p> <p>Community Housing CH incentive: The applicant shall provide 31.28 SF of community housing either on-site or elsewhere within the City of Ketchum, or pay a fee in-lieu of \$7,444.64. See City code Chapter 17.124.040 for further detail. Final fee to be determined through an exceedance agreement prior to issuance of a building permit.</p> <ol style="list-style-type: none"> Increase in SF above existing FAR = 184 SF (4309– 4,125) 20% of CH incentive to be deed restricted or pay fee in lieu: 36.8 sf: (184 · .20 = 36.8 SF) Reduced by 15% to account for circulation, mechanical, etc.: 31.28 sf: (36.8 · .85 = 31.28SF) 	Total Floor Area				Proposed	Existing	Basement	N/A	N/A	1 st Floor	2,064 SF	N/A	2 nd Floor	2,125 SF	N/A	3 rd Floor	120 SF	N/A	Total	4,309 GSF	N/A
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Total	4,309 GSF	N/A																							
17.18.130 & 17.08.020	<p>Zoning Matrix & Definitions</p> <p><i>Staff Comments</i> 17.18.130: Community Core District (CC)</p> <p>A. Purpose. The purpose of the CC community core district is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum’s historical and geographic context while providing diversity. Compatible mixed uses including retail, office, residential and cultural uses are encouraged. Commercial uses are concentrated in the CC district which is consistent with the city’s comprehensive plan and the downtown master plan.</p> <p>D. Subdistricts. Subdistricts specify areas of special characteristic within the community core which are designated on the City of Ketchum Zoning Map.</p> <p>17.08.020 – Definitions</p> <p>Mixed Use: Properties on which various uses, such as office, commercial, institutional, and residential, are combined in a single building or on a single site in an integrated development project with significant functional interrelationships and a coherent physical design.</p>																								

			<p>Floor Area, Gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and fifty percent (50%) of atriums over eighteen feet (18') plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof portion of the building and enclosed on three (3) or more sides by building walls are included. Four (4) parking stalls for developments on single Ketchum town site lots of five thousand six hundred (5,600) square feet in size or less are not included in the gross floor area calculation.</p>
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Attachment C.

Table 3: Design Review Standards for all projects

Design Review Requirements IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development. <i>Staff Comments</i> The property is currently served by a public road. This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer. <i>Staff Comments</i> The applicant has not proposed any changes to the existing public street design. The proposed Design has been reviewed by the Public Works Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department. <i>Staff Comments</i> Sidewalks currently serve the site along Sun Valley Road and the sidewalks will be reconstructed to meet current right-of-way standards, subject to modifications as approved by the City Engineer / Public Works Director.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion. <i>Staff Comments</i> Sidewalks will be reconstructed to conform to City's right-of-way standards, subject to modifications as approved by the City Engineer / Public Works Director.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public. <i>Staff Comments</i> N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. <i>Staff Comments</i> The proposed reconstructed sidewalk will meet this requirement.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building. <i>Staff Comments</i> The proposed reconstructed sidewalks will meet these requirements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy. <i>Staff Comments</i> Staff does not recommend a contribution in-lieu for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site. <i>Staff Comments</i> The applicant has satisfied this requirement.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street. <i>Staff Comments</i> All drainage improvements meet this requirement.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

			<i>Staff Comments</i>	<i>Additional drainage improvements are not recommended at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>The proposed drainage facilities meet this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement and the plans show all utilities location. See comments from the City Utilities department for additional comment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>The site is currently served by utilities that have been located underground and/or concealed from public view, with the exception of the powerline that runs north to south. The applicant has stated that the overhead powerline remain above ground. For reference, the site plan (SP1) indicates that overhead utilities will be located underground, and existing utilities serving 231 Sun Valley Road will be located underground. Should Idaho Power require that the overhead power lines be located underground, the applicant will comply with this requirement prior to the issuance of a Certificate of Occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement and will comply with these standards and receive approval from the City Engineer prior to the issuance of a Certificate of Occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>As indicated in the renderings, materials appear to be in keeping with the architecture and overall design of the surrounding properties, and the proposed signing does not conflict with the adjoining structures.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>The proposed building provides unobstructed pedestrian access to the sidewalk adjacent and parallel to Sun Valley Road.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>The south facing façade, which is facing Sun Valley Road, is considered the front façade. The form of the structure is broken up into two distinctive masses, which consist of retail space and a garage on the ground floor, and residential space on the second floor. An ancillary mass on the third floor is 234 square feet in size and will be used to access the rooftop deck.</i> <i>The ground level façade is clad in a beige hued rustic, reclaimed brick material that is arranged horizontally and incorporates vertical windows along the length of the building.</i>

				<p>The second floor façade is clad in a light grey horizontal siding, which is complementary to the beige brick material below. Additionally, balcony space defined by horizontal railing is incorporated into the second floor, which provides further definition to the second floor facade while the balcony overhang provides pedestrian shelter over the ground floor entrance below. The combination of architectural elements provide depth to the building and reduce the appearance of bulk.</p> <p>On the third floor the applicant has provided glazing on the stairwell that provides access to the rooftop deck space. The rooftop deck space is enclosed by a metal guardrail with steel posts and cable rail with a decorative design.</p> <p>Windows with black steel casings are proposed along the east (alley facing) and north facing facades and at the second floor of the south facing façade. The same materials used at the front facing façade are incorporated at the east facing façade, which fronts the alleyway. Additionally, vertical cables clad in Hilliana Japanese honeysuckle vine are proposed along all sides of the third story circulation space and the edges of the deck at the second floor.</p> <p>The north façade, which faces toward a parking area on the adjacent lot to the north, is clad in a lighter hand trowled smooth stucco finish. On the north façade the applicant has included windows at the second and third levels of the proposed building. The second and third floor will be stepped back slightly to reduce the appearance of bulk.</p> <p>The western facing façade abuts an existing adjoining building and the ground level and second floors are hidden from view.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	<p>There shall be continuity of materials, colors and signing within the project.</p> <p><i>Staff Comments</i> The proposed materials, colors and signing of the project satisfy this requirement. The applicant has utilized a light grey horizontal siding, rustic reclaimed brick in beige, steel C-Channel beams and columns, a steel plate guardrail used as the second-floor deck guardrail, and vertical cables that will be clad in Hilliana Japanese honeysuckle vine and will be located along the third floor circulation space and the second floor deck, flashings, parapet caps, railings, and perforated guardrails throughout the façade of the buildings. Metal roof awnings with a blackened steel angle brace have been included throughout the building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	<p>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</p> <p><i>Staff Comments</i> The proposed landscape features, which primarily front Sun Valley Road, serve to compliment the principal building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	<p>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</p> <p><i>Staff Comments</i> The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of bulk and flatness. The variation in material and material color palette at the along the south and east facing facades provides depth to all facades of the building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	<p>Building(s) shall orient towards their primary street frontage.</p> <p><i>Staff Comments</i> The front entrance of the building orients towards Sun Valley Road.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	<p>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</p> <p><i>Staff Comments</i> Plans indicate that garbage storage areas are indicated to be screened and enclosed at the southeast portion of the property.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>The design of the building is such that pedestrian gathering areas are covered by a roof overhang.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>There are multiple pedestrian access points which are located in such a way as to connect with existing sidewalks that run parallel to the subject property. There are no existing, or anticipated easements on the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>The proposed parking areas are located off of the adjacent alleyway from the site. The four on-site parking spaces, which are accessed from the ally, are unlikely to significantly impede pedestrian or vehicle circulation around the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>No curb cut to Sun Valley Road is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>Emergency and service vehicles can access the site from both Sun Valley Road (south) and a side alleyway (east), providing unobstructed access for emergency vehicles, snowplows, and garbage trucks.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>N/A. The applicant is proposing snow melt on all paved surfaces.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>N/A. The applicant is proposing snow melt on all paved surfaces.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Staff Comments</i>	<i>N/A. See above comment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The applicant is proposing snow melt on all paved surfaces. Additional snow hauling is not recommended at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>Landscaping is provided and denoted in the landscaping plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>See comment from the City Arborist located in Table 1. The applicant shall replace the proposed green ash with the proposed alternative Tilia cordata little leaf Linden All other landscaping materials and vegetation types satisfy this requirement.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>Substantial landscaping is proposed along Sun Valley Road Street frontage, which serves to provide a buffer between the proposed residential and retail uses of the site and the adjacent pedestrian and vehicular traffic.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>No additional amenities are proposed.</i>

Attachment D.

Table 4: Design Review Standards for Community Core Projects

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core district. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the Community Core.				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 A(1)	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
			<i>Staff Comments</i>	<i>See comment from the City Public Works Department located in Table 1. The applicant shall address all concerns stated by the Public Works Department. The applicant is currently proposing to reconstruct the sidewalk along Sun Valley Road, as recommend by the Public Works Department. All final street trees, street lights, and street furnishings, and other street improvements shall be approved by the Public Works Department upon final inspection, and prior to the issuance of a Certificate of Occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(2) Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.
			<i>Staff Comments</i>	<i>The City Arborist has reviewed the street tree location and has no concerns regarding tree location at this time. The final street tree caliper size shall be approved by the City Arborist upon final inspection, and prior to the issuance of a Certificate of Occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(3)	Due to site constraints, the requirements if this subsection 17.96.070.A may be modified by the Public Works Department.
			<i>Staff Comments</i>	<i>N/A. No modifications to the requirements of this subsection 17. 96.070.A have been recommended by the Public Works Department at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
			<i>Staff Comments</i>	<i>The north, east and south facades have been designed to include both solid surfaces and window openings intended to avoid the creation of blank walls. See staff comment in Table 3, section 17.96.060(F) (3) for further detail. The west wall adjoins an interior side property line and will be designed to meet building code fire separation requirements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			<i>Staff Comments</i>	<i>The applicant has included storefront windows and doors into the main retail entrance of the proposed building. The proposed design includes ground floor storefront windows and doors with a clear transparent glass. Landscaping planters have been included in the proposed design of the plaza area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			<i>Staff Comments</i>	<i>The proposed design of the front facing façade (Sun Valley Road) does not obscure views into windows.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			<i>Staff Comments</i>	<i>The applicant is proposing the use of a flat top roof which is compatible with the overall style and character of the structure. The roof will also serve as a deck for the residence of the property. No reflective materials have been proposed at this time.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
			<i>Staff Comments</i>	<i>The applicant is proposing a flat top roof with a portion of it designated to be used as a deck for the on-site residence.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			<i>Staff Comments</i>	<i>No roof overhangs over a public sidewalk are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070 (B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			<i>Staff Comments</i>	<i>The proposed trash disposal area is located at the south-east corner of the principal building. The trash disposal area is fully enclosed within the building, and is proposed to be screened from public. The trash disposal area is not proposed to be located within the public right of way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
			<i>Staff Comments</i>	<i>The applicant will work ensure that all roof and ground mounted mechanical and electrical equipment be fully screened from public view. Mechanical equipment will not exceed ten-feet (10') over the maximum building height and must be set back a minimum of ten-feet (10)' from property lines. All roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. The final screening, location and height of all ground and roof mounted mechanical equipment shall be approved upon final inspection and prior to the issuance of a Certificate of Occupancy.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
			<i>Staff Comments</i>	<i>N/A. No healthy/mature trees have been identified on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
			<i>Staff Comments</i>	<i>The applicant is proposing that the two street trees along Sun Valley Road, will be placed in tree wells and covered by tree grates which shall receive final approval by the City Engineer, prior to the issuance of a Certificate of Occupancy. See comments from the City Arborist located in Table 1.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
			<i>Staff Comments</i>	<i>N/A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
			<i>Staff Comments</i>	<i>N/A. A total of four (4) parking spaces have been located off the adjacent alley. These parking spaces do not constitute a parking lot.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.

			<i>Staff Comments</i>	<i>The applicant is proposing one planter box located at the south-east section of the property. The planter will serve as a buffer between the two on-site parking spaces and pedestrian traffic along Sun Valley Road.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			<i>Staff Comments</i>	<i>The applicant is proposing two on-sight bicycle racks, located at the south-west corner of the property. Each proposed bicycle rack is able to accommodate at least two (2) bicycles. There are currently three (3) parking spaces required by the proposed uses on-site. The number of proposed bicycle racks satisfies this requirement. All bike racks shall be located on private property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.
			<i>Staff Comments</i>	<i>The applicant will locate the bicycle racks no less than fifty-feet (50') from entrance of the building. The bike racks will be visible from the nearest entrance that they serve.</i>



City of Ketchum
Planning & Building

**CERTIFIED
COMPLETE**

1/27/17 KO

OFFICIAL USE ONLY
17-009
1-27-17
K.OWENS
\$2,015
01/27/17
<input type="checkbox"/>
<input checked="" type="checkbox"/>

Design Review Application

APPLICANT INFORMATION			
Project Name: SUN VALLEY MIXED USE PROJECT		Phone: 716-912-7964	
Owner: DEVIN PISCITELLI		Mailing Address: 8 INDIANOLA AVE, AKRON, NY 14001	
Email: dpiscitelli@aakronline.com			
Architect/Representative: EOS ARCHITECTURE, INC.		Phone: 858-459-0575	
Email: JEN@EOSARC.COM		Mailing Address: 7542 FAY AVE, LA JOLLA, CA 92037	
Architect License Number: CALIF. C-28774 *WAITING FOR IDAHO LIC., BUT SUBMITTED			
Engineer of Record: FROST STRUCTURAL ENGINEERING; MARKELL BATEMAN, PE		Phone: 208-227-8404	
Email: markell.bateman@frost-structural.com		Mailing Address: Frost Structural Engineering 1020 Lincoln Road Idaho Falls, ID 83401	
Engineer License Number: PE-11687			
<i>All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i>			
PROJECT INFORMATION			
Legal Land Description: LOT 8 REMAINDER, BLOCK 17, SECTION 18, TOWNSHIP 4			
Street Address: 231 SUN VALLEY RD, KETCHUM, ID 83340			
Lot Area (Square Feet): 4,125 SF			
Zoning District: COMMERCIAL CORE			
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain			
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: MIXED USE		Number of Residential Units: 1	
TOTAL FLOOR AREA			
	Proposed	Existing	
Basements		Sq. Ft.	Sq. Ft.
1 st Floor	2,388	Sq. Ft.	Sq. Ft.
2 nd Floor	2,306	Sq. Ft.	Sq. Ft.
3 rd Floor	234	Sq. Ft.	Sq. Ft.
Mezzanine		Sq. Ft.	Sq. Ft.
Total	4,928	Sq. Ft.	Sq. Ft.
FLOOR AREA RATIO			
Community Core: FAR= 1		Tourist:	General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 64%			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 5'-0"	Side: 3'-0"	Side: 0'-0"	Rear: 0'-0"
Building Height: 39'-6"			
OFF STREET PARKING			
Parking Spaces Provided: 4 ON SITE, 3 OFF SITE			
Curb Cut: 0	Sq. Ft.	0	%
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative

1/27/2017
Date

DESIGN REVIEW EVALUATION STANDARDS
(May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

ATTACHEMENT A. Plan Set 01/24/2017

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SUN VALLEY ROAD MIXED USE PROJECT
231 SUN VALLEY ROAD
KETCHUM, ID 83340

REVISIONS
PRELIMINARY DESIGN 01/06/17
PLANNING SUBM. 01/20/17

PHASE
PLANNING
DATE
1/20/2017
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15-04

COVER SHEET

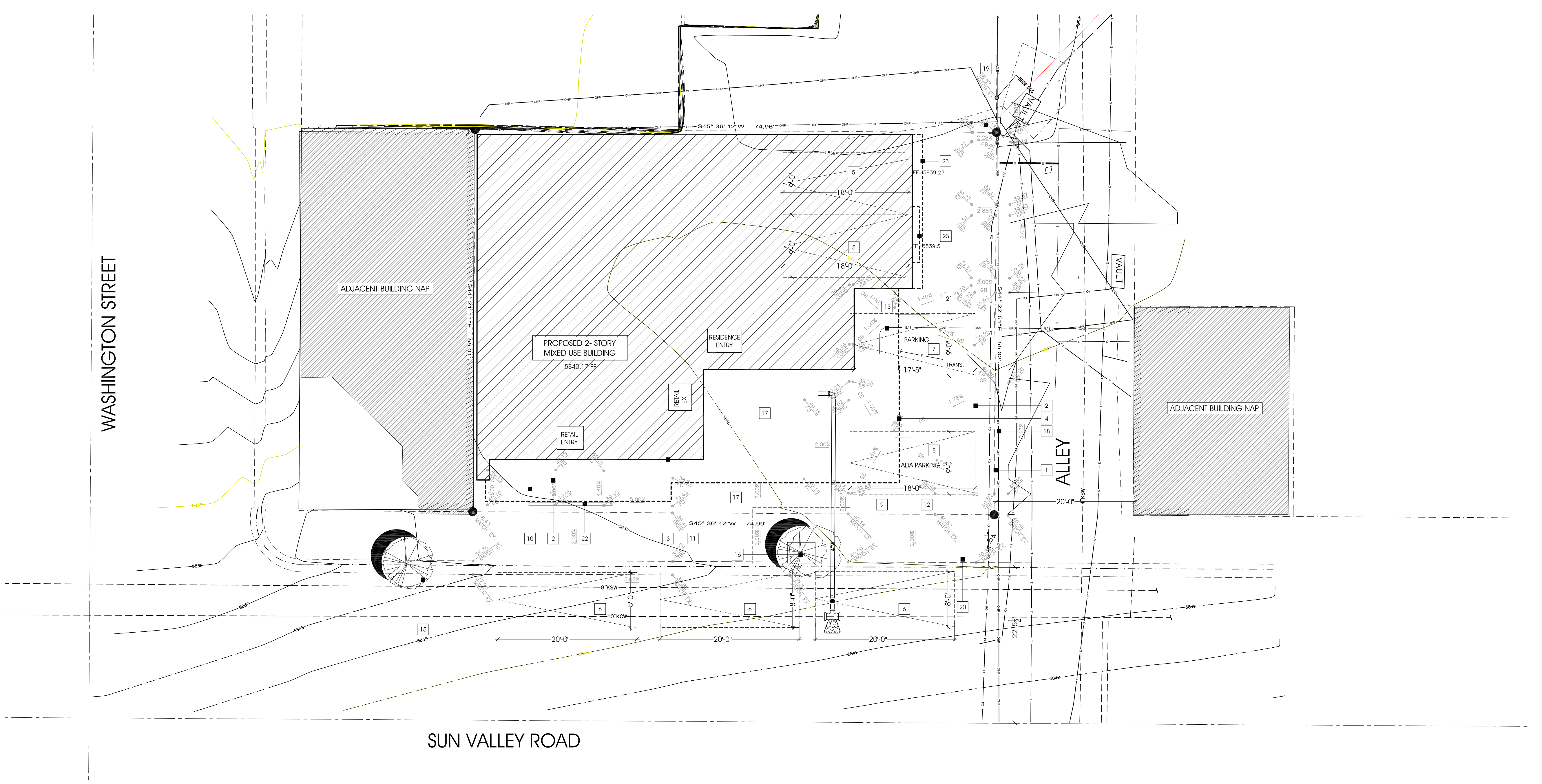
CS1



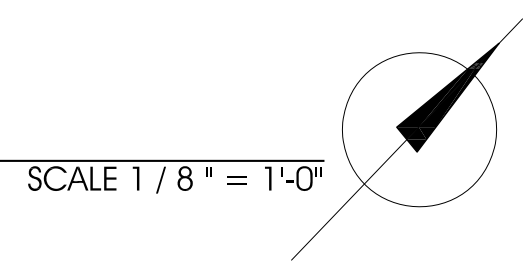
SUN VALLEY ROAD MIXED USE PROJECT

231 SUN VALLEY ROAD
KETCHUM, ID 83340

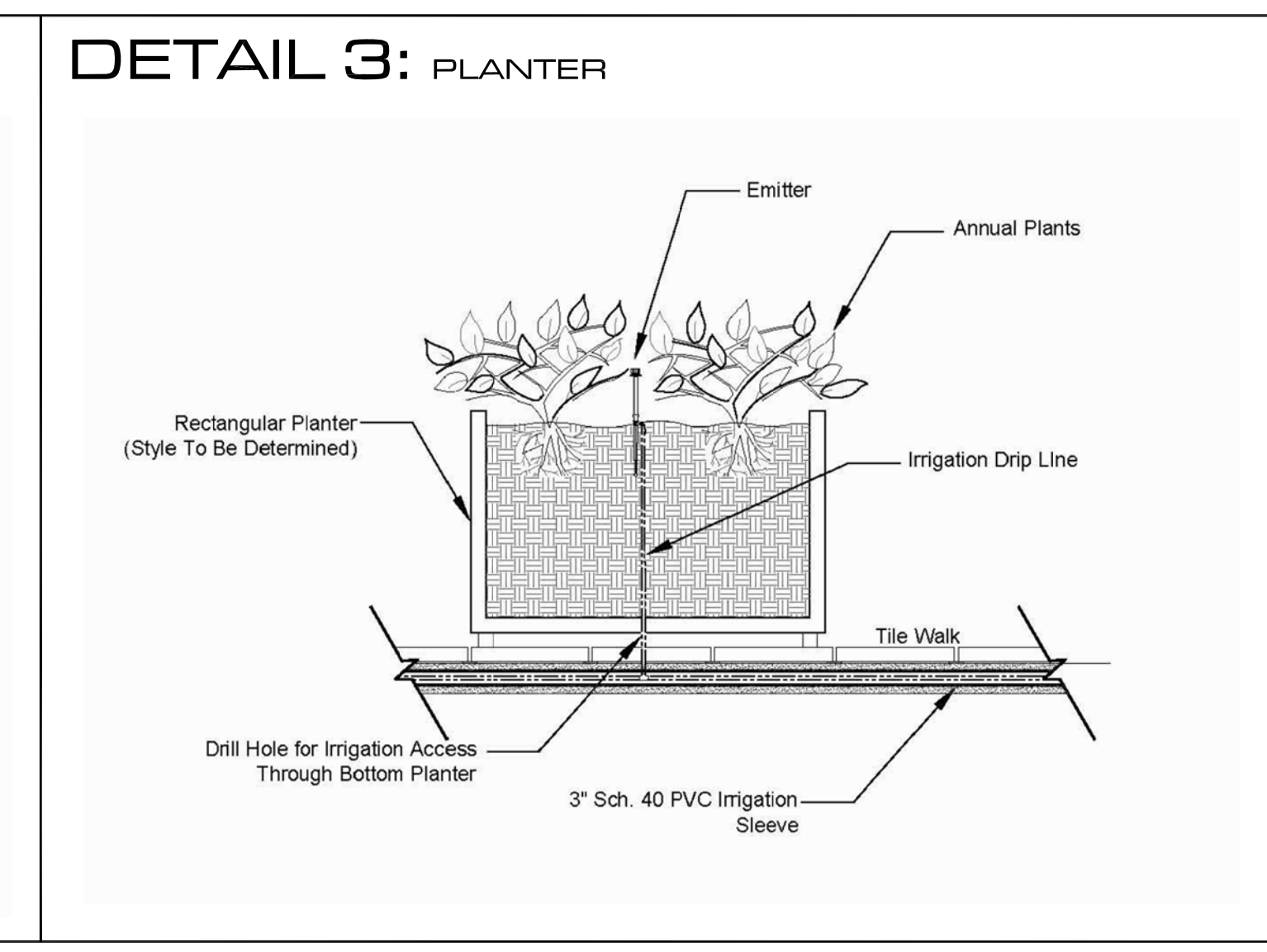
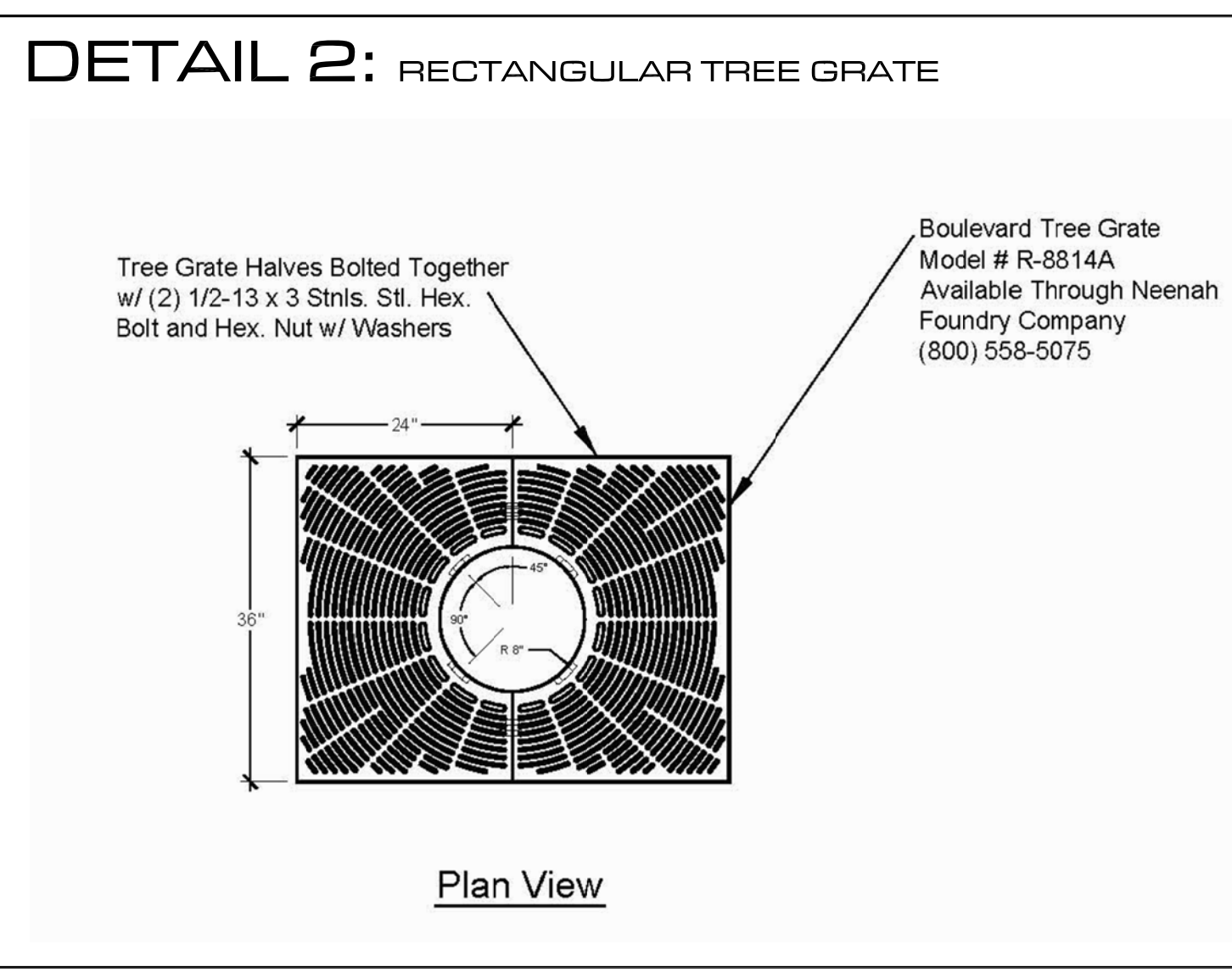
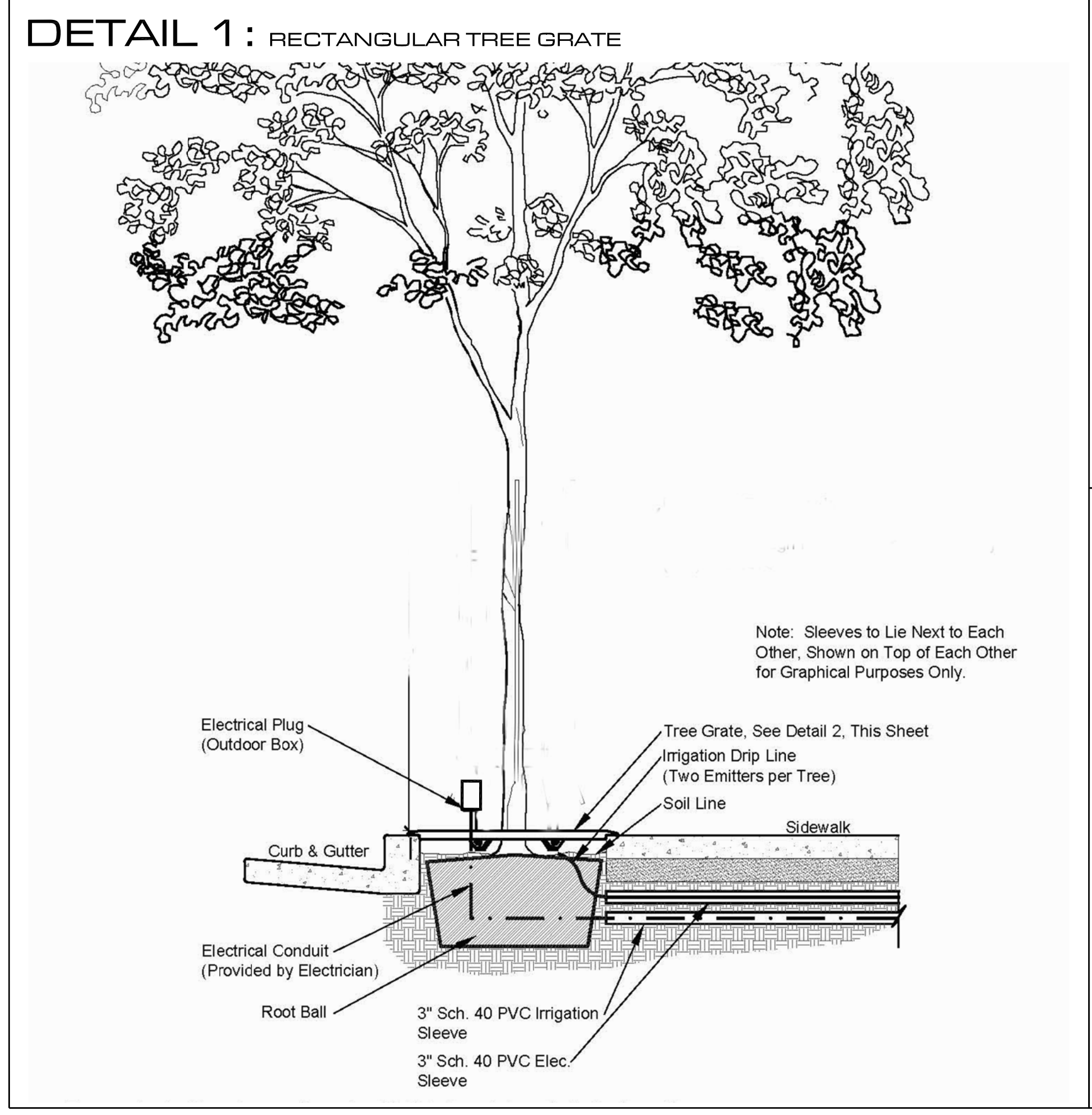
GOVERNING CODES	PROJECT DIRECTORY	PROJECT INFO	FLOOR AREA CALCULATION:	PARKING REQUIREMENTS:	SHEET INDEX												
<p>BUILDING CORNERS FOR ALL PROPOSED BUILDING AND ADDITIONS SHALL BE STAKED ON THE SITE AND ALL TREES PROPOSED SHALL BE FLAGGED AT LEAST ONE WEEK PRIOR TO THE COMMISSION MEETING. STORY POLES MAY BE REQUIRED TO BE INSTALLED ONE WEEK PRIOR TO THE COMMISSION MEETING.</p> <p>2015 INTERNATIONAL BUILDING CODE</p>	<p>OWNER DEVIN PROCELLI 8 INDIANOLA AVE AKRON, NY 14001 (716) 912-7964</p> <p>ARCHITECT EOS ARCHITECTURE INC. CONTACT: JENNIFER BOLYN 7540 FAY AVE. LA JOLLA, CA 92037 (858) 459-0575</p> <p>SURVEY BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 100 BELL DRIVE KETCHUM, ID 83340 (208) 726-9512</p>	<p>PROJECT SCOPE: NEW TWO STORY MIXED USE BUILDING WITH THIRD LEVEL STAIR ACCESS TOWER AND RELATED SITE WORK.</p> <p>PROJECT ADDRESS: 231 SUN VALLEY ROAD KETCHUM, ID 83340</p> <p>LEGAL DESCRIPTION: LOT 8 REMAINDER, BLOCK 17 SECTION 18, TOWNSHIP 4</p> <p>APN: 263-082-13-00</p> <p>ZONE: CC-COMMERCIAL CORE</p> <p>SUB-DISTRICT: C-URBAN RESIDENTIAL</p> <p>BLG TYPE: 3-NEIGHBORHOOD MIXED USE</p> <p>EXISTING USE: LOT WITH SMALL LOG CABIN (COMMERCIAL) TO BE REMOVED.</p> <p>PROPOSED USE: MIXED USE CONDOMINIUM PROJECT CONSISTING OF GROUND FLOOR RETAIL, PARKING AND RESIDENTIAL UNIT ENTRIES, UPPER LEVELS TO HOUSE ONE SINGLE FAMILY CONDOMINIUM.</p> <p>LOT SIZE: 4,129 SF</p> <p>ALLOWABLE FLOOR AREA RATIO: 1</p> <p>HEIGHT LIMIT: 2 STORIES: 40-42 FT</p> <p>SETBACKS</p> <table border="1"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>SUN VALLEY:</td> <td>5'-0"</td> <td>5'-0"</td> </tr> <tr> <td>ALLEY:</td> <td>3'-0"</td> <td>3'-0"</td> </tr> <tr> <td>ADJ. PROP:</td> <td>0'-0"</td> <td>0'-0"</td> </tr> </tbody> </table>		REQUIRED	PROVIDED	SUN VALLEY:	5'-0"	5'-0"	ALLEY:	3'-0"	3'-0"	ADJ. PROP:	0'-0"	0'-0"	<p>FLOOR AREA CALCULATION:</p> <p>FIRST FLOOR TOTAL GROSS: 2,388 SF</p> <p>NET (EXEMPT FROM F.A.R.):</p> <ul style="list-style-type: none"> CIRCULATION: -0 SF PUBLIC RESTROOM: -80 SF TRASH/MECHANICAL: -81 SF PARKING: -324 SF TOTAL NET SF: 1,903 SF <p>SECOND FLOOR TOTAL GROSS: 2,306 SF</p> <p>NET (EXEMPT FROM F.A.R.):</p> <ul style="list-style-type: none"> MECHANICAL: -23 SF STAIR/ CIRCULATION: -181 SF TOTAL NET SF: 2,102 SF <p>ROOF TOP FLOOR TOTAL GROSS: 234 SF</p> <p>NET (EXEMPT FROM F.A.R.):</p> <ul style="list-style-type: none"> STAIR/ CIRCULATION: -114 SF TOTAL NET SF: 120 SF <p>TOTAL GROSS BUILDING SF: 4,928 SF</p> <p>TOTAL EXEMPT: -803 SF</p> <p>TOTAL NET BUILDING SF: 4,125 SF</p>	<p>PARKING REQUIREMENTS:</p> <p>RETAIL GROSS SQUARE FOOTAGE: 1,497 SF / 1,000 X 2 = 2.99 STALLS REQUIRED</p> <p>RESIDENTIAL NET SQUARE FOOTAGE: 2,706 SF TOTAL / 1,500 = 1.80 STALLS REQUIRED</p> <p>4.79 STALLS REQUIRED 4 STALLS ON SITE PROVIDED 3 STALLS ON STREET PARKING PROVIDED</p> <p>LOT AREA: 4,129 SF</p> <p>TOTAL GROSS SQUARE FOOTAGE: 4,928 SF</p> <p>TOTAL NET SQUARE FOOTAGE CONTRIBUTING TOWARDS F.A.R.: 4,125 SF</p> <p>LOT COVERAGE: 64%</p> <p>PROPOSED F.A.R.: 4,125 SF / 4,129 SF = 1</p> <p>MAX ALLOWABLE F.A.R.: 2.25 X 4,125 SF = 9,281.25 SF</p> <p>(* EXCLUDED FROM F.A.R. PER ZONING ORDINANCE)</p>	<p>ARCHITECTURAL</p> <ul style="list-style-type: none"> CS1 COVER SHEET SP1 SITE/LANDSCAPE PLAN ST-1 STAGING SITE PLAN S-1 SURVEY A1.0 FIRST FLOOR PLAN A1.1 SECOND FLOOR PLAN A1.2 ROOF DECK FLOOR PLAN A2.0 FLOOR AREA DIAGRAM A3.0 ROOF PLAN A4.0 ELEVATION & SECTION A4.1 ELEVATIONS A4.2 ELEVATION & SECTION <p>CIVIL</p> <ul style="list-style-type: none"> C-1 DRAINAGE PLAN C-2 GRADING PLAN C-3 DETAIL <p>VICINITY MAP</p>
	REQUIRED	PROVIDED															
SUN VALLEY:	5'-0"	5'-0"															
ALLEY:	3'-0"	3'-0"															
ADJ. PROP:	0'-0"	0'-0"															
<p>SYMBOL LEGEND</p> <ul style="list-style-type: none"> WINDOW MARKER COLUMN REFERENCE GRIDS SECTION ELEVATION INDICATOR DETAIL WINDOW SECTION NUMBER DOOR NUMBER NOTE SHEET NOTES REVISIONS 																	



SITE PLAN/LANDSCAPE PLAN - FIRST FLOOR



SUN VALLEY ROAD MIXED USE PROJECT
231 SUN VALLEY ROAD
KETCHUM, ID 83340



KEYNOTES

1	PROPERTY LINE	17	LARGE SCALE NARROW MODULAR CALARC PAVERS IN 12X48 PORCELAIN 1413 COLOR TRIMMED WITH 12X6 PAVERS IN CARAMEL 1410
2	SETBACK LINE	18	OVERHEAD UTILITIES TO BE RELOCATED UNDERGROUND
3	PROPOSED FIRST FLOOR	19	EXISTING OVERHEAD UTILITIES SERVING 211 SUN VALLEY ROAD TO BE RELOCATED UNDERGROUND
4	LINE OF ROOF/BUILDING ABOVE	20	NEW STREET LIGHT TO MATCH EXISTING
5	PARKING SPACES TO BE 9'-0" X 18'-0"	21	TRANSFORMER
6	REQUIRED STREET PARKING	22	SIGNAGE LOCATION ABOVE
7	REQUIRED OFF-STREET PARKING WITH ASPHALT SURFACE	23	OVERHANG ABOVE
8	ADA PARKING WITH ASPHALT SURFACE		
9	PLANTER PER DETAIL 3		
10	BICYCLE RACK		
11	CITY HEATED SIDEWALK		
12	TRASH AND RECYCLING		
13	GAS AND ELECTRIC		
14	PEDESTRIAN WALK		
15	EXISTING TREE AND GRATE TO REMAIN		
16	NEW PATHMORE ASH TREE AND GRATE PER DETAIL 1 & 2		

REVISIONS

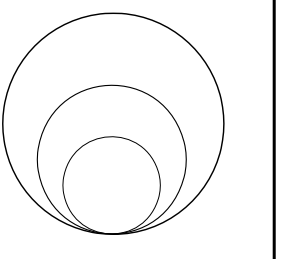
PRELIMINARY DESIGN	01/06/17
PLANNING SUBM.	01/20/17

PHASE

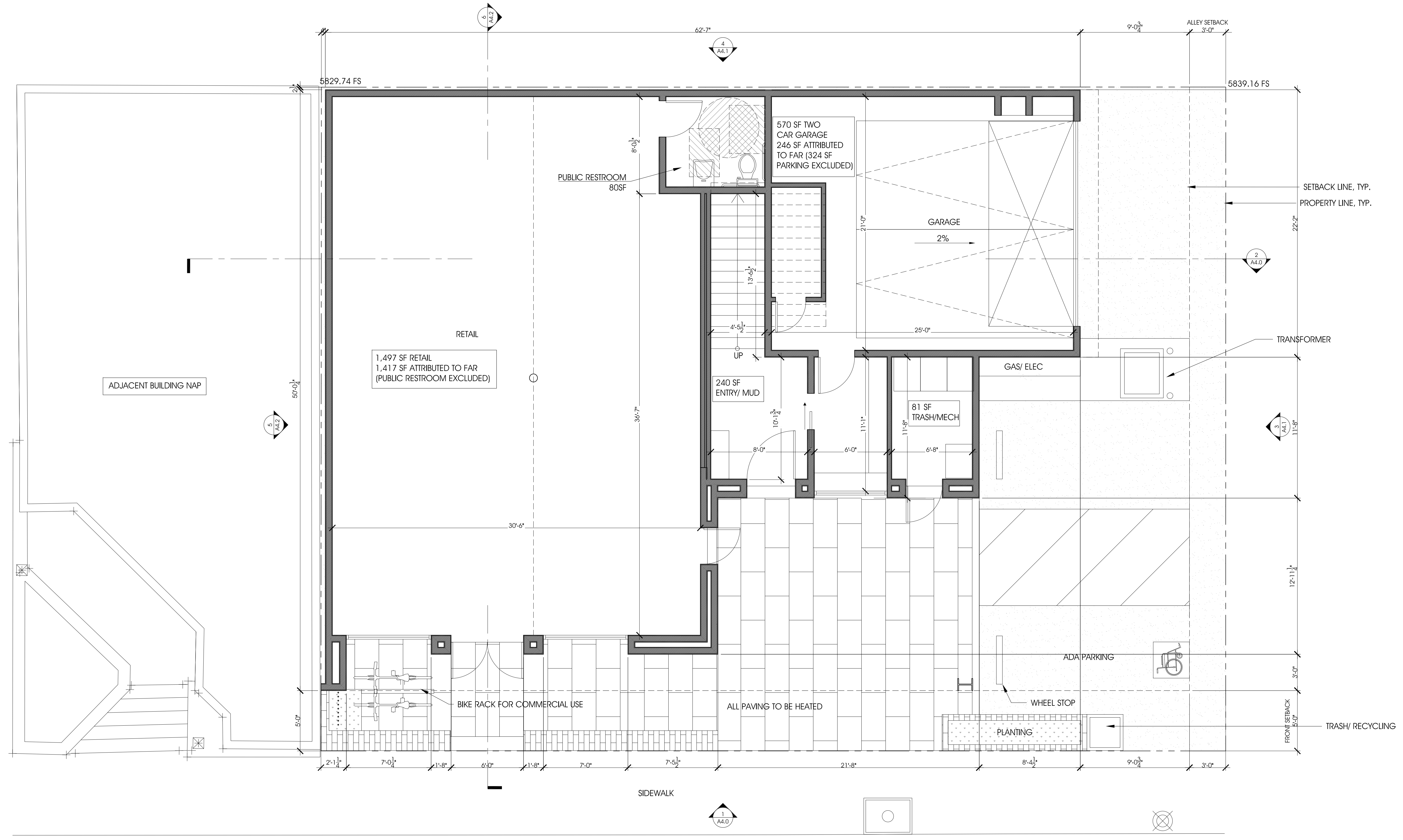
PLANNING	
DATE	1/20/2017
JOB NO.	15-04

SITE PLAN/
LANDSCAPE
PLAN

SP1

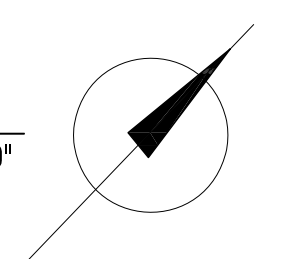


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FIRST FLOOR PLAN

SCALE 1 / 4" = 1'-0"



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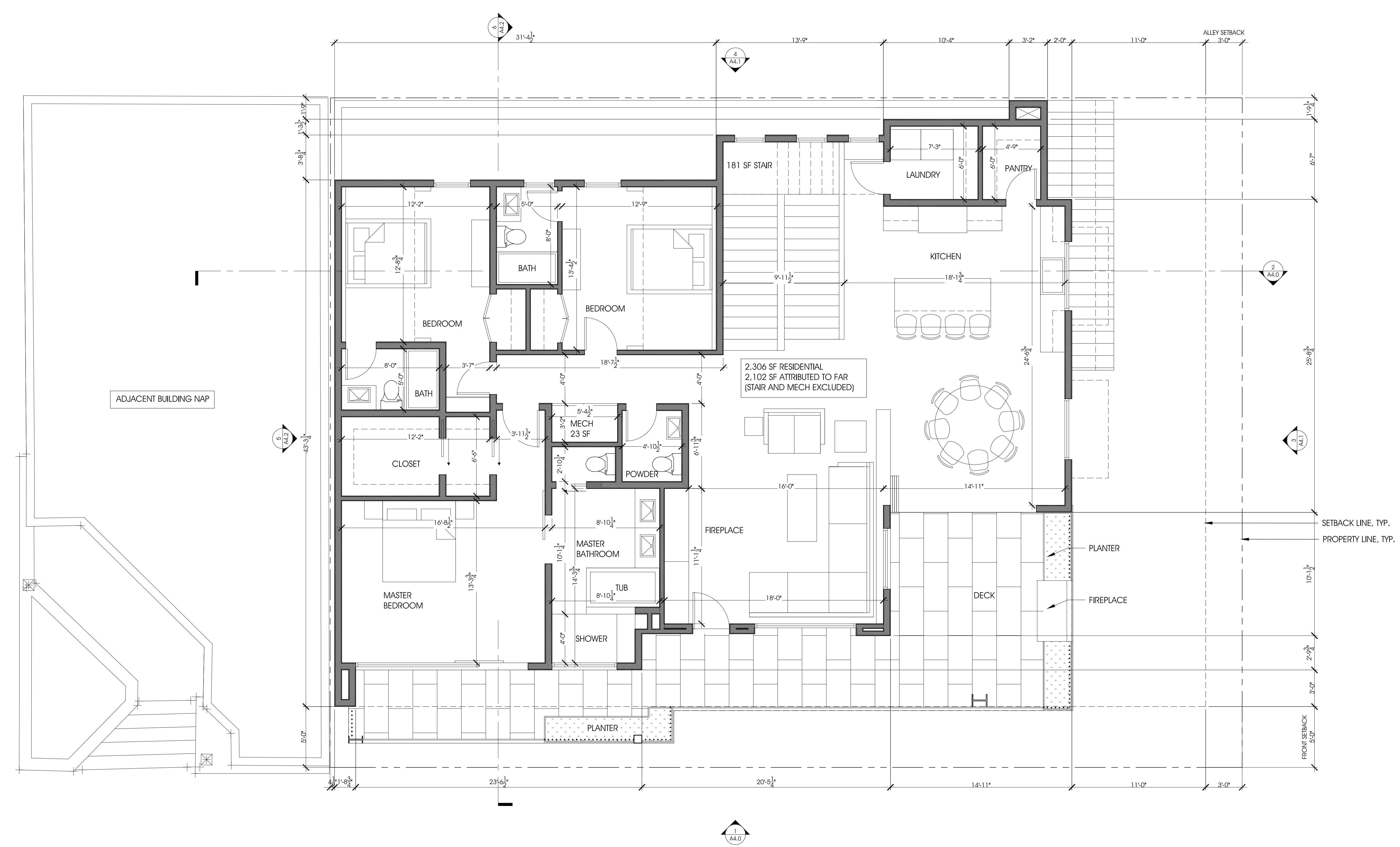
FIRST FLOOR PLAN

REVISIONS
PRELIMINARY DESIGN 01/06/17
PLANNING SUBM. 01/20/17

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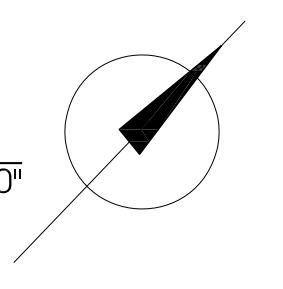
SECOND FLOOR PLAN

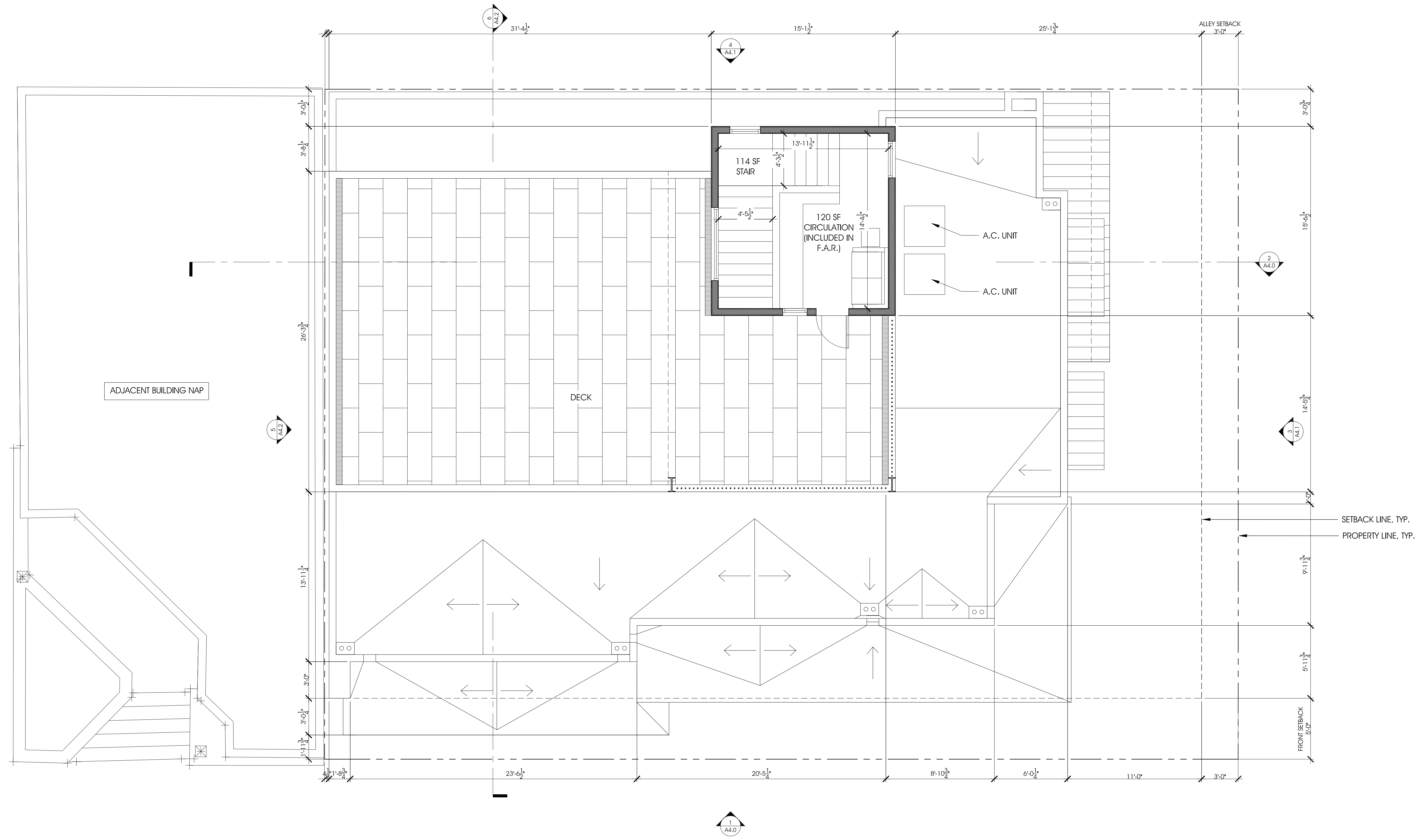
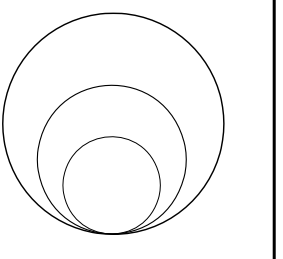
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SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"





THIRD FLOOR PLAN

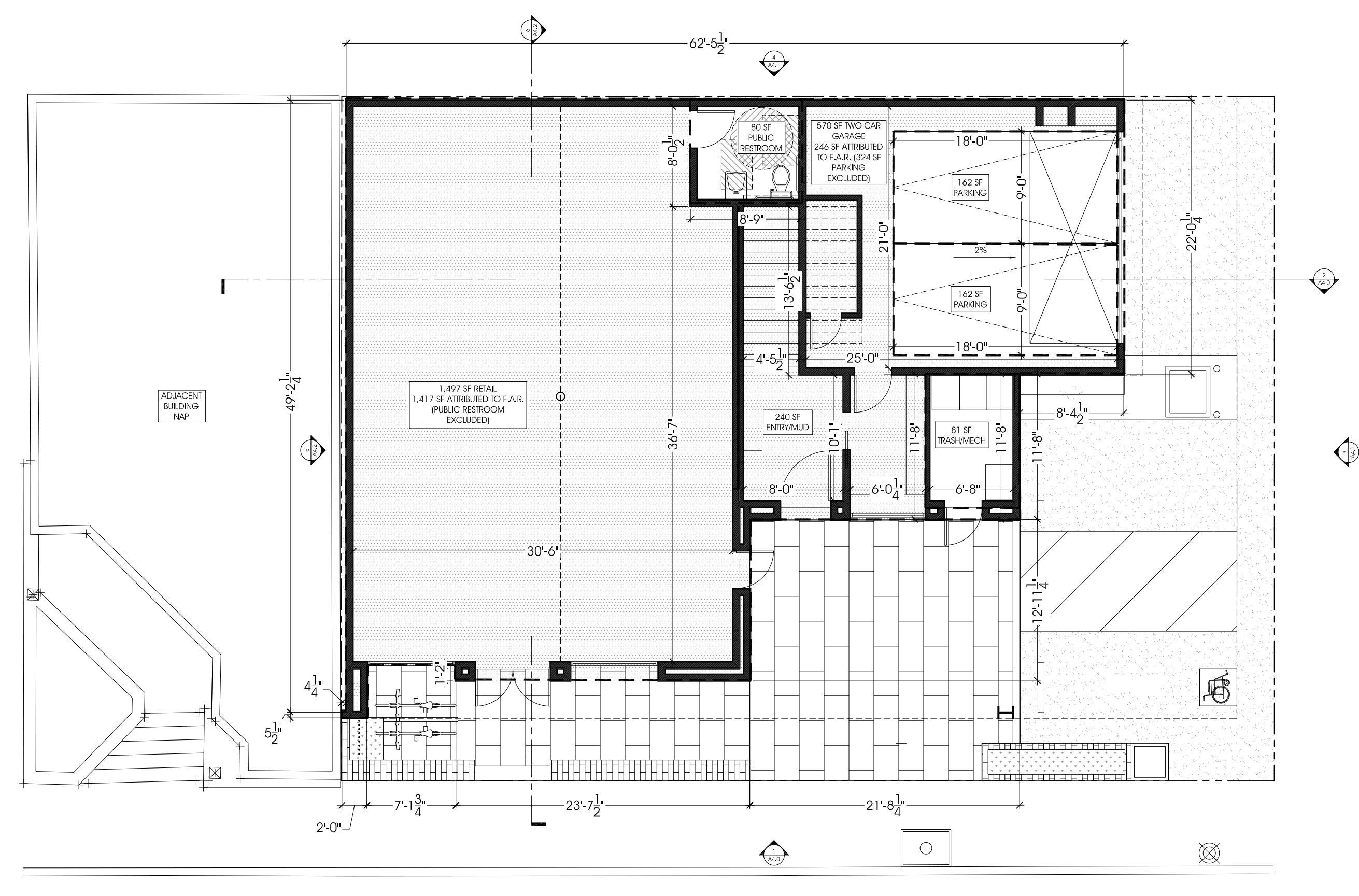
SCALE 1/4" = 1'-0"

SUN VALLEY ROAD MIXED USE PROJECT
231 SUN VALLEY ROAD
KETCHUM, ID 83340

REVISIONS
PRELIMINARY DESIGN 01/06/17
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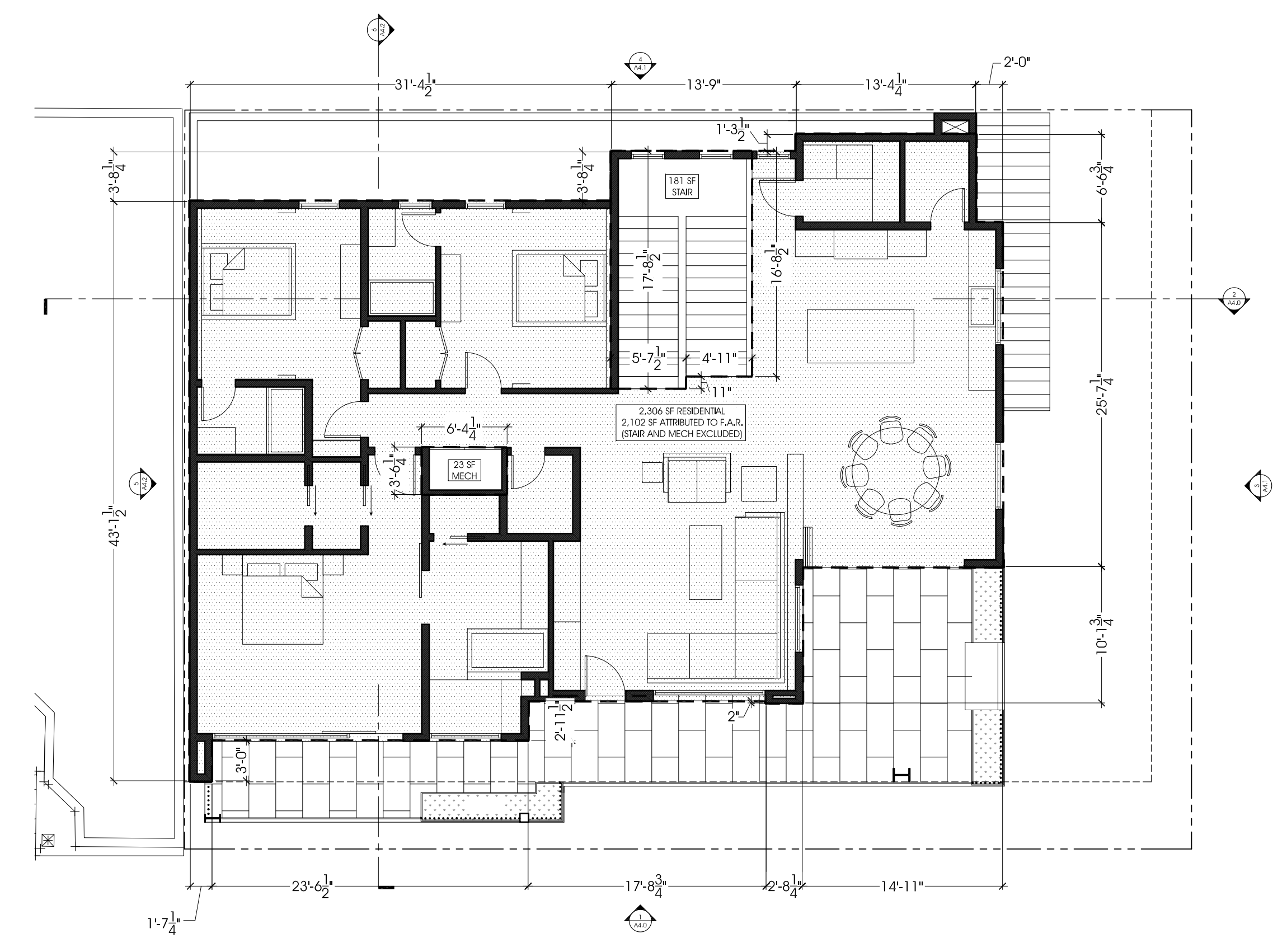
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1/20/2017
JOB NO.
15-04

ROOF DECK PLAN



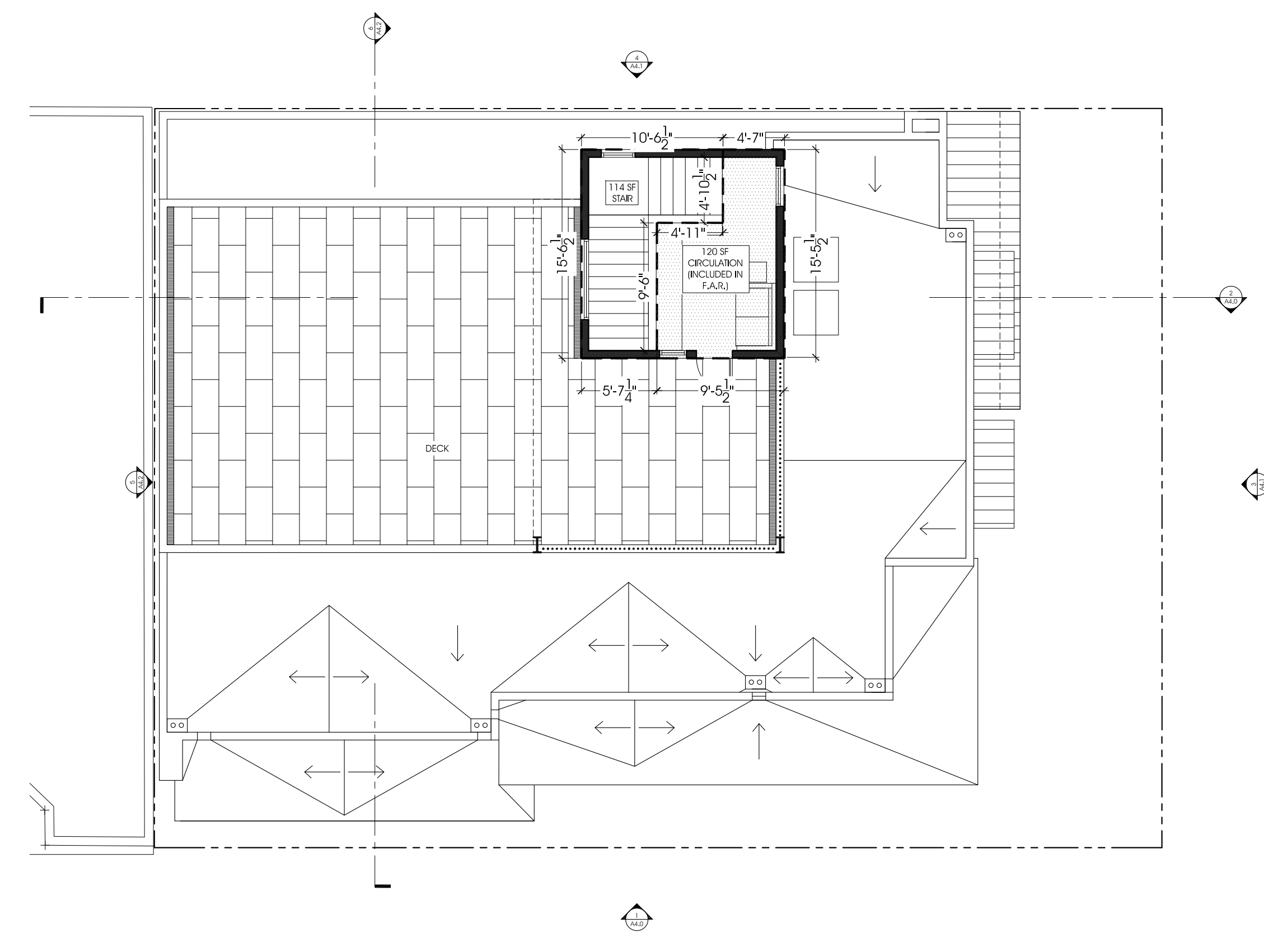
FIRST FLOOR PLAN

SCALE: 1 / 8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1 / 8" = 1'-0"



ROOF DECK FLOOR PLAN

SCALE: 1 / 8" = 1'-0"

FLOOR AREA CALCULATION:

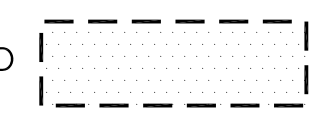
FIRST FLOOR TOTAL GROSS:	2,388 SF
NET (EXEMPT FROM F.A.R.):	
CIRCULATION:	-0 SF
PUBLIC RESTROOM:	-80 SF
TRASH/MECHANICAL:	-81 SF
PARKING:	-324 SF
TOTAL NET SF:	1,903 SF


SECOND FLOOR TOTAL GROSS:	2,306 SF
NET (EXEMPT FROM F.A.R.):	
MECHANICAL:	-23 SF
STAIR/ CIRCULATION:	-181 SF
TOTAL NET SF:	2,102 SF

ROOF TOP FLOOR TOTAL GROSS:	234 SF
NET (EXEMPT FROM F.A.R.):	
STAIR/ CIRCULATION:	-114 SF
TOTAL NET SF:	120 SF

TOTAL GROSS BUILDING SF:	4,928 SF
TOTAL EXEMPT:	-803 SF
TOTAL NET BUILDING SF:	4,125 SF

LEGEND

HATCH INDICATES FLOOR AREA INCLUDED 

LINE INDICATES TOTAL AREA 

GROSS FLOOR AREA: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and fifty percent (50%) of atriums over eighteen feet (18') plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three (3) or more sides by building walls are included. Four (4) parking stalls for developments on single Ketchum town site lots of five thousand six hundred (5,600) square feet in size or less are not included in the gross floor area calculation.

SUN VALLEY ROAD MIXED USE PROJECT
231 SUN VALLEY ROAD
KETCHUM, ID 83340

REVISIONS

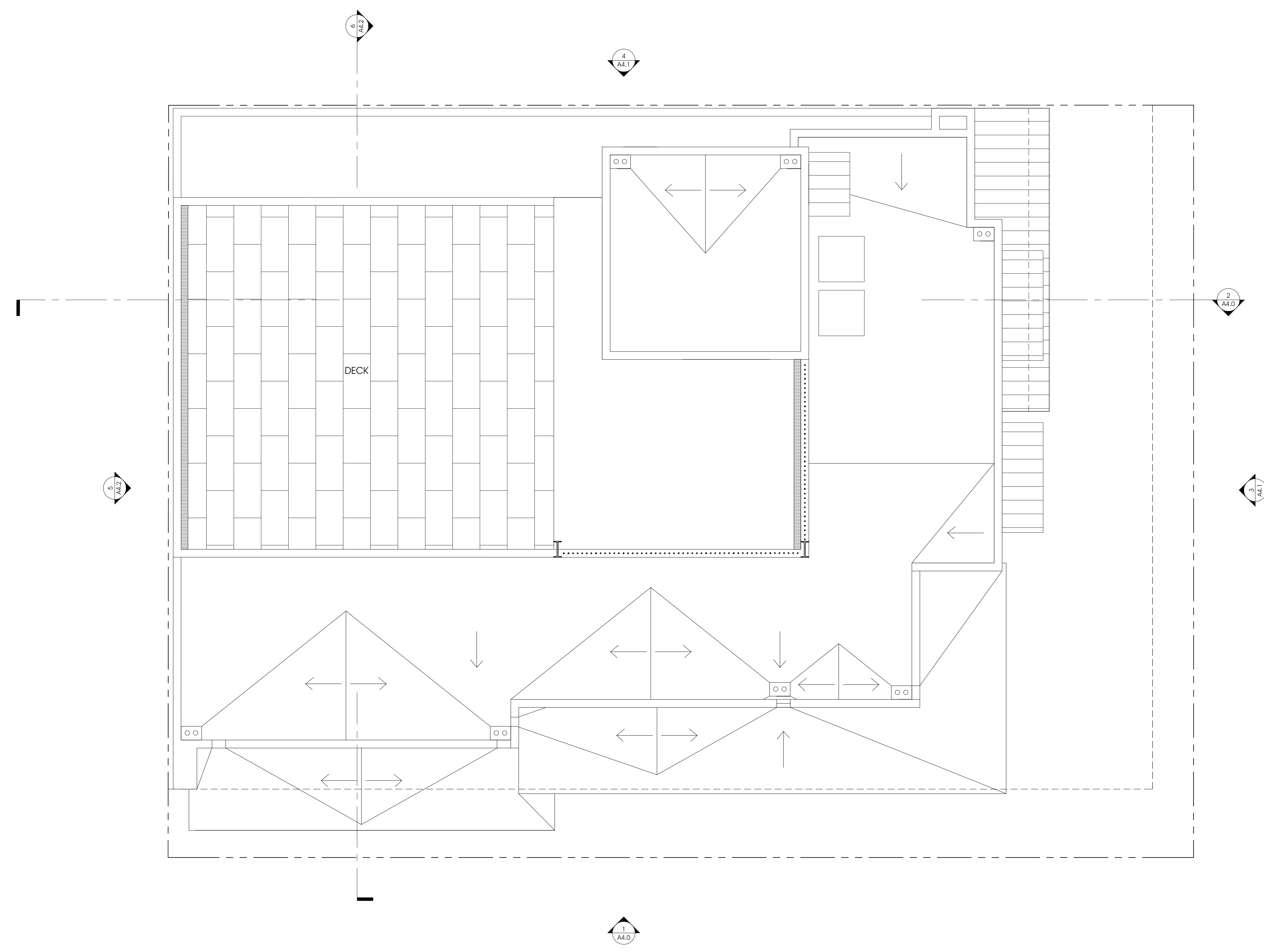
PRELIMINARY DESIGN 01/06/17
PLANNING SUBM. 01/20/17

PHASE

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DATE
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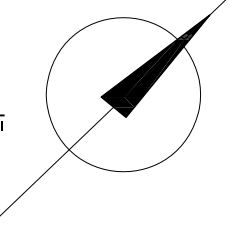
FLOOR AREA CALC.

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ROOF PLAN

SCALE 1/4" = 1'-0"



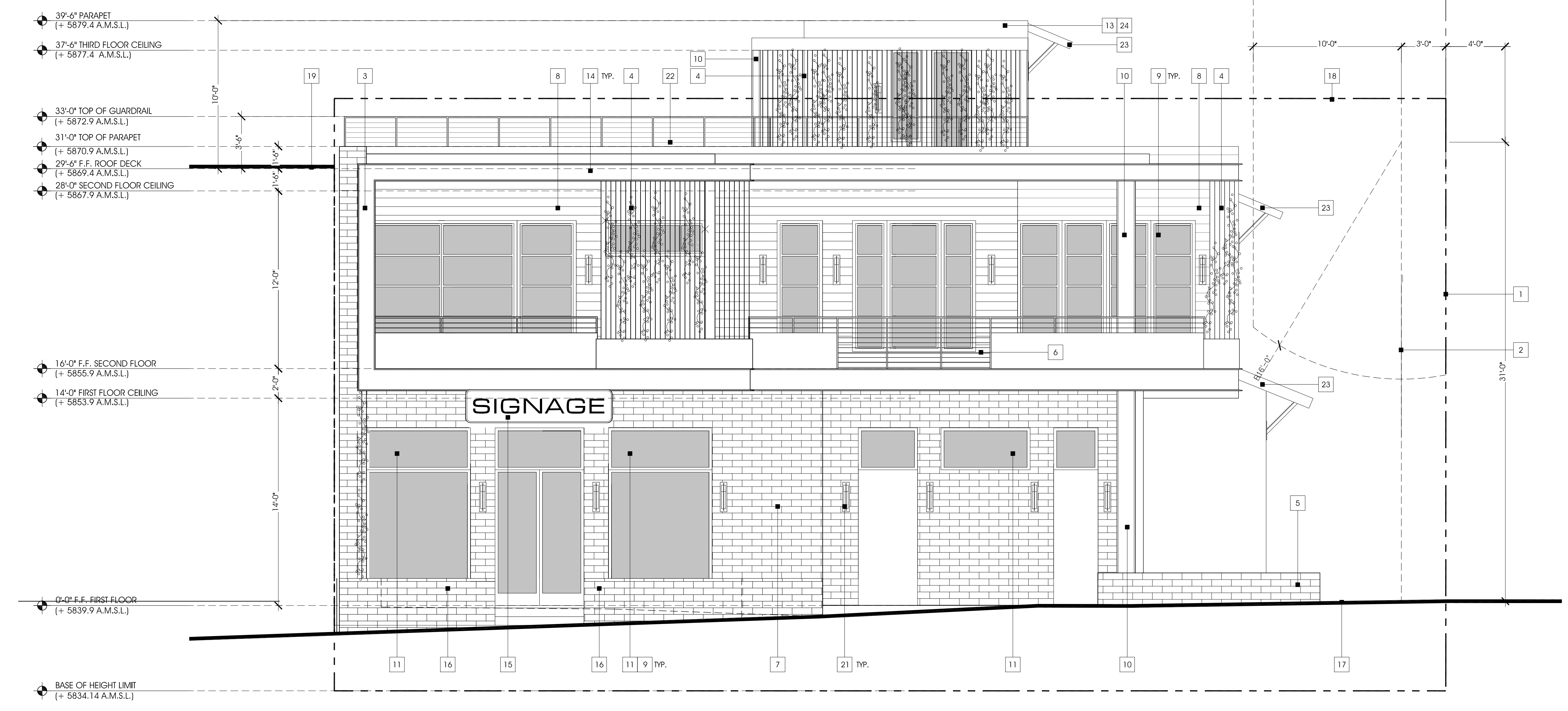
SUN VALLEY ROAD MIXED USE PROJECT
 231 SUN VALLEY ROAD
 KETCHUM, ID 83340

REVISIONS
PRELIMINARY DESIGN 01/06/17
PLANNING SUBM. 01/20/17

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1/20/2017
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15-04

ROOF PLAN

A3.0

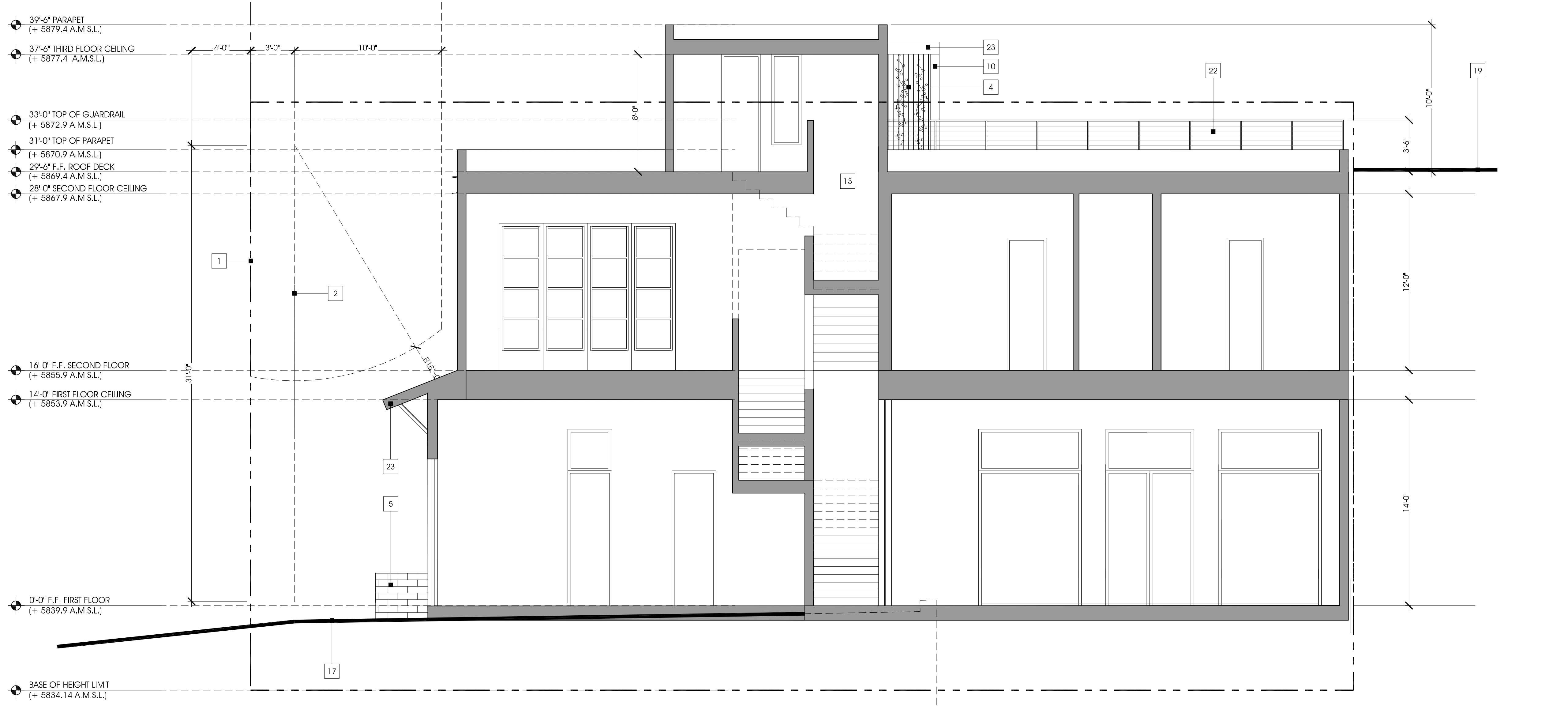


1. FRONT ELEVATION (SOUTH)

SCALE 1/4" = 1'-0"

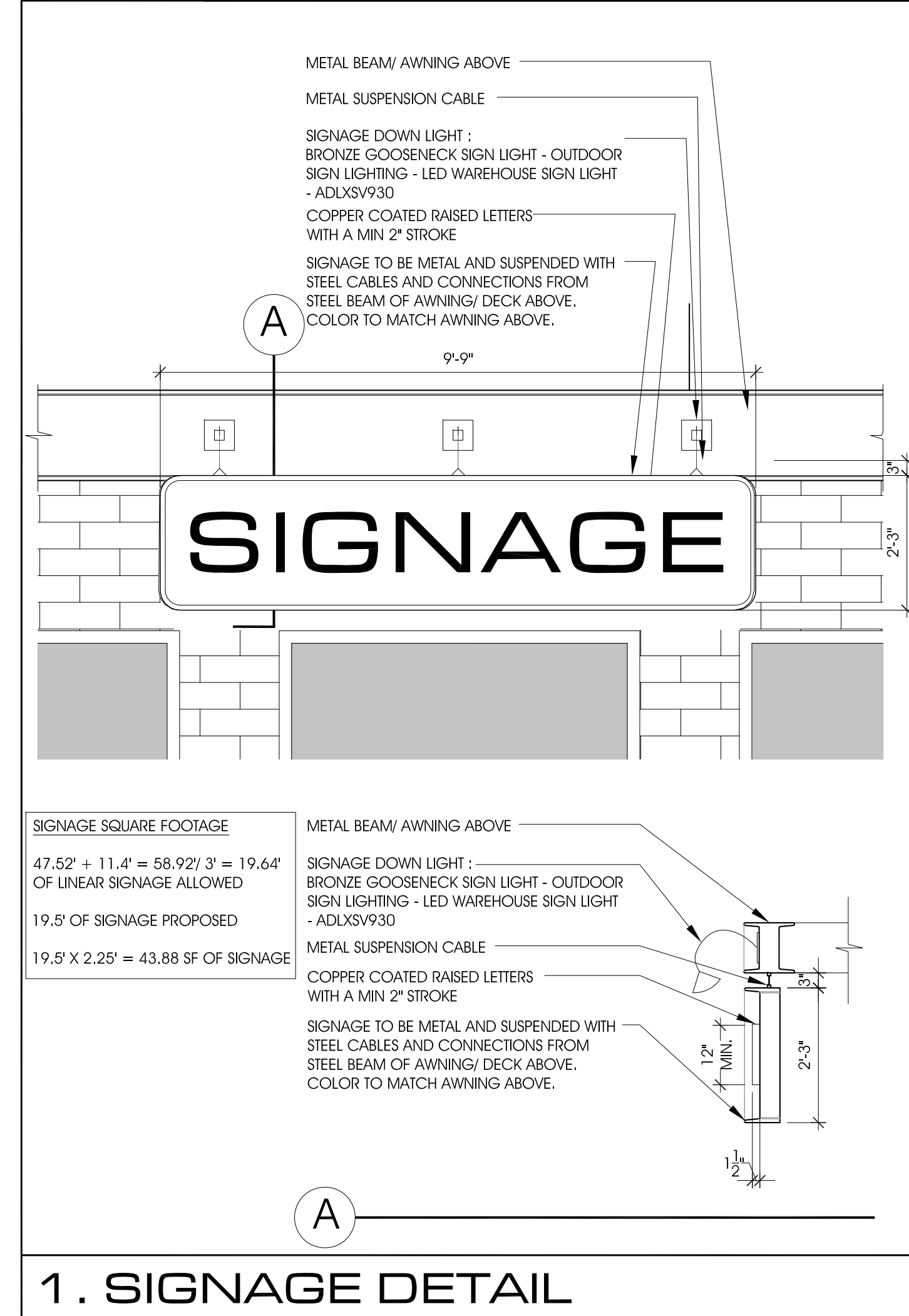
KEYNOTES

- 1 PROPERTY LINE, TYP.
- 2 SETBACK LINE TYP.
- 3 STEEL C-CHANNEL
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- 5 LANDSCAPE PLANTER WITH *Andropogon scoparium* - Little Bluestem PLANTS
- 6 STEEL PLATE GUARDRAIL, TYP.
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- 8 LIGHT GRAY HORIZONTAL SIDING
- 9 STEEL WINDOWS IN BLACK, TYP.
- 10 STEEL I- COLUMNS
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- 12 TRASH ENCLOSURE WITH CONCEALED DOORS
- 13 ENCLOSED STAIR TO ROOF TOP DECK
- 14 STEEL C- CHANNEL W/ WOOD SOFFIT
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- 16 LOW BENCH W/ PRECAST CAP
- 17 EX/ PROPOSED GRADE
- 18 LINE OF 40'-0" HEIGHT LIMIT
- 19 APPROXIMATE LOCATION OF ADJACENT BUILDING
- 20 UNFINISHED CMU ADJ BUILDING NON-EXPOSED SURFACE
- 21 HUBBARDTON FORGE Dramatic Spaces under the Stars, TO COMPLY WITH CITY OF KETCHUM DARK-SKY COMPLIANCE
- 22 METAL ROOF TOP DECK GUARDRAIL WITH STEEL POSTS AND CABLE RAIL AND DECORATIVE CABLE RAIL DESIGN
- 23 METAL ROOF AWNING WITH BLACKENED STEEL ANGLE BRACE
- 24 HAND TROWELED SMOOTH STUCCO, E.J. INDICATES STUCCO EXPANSION JOINT
- 25 NATURAL FINISH CONCRETE RETAINING WALL CLEANED AND SEALED



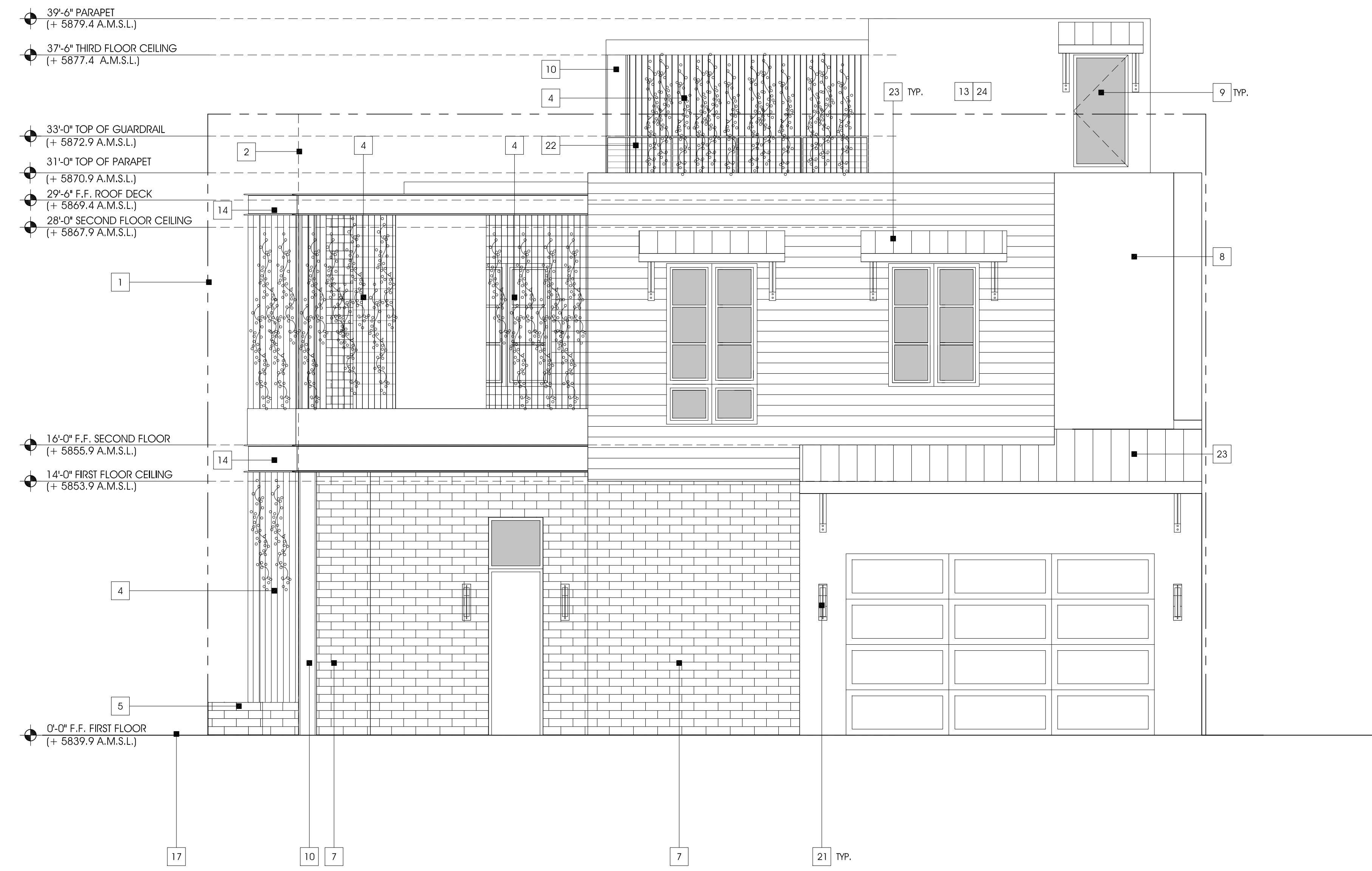
2. BUILDING SECTION

SCALE 1/4" = 1'-0"



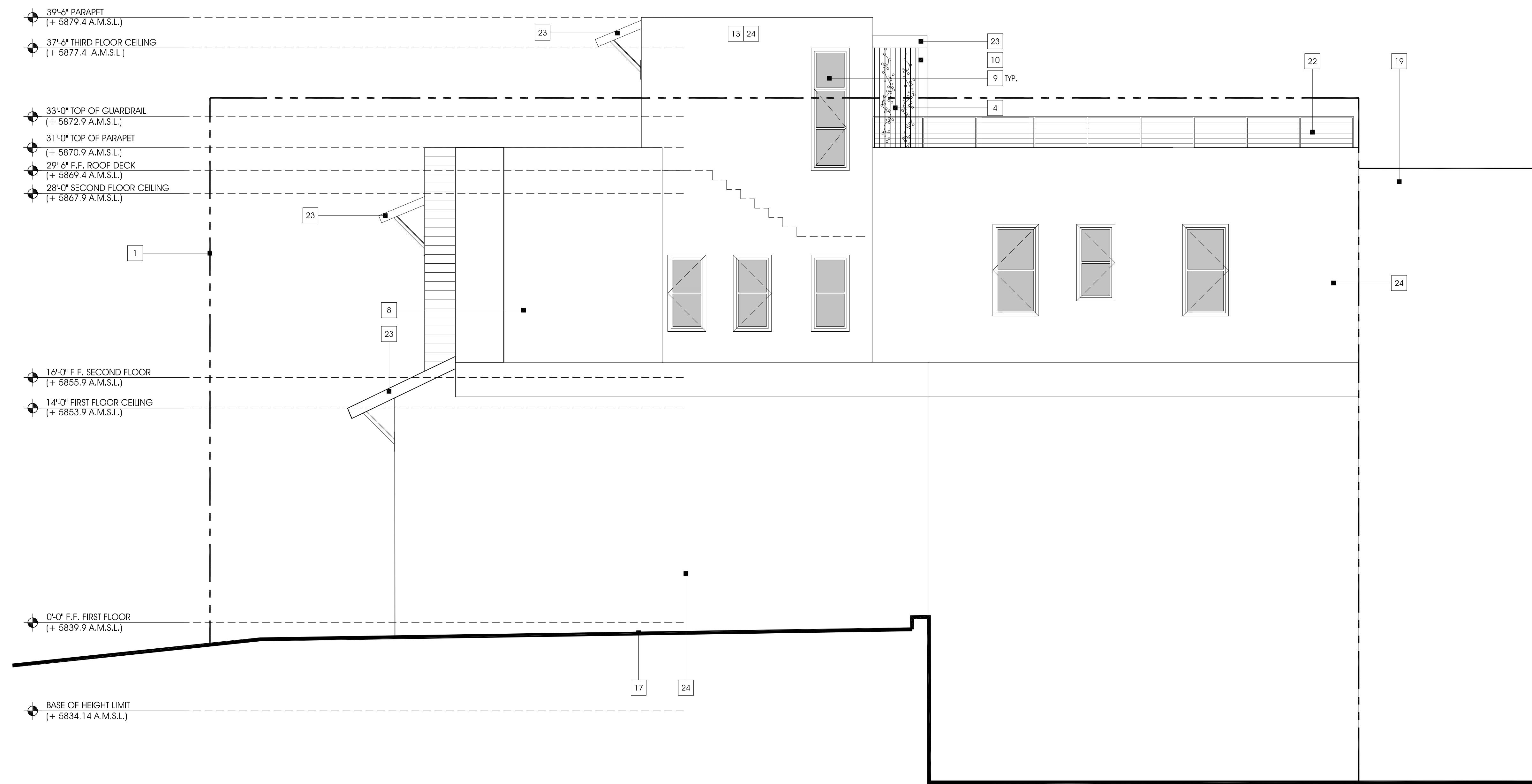
1. SIGNAGE DETAIL

REVISIONS
PRELIMINARY DESIGN 01/06/17
PLANNING SUBM. 01/20/17
PHASE
PLANNING
DATE
1/20/2017
JOB NO.
15-04
ELEVATION & SECTION



3. EAST ELEVATION

SCALE 1/4" = 1'-0"

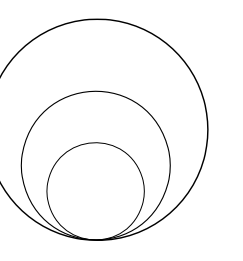


4. NORTH ELEVATION

SCALE 1/4" = 1'-0"

KEYNOTES

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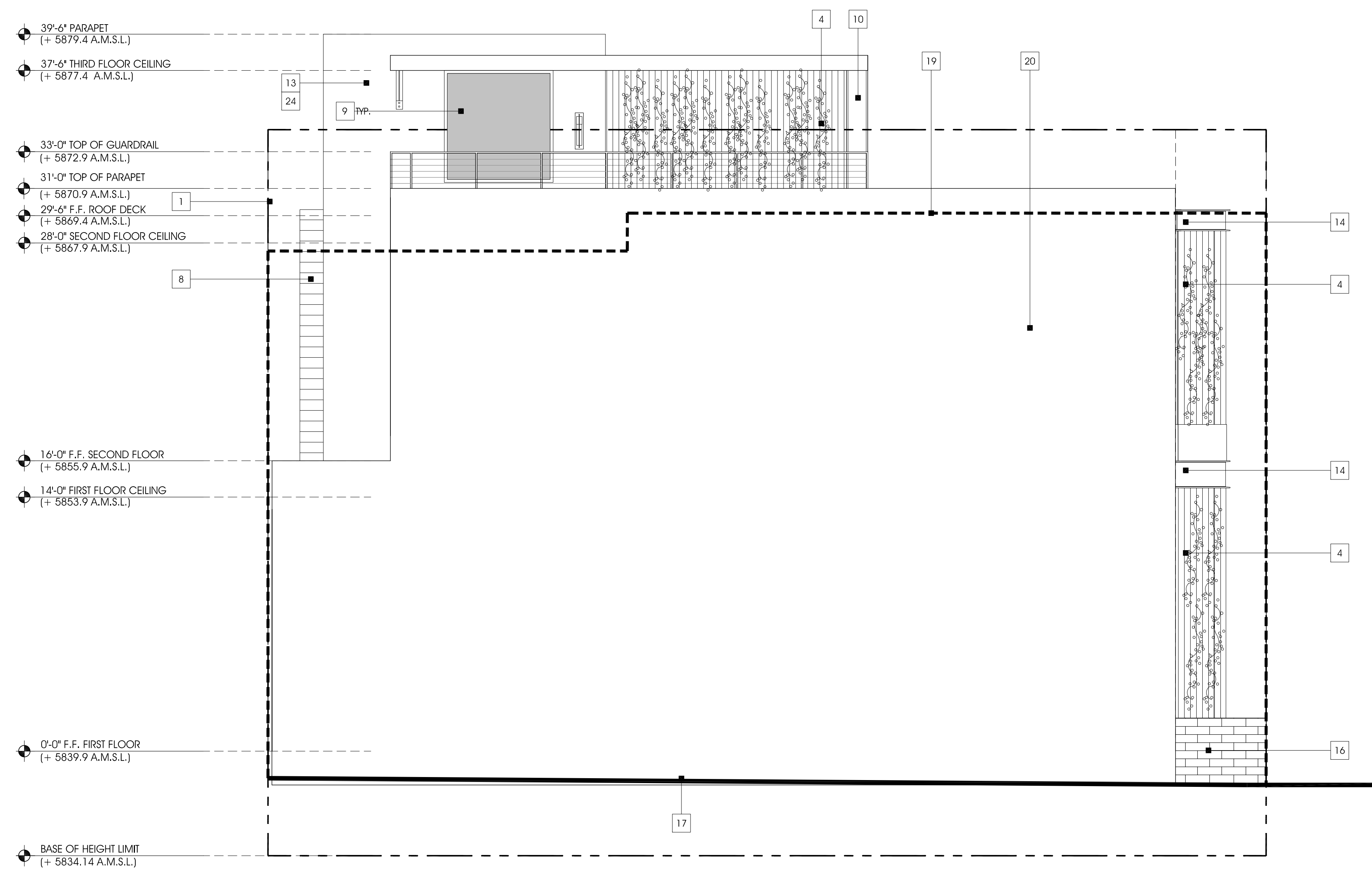
SUN VALLEY ROAD MIXED USE PROJECT
231 SUN VALLEY ROAD
KETCHUM, ID 83340

REVISIONS
PRELIMINARY DESIGN 01/05/17
PLANNING SUBM. 01/20/17

PHASE
PLANNING
DATE
1/20/2017
JOB NO.
15-04

ELEVATIONS

A4.1

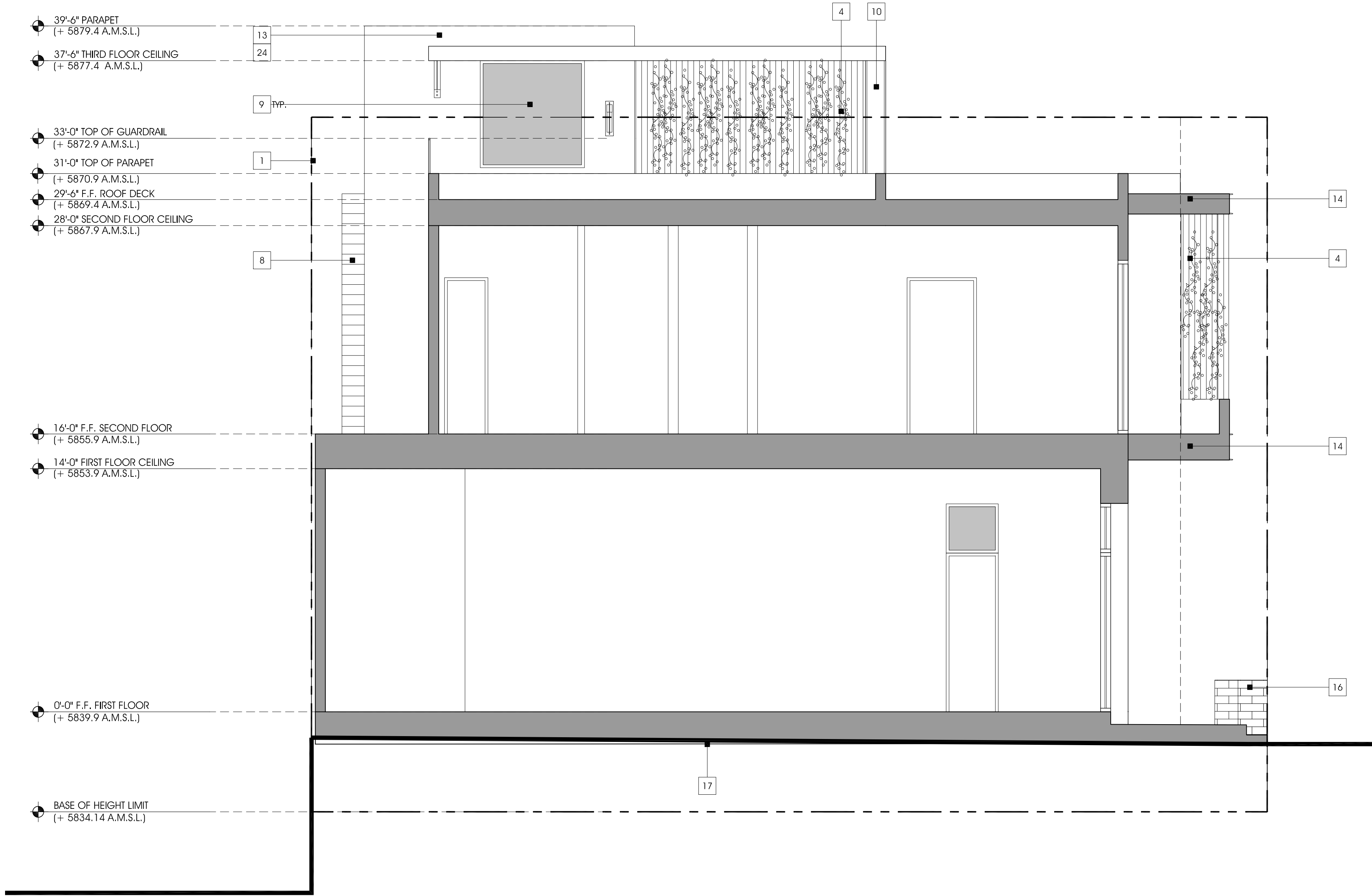


5. WEST ELEVATION

SCALE 1 / 4" = 1'-0"

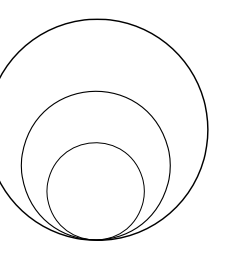
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6. BUILDING SECTION

SCALE 1 / 4" = 1'-0"



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SUN VALLEY ROAD MIXED USE PROJECT
231 SUN VALLEY ROAD
KETCHUM, ID 83340

REVISIONS
PRELIMINARY DESIGN 01/06/17
PLANNING SUBM. 01/20/17

PHASE
PLANNING
DATE
1/20/2017
JOB NO.
15-04

ELEVATIONS

A4.2

NO.	DESCRIPTION	DATE	BY



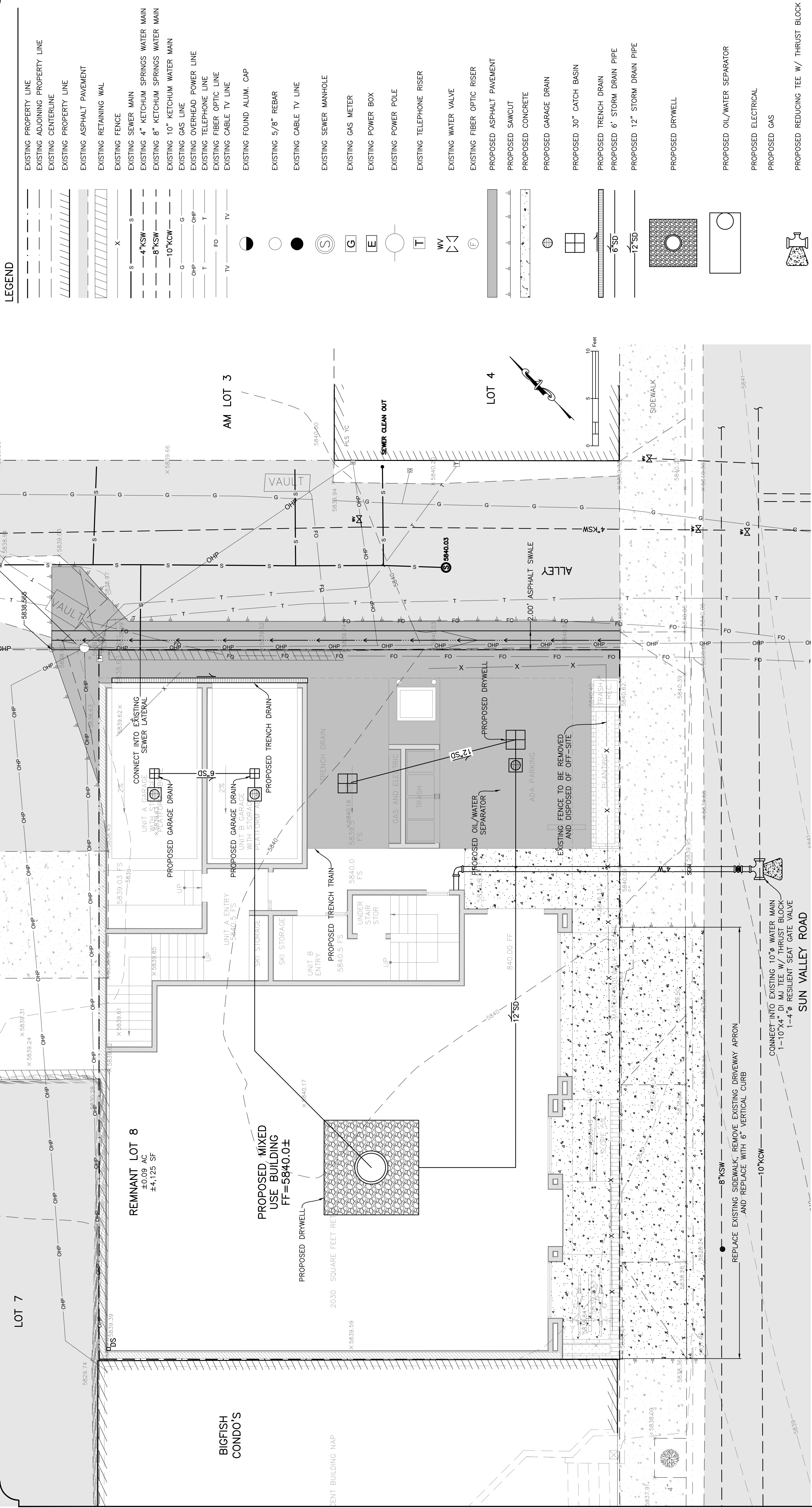
PREPARED BY:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 133 700 BELLEVUE DRIVE
KETCHUM, IDAHO 83340
(208) 726-9512
FAX 726-9514
WEB: WWW.BMA5B.COM
MAIL: WWW.BMA5B.COM

231 SUN VALLEY ROAD
MIXED USE PROJECT SITE UTILITY PLAN
BLAINE COUNTY, IDAHO
T4N, R18E, SEC 18, B.M.
PREPARED FOR:
DEVIN PISCITELLI

DRAWN BY: JPC
DESIGNED BY: JPC
CHECKED BY: SB
DATE: 06/16/15
PROJECT NO.: 15090

SHEET NUMBER

C-1



LEGEND

- EXISTING PROPERTY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING CENTERLINE
- EXISTING PROPERTY LINE
- EXISTING ASPHALT PAVEMENT
- EXISTING RETAINING WAL
- EXISTING FENCE
- EXISTING SEWER MAIN
- EXISTING 4" KETCHUM SPRINGS WATER MAIN
- EXISTING 8" KETCHUM SPRINGS WATER MAIN
- EXISTING 10" KETCHUM WATER MAIN
- EXISTING GAS LINE
- EXISTING OVERHEAD POWER LINE
- EXISTING TELEPHONE LINE
- EXISTING FIBER OPTIC LINE
- EXISTING CABLE TV LINE
- EXISTING FOUND ALUM. CAP
- EXISTING 5/8" REBAR
- EXISTING CABLE TV LINE
- EXISTING SEWER MANHOLE
- EXISTING GAS METER
- EXISTING POWER BOX
- EXISTING POWER POLE
- EXISTING TELEPHONE RISER
- EXISTING WATER VALVE
- EXISTING FIBER OPTIC RISER
- PROPOSED ASPHALT PAVEMENT
- PROPOSED SAWCUT
- PROPOSED CONCRETE
- PROPOSED GARAGE DRAIN
- PROPOSED 30" CATCH BASIN
- PROPOSED TRENCH DRAIN
- PROPOSED 6" STORM DRAIN PIPE
- PROPOSED 12" STORM DRAIN PIPE
- PROPOSED DRYWELL
- PROPOSED OIL/WATER SEPARATOR
- PROPOSED ELECTRICAL
- PROPOSED GAS
- PROPOSED REDUCING TEE W/ THRUST BLOCK
- PROPOSED RESILIENT SEAT GATE VALVE
- PROPOSED WATER SERVICE

GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AND THE CITY OF KETCHUM UTILITIES DEPT. (1-208-726-7825) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK. THE CONTRACTOR SHALL FULFILL THE REQUIREMENTS OF THE STORM WATER POLLUTION PREVENTION PROGRAM AT ALL TIMES UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM STANDARDS.
- CONTRACTOR SHALL DISINFECT WATER MAIN, PRESSURE TEST AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW) AND AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.
- THE CONSTRUCTION OF WATER MAINS SHALL BE IN ACCORDANCE WITH THE ISPCW, LATEST EDITION AND THE CITY OF KETCHUM STANDARDS.
- ALL WATER SERVICE FITTURES, FITTINGS, PIPING AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
- CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- ELECTRICAL SERVICE TO BE DESIGNED BY IDAHO POWER AT THE REQUEST OF THE DEVELOPER FOR SPECIFIC PROJECT.
- ALL UTILITIES INCLUDING NATURAL GAS, ELECTRICAL, TELEPHONE AND CABLE TO BE EXTENDED UNDERGROUND.
- STORM DRAIN PIPE SHALL HAVE 2' MIN. COVER AND A SLOPE OF 2% MIN.
- CONSTRUCTION STAKING SHALL BE PROVIDED BY BENCHMARK ASSOCIATES.
- CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS TO ENGINEER.

PROGRESS PRINT

NO.	DESCRIPTION	DATE	BY

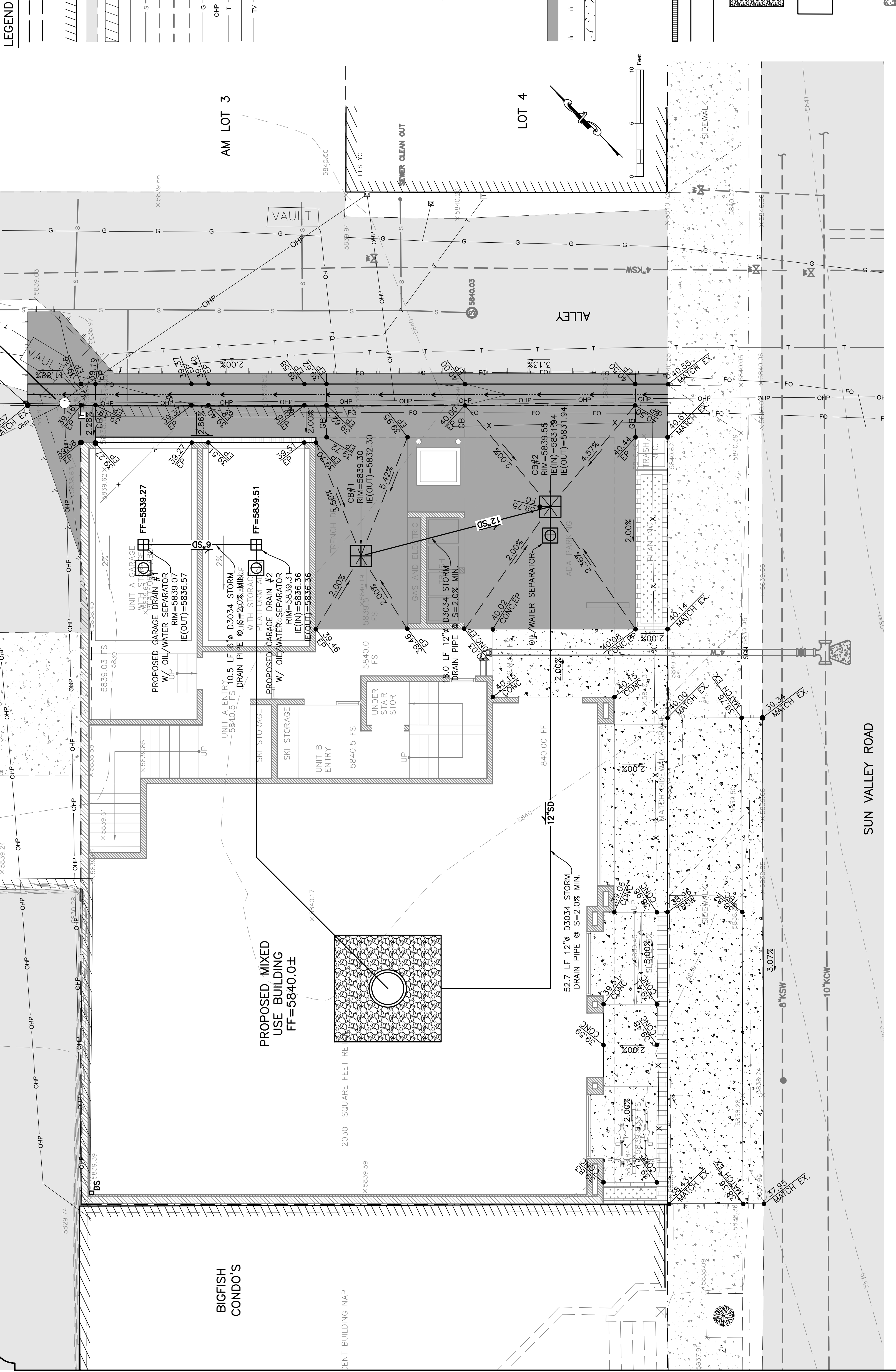


PREPARED BY:
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**231 SUN VALLEY ROAD
MIXED USE PROJECT SITE GRADING &
DRAINAGE PLAN**
T4N, R18E, SEC 18, B.M.,
BLAINE COUNTY, IDAHO
PREPARED FOR:
DEVIN PISCITELLI

DRAWN BY: JFG
DESIGNED BY: JFG
CHECKED BY: SB
DATE: 06/16/15
PROJECT NO.: 15090

SHEET NUMBER



- ### LEGEND
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 - EXISTING ADJOINING PROPERTY LINE
 - EXISTING CENTERLINE
 - EXISTING PROPERTY LINE
 - EXISTING ASPHALT PAVEMENT
 - EXISTING RETAINING WALL
 - EXISTING FENCE
 - EXISTING SEWER MAIN
 - EXISTING 4\"/>

- EXISTING GAS LINE
- EXISTING OVERHEAD POWER LINE
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- EXISTING FIBER OPTIC LINE
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- EXISTING FOUND ALUM. CAP
- EXISTING 5/8\"/>

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- EXISTING GAS METER
- EXISTING POWER BOX
- EXISTING POWER POLE
- EXISTING TELEPHONE RISER
- EXISTING WATER VALVE
- EXISTING FIBER OPTIC RISER
- PROPOSED ASPHALT PAVEMENT
- PROPOSED SAWCUT
- PROPOSED CONCRETE
- PROPOSED GARAGE DRAIN
- PROPOSED 30\"/>

- PROPOSED TRENCH DRAIN
- PROPOSED 6\"/>

- ### ABBREVIATIONS
- XX-XX MATCH EX. --- MATCH EXISTING ELEVATION
 - XX-XX CONC --- PROPOSED TOP OF CONCRETE ELEVATION
 - XX-XX CONC --- PROPOSED TOP BACK OF SIDEWALK ELEVATION
 - XX-XX TRENCH --- PROPOSED EDGE OF PAVEMENT ELEVATION
 - XX-XX EP --- PROPOSED GRADE BREAK
 - GB --- PROPOSED DIRECTION OF FLOW
 - 5.00% --- PROPOSED DIRECTION OF FLOW

DRYWELL DESIGN

A 1-INCH, 1-HOUR STORM USED FOR SIZING CALCULATIONS (I=1 IN/HR)
INFILTRATION RATE = 60 INCHES PER HOUR

RATIONAL METHOD

$Q = CIA$ (IMPERVIOUS)
 $C = 1.0$ IMPERVIOUS
 $I = 1.0$ IN/HR
 $Q = (1.0)(1.0)(0.09 \text{ ACRES}) = 0.09 \text{ CFS}$

$V_{REQ} = Q_{PEAK} \times \text{TIME} = 342 \text{ FT}^3$

DRYWELL

PERC AREA = 83 FT²
 PERC VOLUME (PERC AREA X DEPTH) = 83 FT² * 4.5 FT = 373 FT³
 STORAGE REQ'D (RUNOFF VOLUME - PERC VOLUME)
 = 342 FT³ - 373 FT³ = -31 FT³
 STORAGE VOLUME = (V_s*VOID RATIO)+V_p = 56 FT³
 STORAGE NEEDED = (STORAGE REQ'D + STORAGE VOLUME) = -87.20
 (MUST BE LESS THAN 0, ADEQUATELY SIZED DRYWELL)

GENERAL NOTES:

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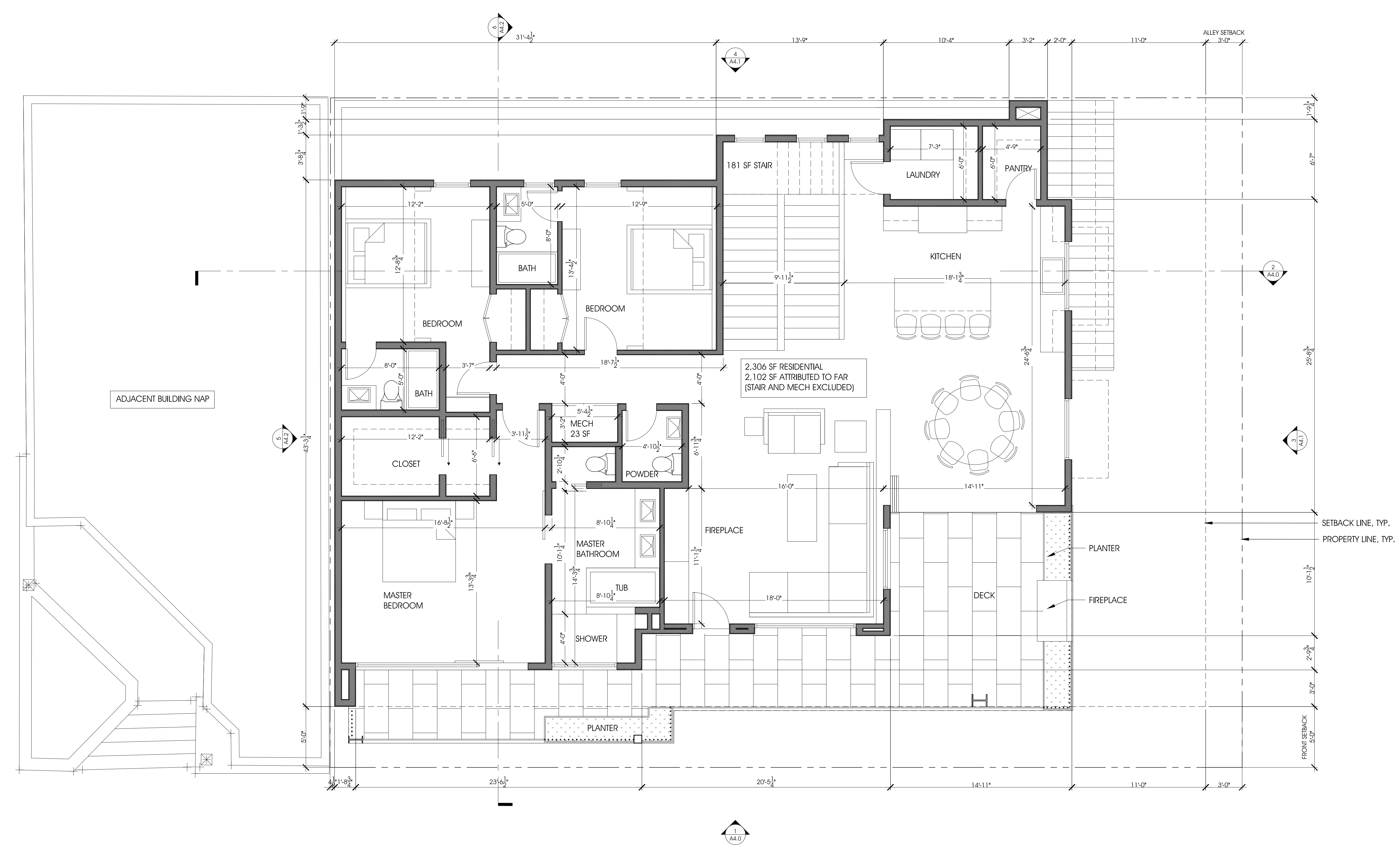
ATTACHEMENT B. Updated Plan Set 02/20/2017

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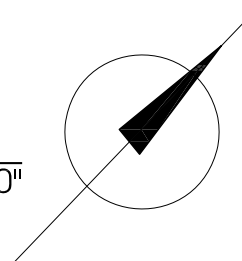
SECOND FLOOR PLAN

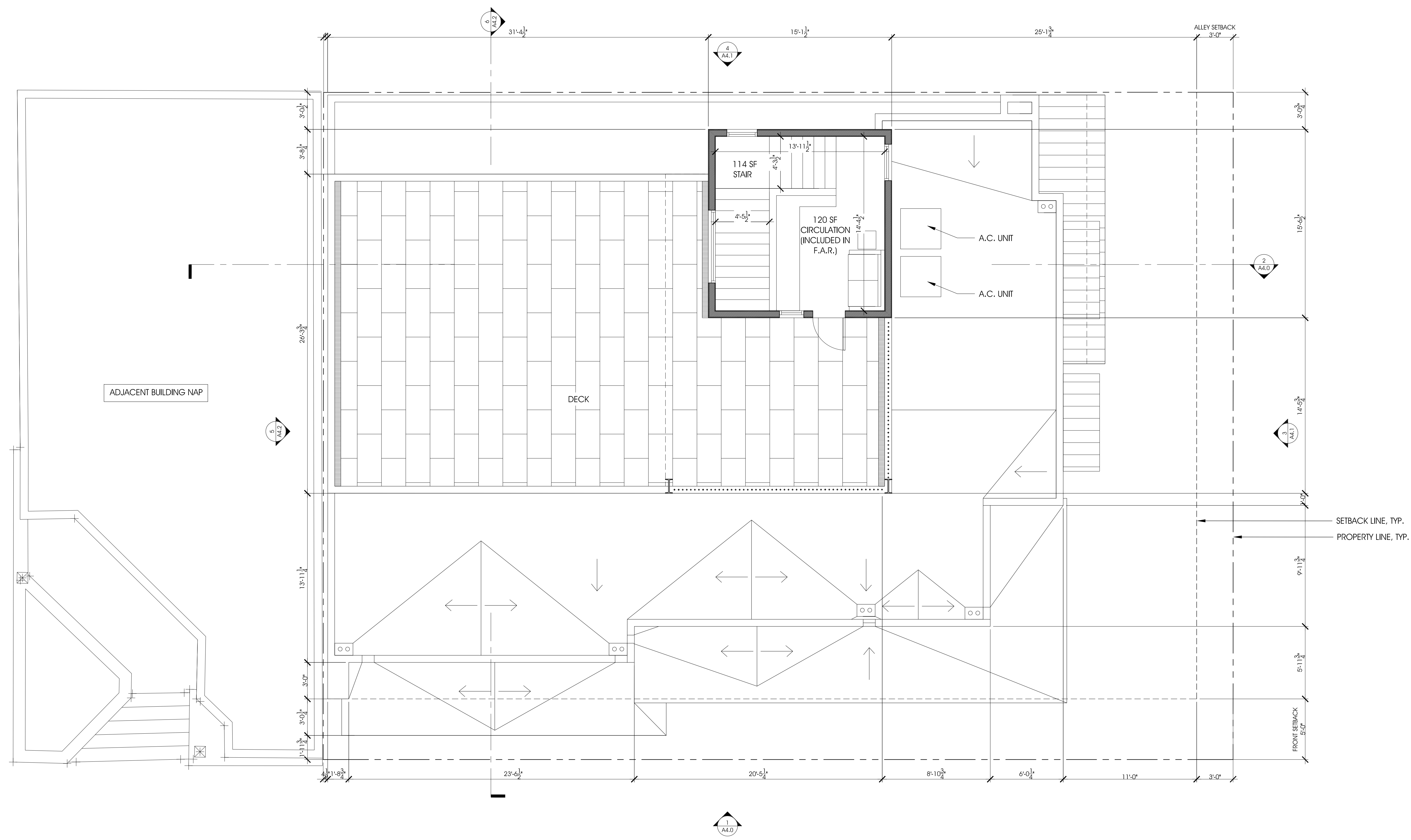
A1.2



SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"





THIRD FLOOR PLAN

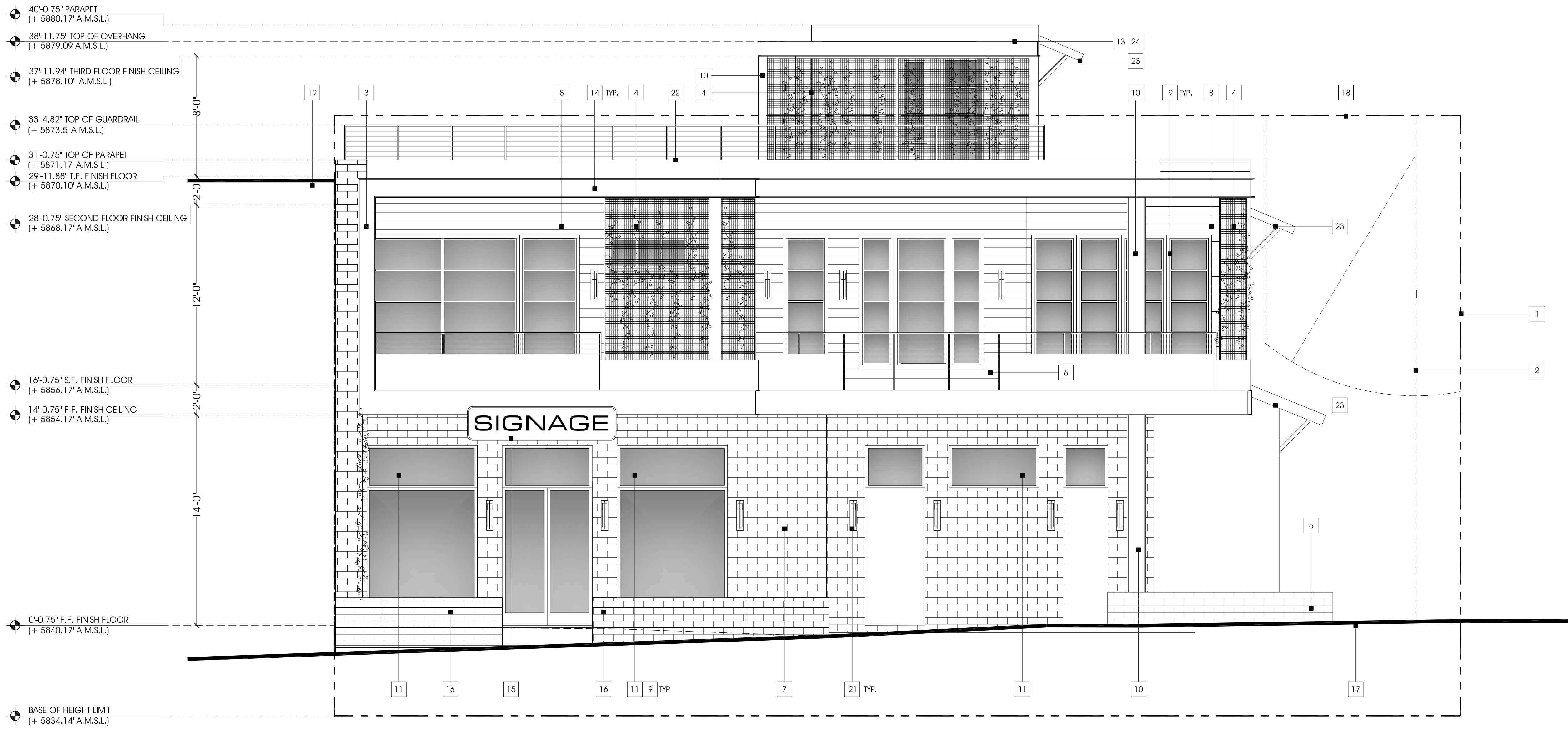
SCALE 1/4" = 1'-0"

SUN VALLEY ROAD MIXED USE PROJECT
231 SUN VALLEY ROAD
KETCHUM, ID 83340

REVISIONS
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ROOF DECK PLAN

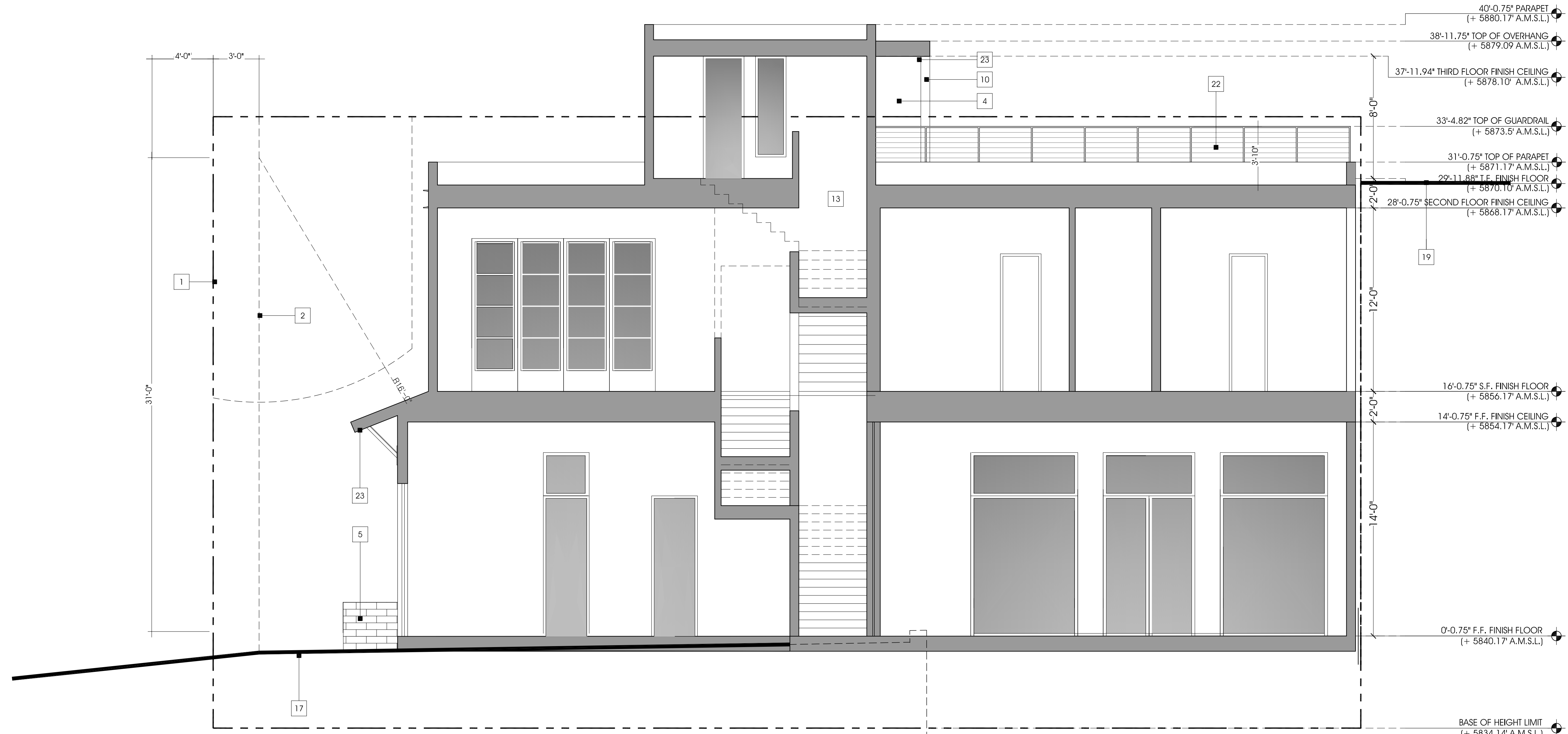


1. FRONT ELEVATION (SOUTH)

SCALE 1/4" = 1'-0"

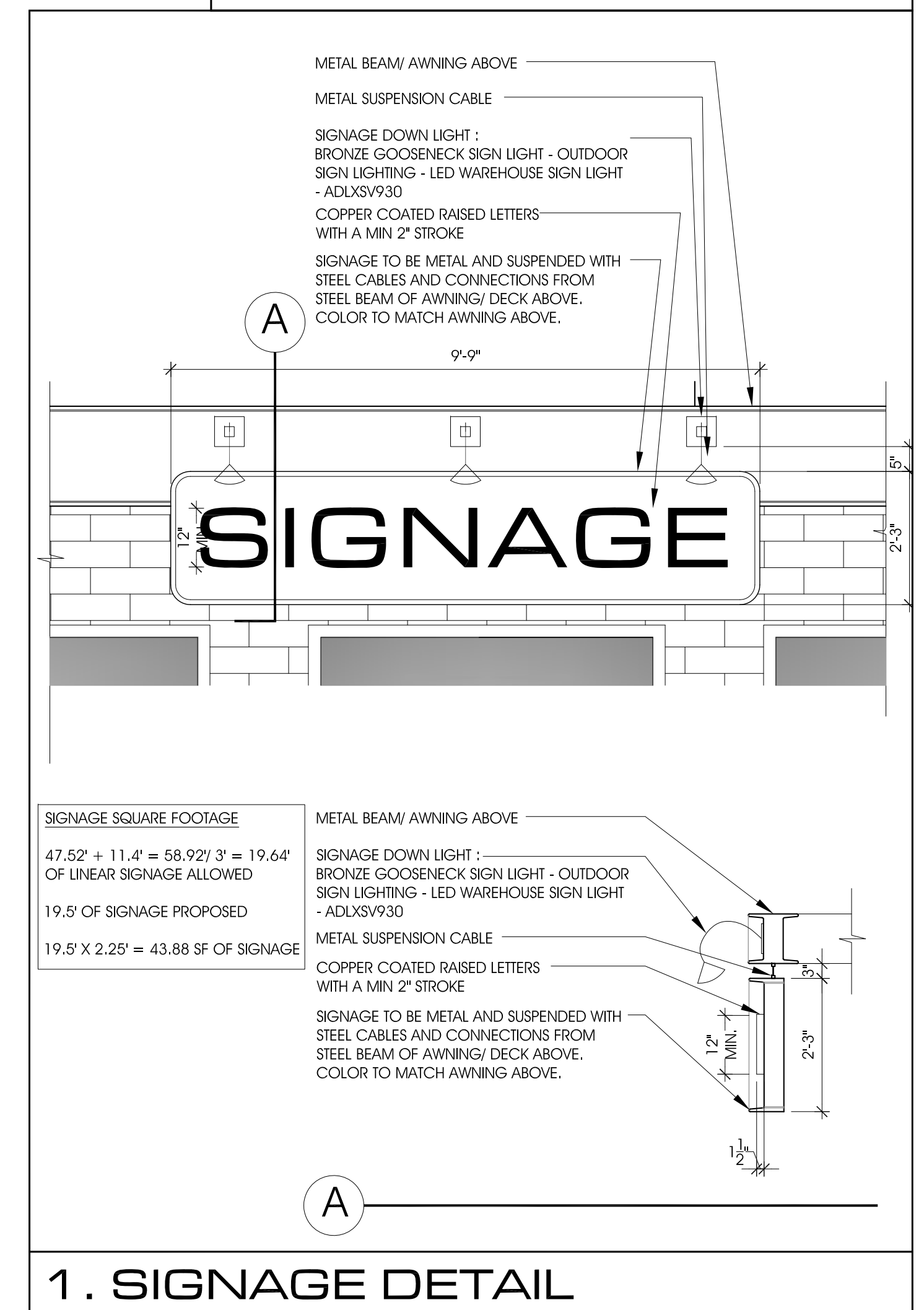
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2. BUILDING SECTION

SCALE 1/4" = 1'-0"



1. SIGNAGE DETAIL

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PRELIMINARY DESIGN 01/06/17
PLANNING SUBM. 01/20/17

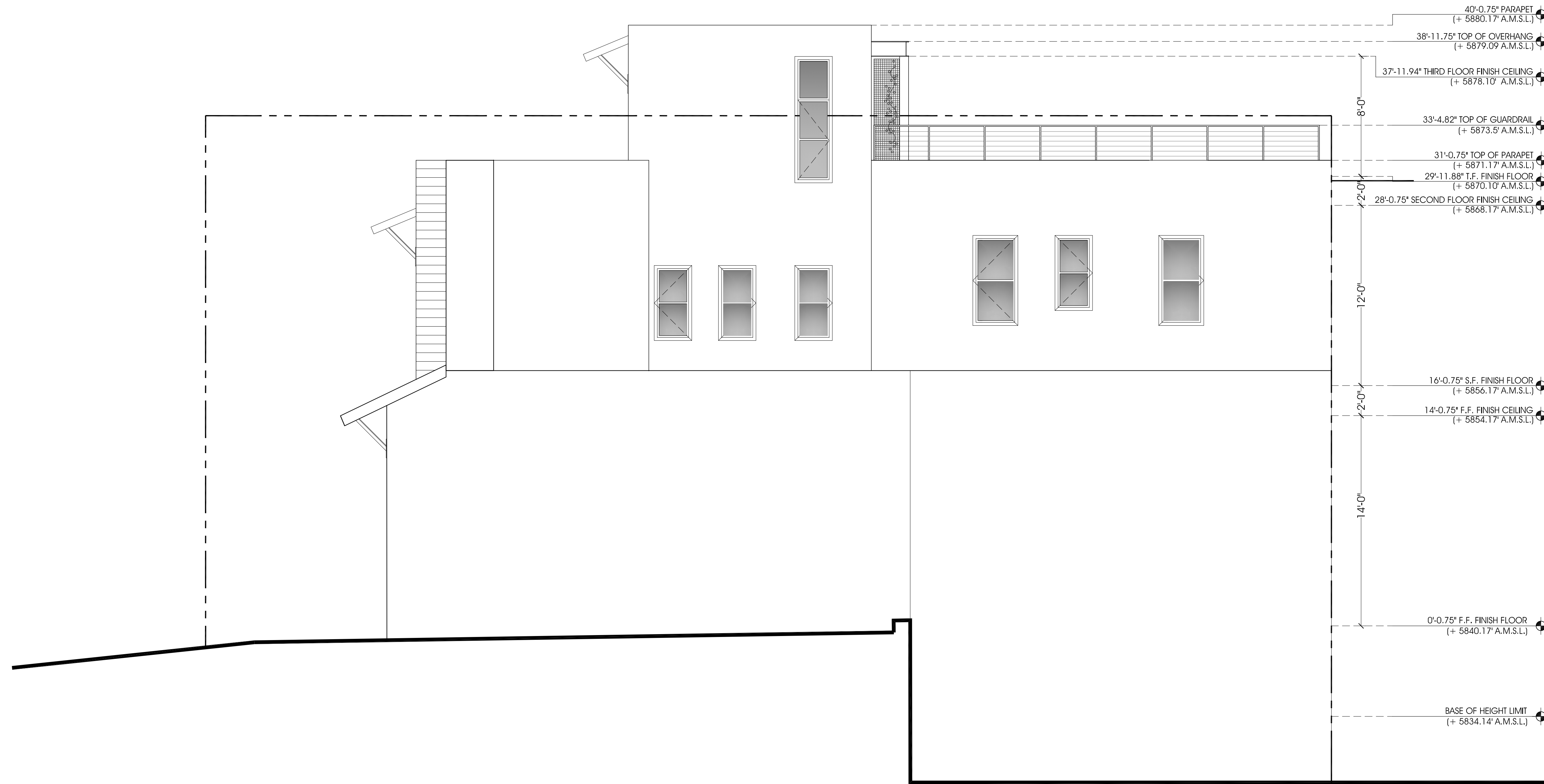
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15-04

ELEVATION & SECTION



3. EAST ELEVATION

SCALE 1/4" = 1'-0"

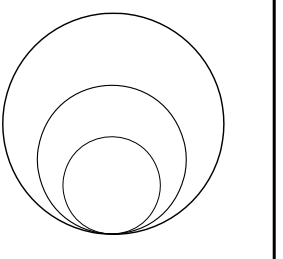


4. NORTH ELEVATION

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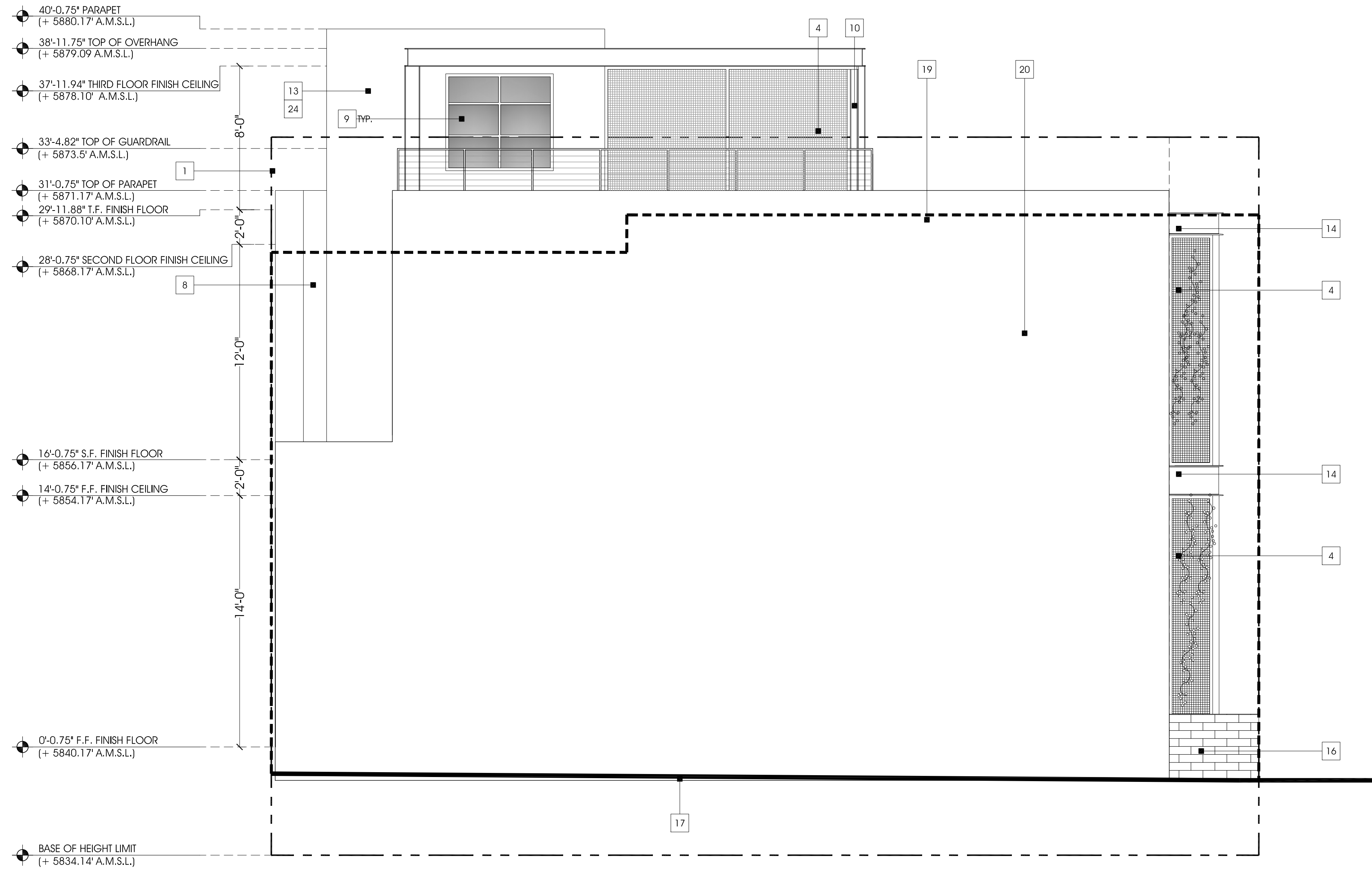
SUN VALLEY ROAD MIXED USE PROJECT
231 SUN VALLEY ROAD
KETCHUM, ID 83340

REVISIONS
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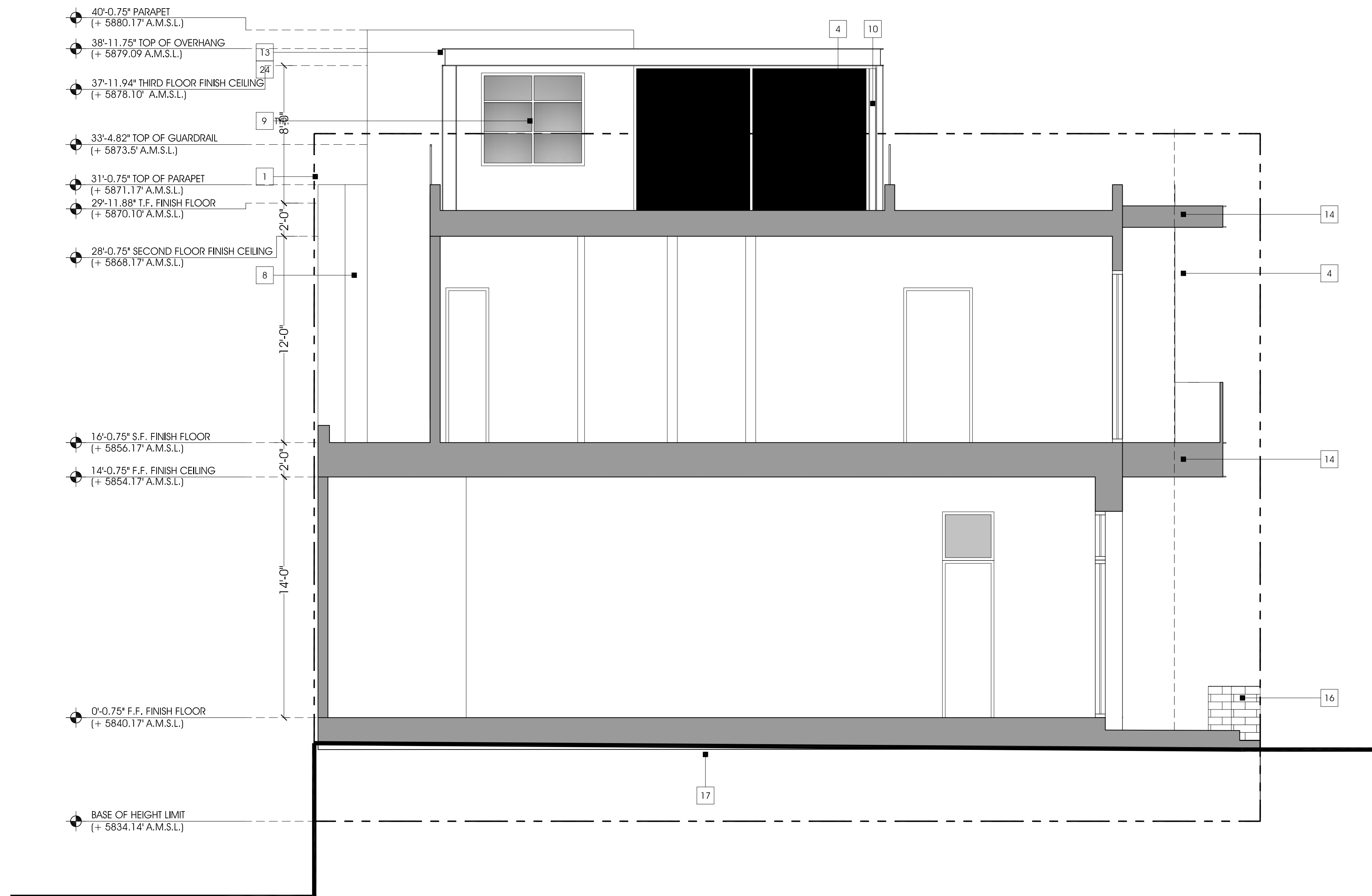
ELEVATIONS

A4.1



5. WEST ELEVATION

SCALE 1 / 4" = 1'-0"

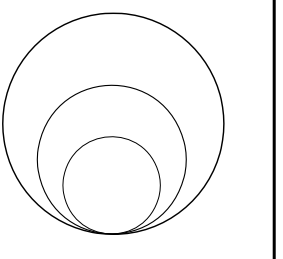


6. BUILDING SECTION

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- 2 SETBACK LINE TYP.
- 3 STEEL C-CHANNEL
- 4 VERTICAL CABLES FOR PLANTING WITH *Lonicera japonica* 'Halliana' - Halliana Japanese honeysuckle VINE
- 5 LANDSCAPE PLANTER WITH *Andropogon scoparium* - Little Bluestem PLANTS
- 6 STEEL PLATE GUARDRAIL, TYP.
- 7 RUSTIC RECLAIMED BRICK IN GRAY-BEIGE
- 8 LIGHT GRAY HORIZONTAL SIDING
- 9 STEEL WINDOWS IN BLACK, TYP.
- 10 STEEL I- COLUMNS
- 11 STEEL INSET WINDOW PER PLAN
- 12 TRASH ENCLOSURE WITH CONCEALED DOORS
- 13 ENCLOSED STAIR TO ROOF TOP DECK
- 14 STEEL C- CHANNEL W/ WOOD SOFFIT
- 15 STEEL HANGING SIGN
- 16 LOW BENCH W/ PRECAST CAP
- 17 EX/ PROPOSED GRADE
- 18 LINE OF 40'-0" HEIGHT LIMIT
- 19 APPROXIMATE LOCATION OF ADJACENT BUILDING
- 20 UNFINISHED CMU ADJ BUILDING NON-EXPOSED SURFACE
- 21 HUBBARDTON FORGE Dramatic Spaces under the Stars. TO COMPLY WITH CITY OF KETCHUM DARK-SKY COMPLIANCE
- 22 METAL ROOF TOP DECK GUARDRAIL WITH STEEL POSTS AND CABLE RAIL AND DECORATIVE CABLE RAIL DESIGN
- 23 METAL ROOF AWNING WITH BLACKENED STEEL ANGLE BRACE
- 24 HAND TROWELED SMOOTH STUCCO, E.J. INDICATES STUCCO EXPANSION JOINT
- 25 NATURAL FINISH CONCRETE RETAINING WALL CLEANED AND SEALED



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SUN VALLEY ROAD MIXED USE PROJECT
231 SUN VALLEY ROAD
KETCHUM, ID 83340

REVISIONS
PRELIMINARY DESIGN 01/06/17
PLANNING SUBM. 01/20/17

PHASE
PLANNING
DATE
1/20/2017
JOB NO.
15-04

ELEVATIONS

A4.2

ATTACHEMENT C. Materials Board



1



2



4



LED



5



6

1. RUSTIC RECLAIMED BRICK IN BEIGE

2. LIGHT GRAY HORIZONTAL SIDING

3. AXIS SMALL; OUTDOOR SCONCE; ALUMINUM (24"X5.5")

4. BRONZE GOOSENECK SIGN LIGHT - OUTDOOR SIGN LIGHTING - LED WAREHOUSE SIGN LIGHT - ADLXSV930

6. VERTICAL CABLES WITH PLANTING

7. STEEL PLATE GUARDRAIL



7

SUN VALLEY ROAD
 MIXED USE PROJECT
 231 SUN VALLEY ROAD
 KETCHUM, ID 83340

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City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF March 13, 2017

PROJECT: Angel Wings Retail Addition

FILE NUMBER: #17-007

OWNERS: TASZO LLC

REPRESENTATIVE: Susan Scovell, Architect

REQUEST: Design Review approval for an addition of 407.7 square feet to the Angel Wings building located in the Community Core, Sub-district A, Retail Core (CC-A)

LOCATION: 320 North Leadville Avenue
(Ketchum Townsite, Lot 2, Block 24)

ZONING: Community Core, Sub-district A, Retail Core (CC-A)

OVERLAY: None

NOTICE: Notice was mailed to adjacent property owners within a 300-foot radius of the subject property on February 28th, 2017 and posted in three public locations on the same date.

REVIEWER: Carl Anderson, Associate Planner

BACKGROUND

The site property is located in subdistrict A, Retail Core of the Community Core (CC) district. The site contains one existing building, located on Ketchum Lots 2 Block 24. The site currently contains a mixed use including retail space and residential units on the upper floors. The name of the building is Angel Wings and the current first floor tenants are Paul Kenny's (PK's) Ski Rental Shop and Vault Fine Furniture + Collectibles. The expansion will be used by Paul Kenny's Ski Rental Shop for retail space.

The applicant is proposing to construct a 407.7 square foot addition at the ground level at the north side of the existing building, which will enclose the existing pedestrian walkway connecting N. Leadville Avenue to the alley at the rear of the building. The addition will be used as retail space for Paul Kenny's (PK's) Ski Rental Shop. Along N. Leadville Avenue at the western corner of the site the applicant is proposing to remove the existing raised planter that surrounds a conifer tree and to replace the planter with a new wooden bench to surround the tree and to add pavers to match the existing. Along N. Leadville Avenue the applicant is also proposing to remove the two deciduous street-trees from the sidewalk and to replace them with bike racks.

ANALYSIS

The purpose of Design Review is to maintain and enhance appearance, character, beauty and function of the city, to ensure that new development is complementary to the design of existing city neighborhoods and to

protect and enhance the economic base of the City of Ketchum. Keeping in mind the purpose of this chapter and the application of the evaluation standards.

Design review is required for building, developing, or substantially altering the exterior of the following buildings or projects in all zoning districts:

1. Non-residential use
2. Public or semi-public use
3. Multi-family dwellings, including attached and detached townhomes
4. Mixed use
5. Any structure with an original construction date of 1940 or earlier

Design Review approval may be granted by the Commission only if the applicant demonstrates that:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to all applicable standards and criteria as set forth in this chapter, 17.96: Design Review, and any other standards as adopted or amended by the City of Ketchum from time to time.

As demonstrated in the supporting attachments staff believes the applicant has addressed all of the Design Review standards. Should the Commission agree the Commission may allow the applicant to move forward with Design Review and may attach additional conditions to approval as it determines necessary to ensure the health, safety, or welfare of the public. All conditions must cite the appropriate standard for imposing such condition. Such conditions include, but are not limited to:

1. Ensuring compliance with applicable standards.
2. Requiring conformity to approved plans and specifications.
3. Requiring security for compliance with the terms of the approval.
4. Minimizing adverse impact on other development.
5. Controlling the sequence, timing and duration of development and ongoing maintenance.
6. Requiring more restrictive standards than those generally found in the Ketchum Municipal Code.

COMPREHENSIVE PLAN ANALYSIS

Staff finds the proposed addition to the Angel Wings building located in the Retail Core is consistent with the uses, goals and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	SUMMARY OF COMPLIANCE OF PROPOSED AMENDMENTS WITH THE 2014 COMPREHENSIVE PLAN
Future Land Use	
Retail Core	The community’s primary shopping district is the Retail Core. The Retail Core provides a variety of mixed-use buildings that have ground-floor storefronts. Specialty shops, restaurants, and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment. Convenient shopping and dining served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices.
Community Design and Neighborhoods	
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.

Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
A Strong and Diverse Economy	
Policy E-1 (b) Downtown as a Major Community Asset and Tourism Attraction	The community will strive to maintain a single concentrated commercial and retail core. The city will reinforce the downtown core’s role as a more asset and visitor attraction by encouraging businesses that fit the downtown character and by developing policies, programs, investment strategies, and organizations that help retain downtown business.

COMMISSION OPTIONS

1. **Denial of the Application:** “Motion to deny the application from the owner TASZO LLC for the Design Review application finding the application **does not** meet the standards for approval under Chapter 17.96 of Ketchum Zoning Code, for the following reasons: [cite findings for denial].”
2. **Approval of the Application:** “Motion to approve the application from the owner TASZO LLC for the Design Review application, finding the application meets the standards for approval under Chapter 17.96 of Ketchum Zoning Code with the following conditions: [insert conditions of approval here]”
3. **Continuation of the Application:** “Motion to continue the application from owner TASZO LLC to a date certain of [insert date of meeting].”

STAFF RECOMMENDATION

Staff recommends approval of the application and supporting plans as presented with the following conditions.

RECOMMENDED CONDITIONS

Ketchum City Engineer, Streets, Utilities, Fire, Planning and Building Department requirements shall be met, including:

1. All departmental conditions as described in Table 1;
2. All staff conditions as described in Tables 2 and 3;
3. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
4. All building and fire code requirements as dictated by 2012 family of international codes shall apply to all construction on-site;
5. Design Review elements shall be completed prior to final inspection/occupancy; and
6. Any work in the right-of-way will require a right-of-way encroachment permit, reviewed and approved by the City before installation;
7. One (1) bicycle rack shall be provided on-site as approved by the Public Works department prior to the issuance of a Certificate of Occupancy; and
8. The project shall comply with the requirements of 17.124.040 as adopted on the date a building permit is submitted for the project.

ATTACHMENTS:

- A. Table 1. Requirements for All Applications
- B. Table 2. Zoning Standards Analysis
- C. Table 3. Design Review Standards
- D. Table 4. Design Review Standards for Community Core Projects
- E. Application
- F. Plans
 - a. Plans Sheet, dated: 02/15/2017
 - b. Construction Management Plan, dated: 02/15/2017
 - c. Angel Wings Site Photos

Attachment A.
Table 1: Requirements for All Applications

			City Department Comments	
Compliant				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.040	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Police Department: No comment at this time.</p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Fire Department: The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.</p> <p>Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.</p> <p>Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.</p> <p>An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.</p> <p>NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.</p> <p>An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.</p> <p>Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.</p> <p>The appropriate keys, for emergency fire department access, shall be provided and installed in the existing Knox box.</p> <p>Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.</p>	

			<p>The existing required monitored alarm system shall be modified to meet the current requirements of NFPA 72 and Ketchum Ordinance #1125.</p> <p>An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded “On-Sites” can be found at www.ketchumfire.org.</p> <p>Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Public Works: No comments at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Utilities: Utilities has no concerns with this project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Parks/Arborist: Removal of the existing street trees is not approved; they are healthy, have good form, and don’t appear to impede pedestrians. Public benefits of tree retention outweigh replacing them with bike racks. Additionally, the placement of the proposed bicycle racks on the sidewalk is not recommended due to impediments to pedestrian movement.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Building: The addition must meet 2012 International Building Code.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Planning and Zoning: Comments are denoted throughout the staff report.</p>

Attachment B.
Table 2: Zoning Standards Analysis

Compliance with Zoning District				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Regulation	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Lot Area
			<i>Staff Comments</i>	Permitted: 5,500 square foot minimum Existing: 5,500 square feet
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Height
			<i>Staff Comments</i>	Required: A maximum building height of 42' feet is permitted. Proposed: N/C
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Setbacks
			<i>Staff Comments</i>	Required: Front (West): 0' Side (North): 0' Side(South): 0' Rear(East): 0' Proposed: Front (West): N/C Side (North): N/C Side(South): N/C Rear (East): N/C
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.140	Curb Cut
			<i>Staff Comments</i>	Required: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Proposed: No change to the existing curb cut is proposed at this time.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	12.125.020.A.2 & 17.125.050	Parking Spaces
			<i>Staff Comments</i>	Required: The off street parking standards apply when an existing structure or use is expanded or enlarged. Additional off street parking spaces shall be required only to serve the enlarged or expanded area, not the entire building or use. Residential, CC District: One (1) space per 1,500 net square feet. Retail Trade, CC District: Two (2) spaces per 1,000 gross square feet. Existing: The applicant has provided 5 on-site parking spaces and has an existing parking on-street parking credit of four (4) parking spaces. Existing Residential: 3,913 net square feet = 2.6 spaces Existing Retail: 2, 868.3 gross square feet = 5.7 Proposed: Residential: 3,913 net square feet = 2.6 spaces (No Change) Retail: 3,276 gross square feet = 6.6 Total required = 9
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	Floor Area Ratios and Community Housing
			<i>Staff Comments</i>	Prior to the issuance of a building permit, the applicant will be required comply with the proposed emergency Ordinance 1169, which will require an applicant to enter into an exceedance agreement with the City of Ketchum, acknowledging, and agreeing to the City's Community Housing requirements. The ordinance has not been adopted yet, and is scheduled for a second reading on April 3 rd , 2017. The project shall comply with the

			<p>requirements of 17.124.040 as adopted on the date a building permit is submitted for the project.</p> <p>Permitted in CC <i>Permitted Gross FAR: 1.0</i> <i>Inclusionary Housing Incentive: 2.25</i></p> <table border="1"> <thead> <tr> <th colspan="3" style="text-align: center;">Total Floor Area</th> </tr> <tr> <th></th> <th style="text-align: center;"><i>Proposed</i></th> <th style="text-align: center;"><i>Existing</i></th> </tr> </thead> <tbody> <tr> <td>Basement (not counted in FAR)</td> <td style="text-align: center;">N/C</td> <td style="text-align: center;">Not Counted</td> </tr> <tr> <td>1st Floor</td> <td style="text-align: center;">+ 407.7 SF</td> <td style="text-align: center;">2,868 SF</td> </tr> <tr> <td>2nd Floor</td> <td style="text-align: center;">N/C</td> <td style="text-align: center;">2,873 SF</td> </tr> <tr> <td>3rd Floor</td> <td style="text-align: center;">N/C</td> <td style="text-align: center;">1,843 SF</td> </tr> <tr> <td>Total</td> <td style="text-align: center;">7,991.7 SF FAR</td> <td style="text-align: center;">7,584 SF FAR</td> </tr> </tbody> </table> <p>Proposed FAR: 1.45 (7,991 sf/5,500 sf)</p> <p>Existing FAR: 1.38 (7,584 sf/5,500 sf)</p> <p>Community Housing CH incentive: The applicant shall provide 69.31 sf of community housing either on-site or elsewhere within the City of Ketchum area of impact, or pay a fee in-lieu of \$16,495.78.</p> <ol style="list-style-type: none"> 1. Increase in SF above existing FAR = 407.7 2. 20% of CH incentive to be deed restricted or pay fee in lieu: 81.54 sf 3. Reduced by 15% to account for circulation, mechanical, etc.: 69.31 sf 	Total Floor Area				<i>Proposed</i>	<i>Existing</i>	Basement (not counted in FAR)	N/C	Not Counted	1 st Floor	+ 407.7 SF	2,868 SF	2 nd Floor	N/C	2,873 SF	3 rd Floor	N/C	1,843 SF	Total	7,991.7 SF FAR	7,584 SF FAR
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3 rd Floor	N/C	1,843 SF																						
Total	7,991.7 SF FAR	7,584 SF FAR																						
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.18.130</p> <p>Zoning Matrix & Definitions</p> <hr/> <p><i>Staff Comments</i></p> <p>17.18.130: Community Core District (CC)</p> <p>A. Purpose. The purpose of the CC community core district is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum’s historical and geographic context while providing diversity. Compatible mixed uses including retail, office, residential and cultural uses are encouraged. Commercial uses are concentrated in the CC district which is consistent with the city’s comprehensive plan and the downtown master plan.</p> <p>D. Subdistricts. Subdistricts specify areas of special characteristic within the community core which are designated on the City of Ketchum Zoning Map.</p>																					

Attachment C.

Table 3: Design Review Standards for all projects

IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1)	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	<i>The property is currently served by a public streets. No additional requirements are required at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(2)	All street designs shall be approved by the City Engineer.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(2)	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	<i>The current sidewalk configuration satisfies this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Staff Comments</i>	<i>The property is currently served by sidewalks that conform to right-of-way standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>N/C</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>The existing side-walk configuration satisfies this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>Staff does not recommend a contribution in-lieu for the above described pedestrian improvements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>N/C</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>N/C</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>N/C</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement and will provide all utilities necessary for the proposed development. See comments from the City Utilities Department located in Table 1.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement and will provide all utilities necessary for the development. The applicant shall coordinate with the City Utilities Department and receive approval of final utility location at the time of final inspection, prior to the issuance of a Certificate of Occupancy.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>The projects proposed materials, colors and signing are complementary with the townscape, and are designed to match the existing building Angel Wings building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>No landmarks have been identified on the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>The existing structure was built in after 1940. The proposed addition satisfies this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>The entry way for the proposed retail use is clearly defined as provides unobstructed access to the sidewalk along Leadville Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>The architectural design of the addition is consistent with the existing building. The materials proposed for the addition are the same as those of the existing building. The addition will be visible from the front of the property facing Leadville Avenue (west) and along the alleyway (east) at the rear of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>The proposed landscape features are located in the plaza area at the front of the building facing Leadville Avenue. The applicant is proposing to remove the two street trees located on Leadville Avenue; however, the City Arborist does not approve removal of the street trees. See comment from the City Arborist located in Table 1.</i> <i>Additionally, the existing gate located at the rear of the property will be moved and located closer to the alleyway, in front of the existing conifer. The applicant is also proposing to remove the existing planter at the northwest</i>

				<i>corner of the property and replace it with a new wood bench around the tree and to add pavers to match existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>The existing building satisfies this requirement, and the proposed addition serves to complement the existing design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>The front entrance of the building orients towards Leadville Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>N/C</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>N/C.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The site is currently well connected as all curb lines will match exiting curb lines along Leadville Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>N/C</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>The existing design of the building allows traffic to flow safely within the project and onto adjacent streets. The proposed addition is not anticipated to inhibit bicycle, pedestrian connection to Leadville Avenue. The addition will not limit sight distances around the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>No curb cut is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>The existing site layout currently provides unobstructed access for emergency vehicles, snowplows, garbage trucks and similar service vehicles. The proposed 407.7 square foot addition is not anticipated to decrease the access to service vehicles.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>N/C</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>See above.</i>
			17.96.060(I)(1)	Landscaping is required for all projects.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Staff Comments</i>	<i>The site is currently served by landscaping. The applicant is proposing minor landscape modifications. There is an existing tree located at the east side of the property, adjacent to the alley, which will remain. The applicant is proposing to remove the existing planter box at the northwest corner of the property and to replace it with a wood bench and pavers to match the existing. The applicant is also proposing to remove the two deciduous street-trees located along Leadville Ave and to replace them with bike racks, however, the City Arborist does not approve removal of the street trees. See Table 1 for further comment from the City Arborist. Staff recommends that the two street trees remain.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The proposed landscape modifications are readily adaptable to the site's micro climate. The addition of the wood bench and pavers to match existing will complement the neighborhood and surrounding townscape.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>There are no changes proposed to the species of trees, shrubs, grasses and perennials.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The landscaping features and proposed modification to the planter surrounding the existing conifer tree located along Leadville Avenue will continue to provide a buffer between the existing retail use and vehicular traffic.</i> <i>See comments from the City Arborist located in Table 1 regarding the applicant's proposed removal of the existing deciduous street-trees.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>No additional amenities are recommended at this time.</i>

Attachment D.

Table 4: Design Review Standards for Community Core Projects

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core district. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the Community Core.				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 A(1)	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
			<i>Staff Comments</i>	<i>No additional street trees, street lights, street furnishings, and any other street improvements have been recommended by the Public Works Department at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(2) Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.
			<i>Staff Comments</i>	<i>There are two existing deciduous street-trees located along Leadville Avenue, which the applicant is proposing to remove. The City Arborist has reviewed the proposal to remove the street trees and has recommended against this proposal. See City Arborist comment located in Table 1.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(3)	Due to site constraints, the requirements if this subsection 17.96.070.A may be modified by the Public Works Department.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
			<i>Staff Comments</i>	<i>The addition of 407.7 square feet at the ground level of the Angel Wings building complies with this requirement. The existing building is well designed and does not have blank walls present at the front or rear of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			<i>Staff Comments</i>	<i>The proposed addition is designed to match the existing ground floor storefront of the property. The doors will be a clear transparent glass.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			<i>Staff Comments</i>	<i>The front faced of the Angel Wings building has been designed to not obscure views into the windows of the retail space at the ground level.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			<i>Staff Comments</i>	<i>N/C</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
			<i>Staff Comments</i>	<i>N/C</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			<i>Staff Comments</i>	<i>N/C</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			<i>Staff Comments</i>	<i>The applicant has satisfied this requirement.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			Staff Comments	N/C
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
			Staff Comments	N/C
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
			Staff Comments	The applicant is proposing to remove two deciduous street-tress along Leadville Avenue and to replace them with bike racks rather than replacement trees. The City Arborist does not approve removal of the two street trees and because the street trees are located in the right-of-way the trees may not be removed without city approval. See Table 1 for full comment from City Arborist. Staff recommends that the two healthy street trees remain.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
			Staff Comments	No changes related to tree grates are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
			Staff Comments	No replacement trees are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
			Staff Comments	N/C. Five parking spaces are currently located off the alleyway at the rear of the property.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			Staff Comments	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
			Staff Comments	The existing planter for the tree at the northwest corner of the property will be removed and replaced with a planting bed. A wood bench will be added which will surround the proposed tree.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			Staff Comments	There are nine (9) parking spaces required by the proposed use, with five (5) parking spaces provided on site and four (4) parking spaces credited in the street. Therefore, two (2) bicycle racks, able to accommodate at least (4) bicycles total, are required. The applicant is proposing to replace the two (2) existing deciduous street trees located on the sidewalk adjacent to Leadville Ave with two (2) bicycle racks that are able to accommodate two (2) bicycles each. The City Arborist does not approve removal of the street trees and does not recommend locating the two recommend bike racks along the sidewalk at this time. Staff recommends locating the two required bicycle racks on private property, or prior to a building permit being issued.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.

			<i>Staff Comments</i>	<i>Two bicycle racks are required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.
			<i>Staff Comments</i>	<i>Planning staff will approve the final location of the two bicycle racks, if located on private property, prior to building permit approval. Public Works and the City Arborist will approve the final location of the two bicycle racks if the bicycle racks are to be located on the sidewalk.</i>



City of Ketchum
Planning & Building

**CERTIFIED
COMPLETE**

2-16-17 KO

OFFICIAL USE ONLY	
Application No.	17-007
Received Date	2-15-17
By	K. Owens
Checked By	<input checked="" type="checkbox"/>
Approved By	C. Anderson
Approved Date	
Notes	

Design Review Application

APPLICANT INFORMATION			
Project Name: Angel Wings Retail Addition		Phone:	
Owner: TASZO LLC		Mailing Address: PO Box 2996 Ketchum, ID 83340	
Email:			
Architect/Representative: Susan Scovell, Architect		Phone: 208-720-3009	
Email: sscovell@gmail.com		Mailing Address: PO Box 5863 Ketchum, ID 83340	
Architect License Number: AR-1468			
Engineer of Record: N/A		Phone:	
Email:		Mailing Address:	
Engineer License Number:			
All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.			
PROJECT INFORMATION			
Legal Land Description: Ketchum Townsite, Lot 2, Block 24			
Street Address: 320 North Leadville Avenue			
Lot Area (Square Feet): 5500			
Zoning District: Community Core (CC), Subdistrict A, Retail Core			
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain			
Type of Construction: <input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: Retail		Number of Residential Units: 2 existing	
TOTAL FLOOR AREA			
	Proposed	Existing	
Basements	no change	Sq. Ft.	Sq. Ft.
1 st Floor	407.7	Sq. Ft.	Sq. Ft.
2 nd Floor	no change	Sq. Ft.	Sq. Ft.
3 rd Floor	no change	Sq. Ft.	Sq. Ft.
Mezzanine	N/A	Sq. Ft.	Sq. Ft.
Total		Sq. Ft.	Sq. Ft.
FLOOR AREA RATIO			
Community Core: 1.45		Tourist:	General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: N/A			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: no change		Side: no change	Side: no change
Rear: no change			
Building Height: no change			
OFF STREET PARKING			
Parking Spaces Provided: 9 required, 9 provided (5 on-site & 4 on-street credit)			
Curb Cut: N/A Sq. Ft. %			
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative

2/15/17
Date

DESIGN REVIEW EVALUATION STANDARDS

(May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right of-way standards and approved by the Public Works Director.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

Date

DESIGN REVIEW EVALUATION STANDARDS

(May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development. *N/A*
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director. *N/A*

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space. *N/A*
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. *N/A*
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building. *N/A*
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy. *N/A*

C. Drainage:

1. All storm water shall be retained on site. *N/C*
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street. *N/C*
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site. *N/C*

4. Drainage facilities shall be constructed per city standards and designed by a licensed civil engineer. *N/C*

D. Utilities:

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant. *N/C*
2. Utilities shall be located underground and utility, power and communication lines within the development site shall be concealed from public view. *N/C*
3. When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and approved by the Public Works Director. *N/C*

E. Compatibility of Design:

1. The project's materials, colors and signing shall be complementary to the townscape, surrounding neighborhoods and adjoining structures. *will match exist'g.*
2. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community. *N/A*
3. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to. *N/A*

F. Architectural:

1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined. ✓
2. The building character shall be clearly defined by use of architectural features. *match exist'g*
3. There shall be continuity of materials, colors and signing within the project. *match exist'g*
4. Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building. *will match exist'g*
5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness. ✓
6. Building(s) shall orient towards their primary street frontage. ✓
7. Sufficient garbage and recycling areas shall be provided onsite. *N/C ✓*
8. Garbage and recycling storage areas, satellite receivers and mechanical equipment shall be screened from public view and located off alleys. *N/C ✓*
9. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties. *N/C ✓*

G. Circulation Design:

1. Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways. *N/C*
2. Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way. *N/A*

3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage. *N/C*
4. Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the Public Works Director may increase the minimum distance requirements. *N/C N/A*
5. Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project. *N/C*

H. Snow Storage:

1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas. *N/C*
2. Snow storage areas shall be provided on-site. *N/C*
3. A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet. *N/C*
4. In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed. *N/C*

I. Landscaping:

1. Landscaping is required for all projects. *N/C*
2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape. *N/C*
3. All plant species shall be drought tolerant. Native species are recommended but not required. *N/C*
4. Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged. *N/C*

J. Public Amenities:

1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall be approved by the Public Works Director prior to design review approval from the Commission. *N/A*

17.96.070: COMMUNITY CORE (CC) PROJECTS

In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district.

A. Streets:

1. A minimum of one (1) street tree shall be required for every forty (40') feet of street frontage, including both street frontages on corner lots, the location of which shall be determined by the Public Works Director. *N/C* *(3) exist's street tree S, but (2) are overgrown. Applicant wishes to removed replace w/ pavers & (2) bike racks.*
2. Street trees, street lights, street furnishings and all other street improvements are required to be in conformance with the right-of-way standards and approved by the Public Works Director. *N/C*

B. Architectural:

1. Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials and colors as the front façade. ✓
2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways. ✓
3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows. *N/C*
4. Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited. *N/C*
5. All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters and downspouts. *N/C*
6. Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Director. *N/C* ✓
7. Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials. *N/A*

C. Service Areas and Mechanical/Electrical Equipment:

1. Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views. *N/C* ✓
2. Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design. *N/C*

D. Landscaping:

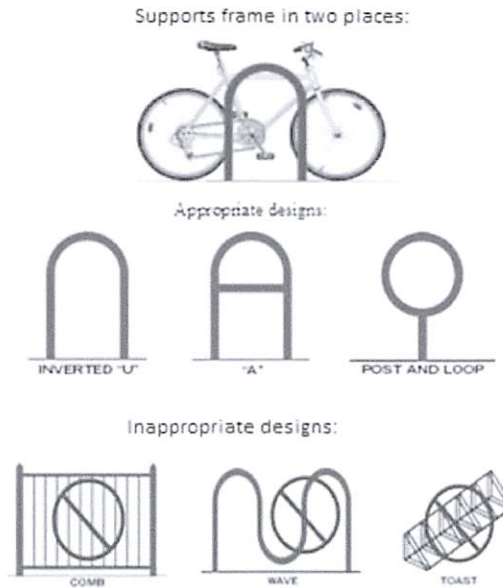
1. When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site. *N/A*
2. Trees that are placed within a courtyard, plaza or pedestrian walkway shall be placed within tree wells that are covered by tree grates. *N/C*
3. The city arborist shall approve all parking lot and replacement trees. *N/A*

E. Surface Parking Lots:

1. Surface parking lots shall be accessed from off the alley and shall be fully screened from the street. *N/C* ✓
2. Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public. *N/C* ✓
3. Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways. *N/C*

F. Bicycle Parking: *PROVIDE (2) NEW RACKS TO REPLACE DECLUDOUS TREES.*

- 1. One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
2. When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
3. Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.



17.96.080: NOTICE:

All property owners adjacent to properties under application for design review shall be notified by mail ten (10) days prior to the meeting of the date at which said design review is to be considered by the Commission.

17.96.090: TERMS OF APPROVAL:

A. Design Review Approval

1. The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
2. Application must be made for a building permit with the Ketchum planning and building department during the twelve (12) month term. Once a building permit has been issued, the design review approval shall be valid for the duration of the building permit.
3. Unless an extension is granted as set forth below, failure to file a complete building permit application for a project in accordance with these provisions shall cause said approval to be null and void.

B. Extensions of Design Review Approval.

1. For design review approvals pertaining to "civic" buildings, the Administrator may, upon written request by the holder, grant a maximum of two (2) twelve (12) month extensions to an unexpired design review approval.

2. For design review approvals pertaining to all other buildings, the city may, upon written request by the holder, grant a maximum of two (2) twelve (12) month extensions to an unexpired design review approval. The first twelve (12) month extension shall be reviewed by the Administrator. The second twelve (12) month extension shall be reviewed by the Commission. Whether or not an extension is warranted shall be based on the following considerations:
 - a. Whether there have been significant amendments to ordinances which will apply to the subject design review approval;
 - b. Whether significant land use changes have occurred in the project vicinity which would adversely impact the project or be adversely impacted by the project;
 - c. Whether hazardous situations have developed or have been discovered in the project area; or
 - d. Whether community facilities and services required for the project are now inadequate.
3. If any of the foregoing considerations are found to exist with regard to the project for which an extension is sought, an extension will not be granted and the city shall issue this decision in writing; otherwise the city shall approve such an extension. No extensions shall be granted for an expired design review approval.

17.96.100: FEES AND COSTS:

Each applicant for design review approval shall pay to the city certain fees and costs to reimburse the city the reasonable costs of administering and regulating this chapter, including reimbursement for city engineer fees. Said fees and refunds, if any, shall be set by resolution of the Council and shall be paid prior to scheduling of an application before the Commission for design review consideration. Said fees shall be nonrefundable.

DESIGN REVIEW APPLICATION CERTIFICATION OF COMPLETENESS

Project Name:	Reviewed by:
Date:	Time:

REQUIRED DOCUMENTS (CHECK ALL THAT APPLY):

Design review application form including project name, location, applicant, owner, project representatives and contact information.

One (1) PDF electronic set of the complete application containing all requirements as listed below, plans appropriately scaled, shall be submitted. Electronic record of the materials and color sample board may be satisfied with photos. One (1) hardcopy set of scalable plans showing at a minimum the following:

Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures. ✓

Drainage plan (grading, catch basins, piping, and dry-wells). *N/C*

Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone). *N/C*

Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation and snow storage. List square footage of subject property including lot dimensions. ✓

Landscape plan (existing landscaping on the site shown and adjacent right-of-way as retained, relocated or removed; proposed landscaping including species type, size and quantity). ✓ *SEE SITE PLAN*

Floor plan. List gross and net square footage for each floor. List occupancy classification and type of construction. ✓

Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials). *N/C TO NORTH & SOUTH ELEVATIONS. NO MATERIAL CHANGE TO EAST ELEVATION - PHOTO PROVIDED. WEST ELEVATION (FRONT) IS PROVIDED.*

PHOTO LAMPS
 Exterior lighting plan, pursuant to chapter 17.132, showing location, height, type and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting. *N/C TO EXIST'G. ADD (2) NEW RECESSED CAN LIGHTS ABOVE RELOCATED DOORS.*

One (1) 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure. A digital copy may be sufficient as approved by the Administrator.

MATCH EXIST'G. SEE PHOTOS.

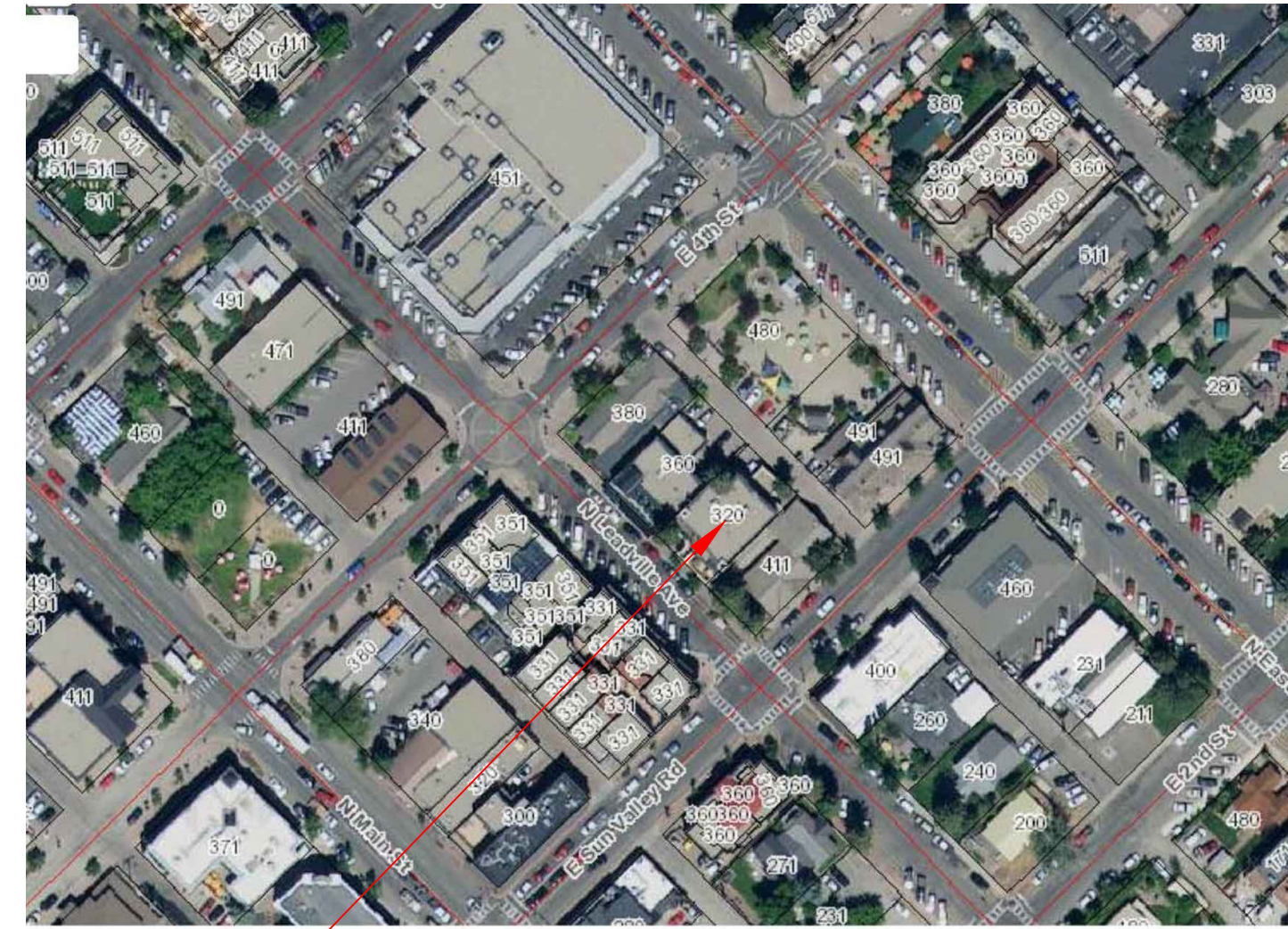
Construction management plan showing where staging will occur, where materials are stored and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters and contractor parking. ✓

Building corners for all proposed buildings and additions shall be staked on the site and all trees proposed to be removed shall be flagged at least one week prior to the Commission meeting. The applicant shall install story poles, or other approved method, at the maximum roof peaks of the proposed buildings as required by the Administrator.

For projects requiring pre-application design review, a model or computer simulation renderings, as described in subsection 17.96.010(C) of this chapter shall be required.

- For new multi-tenant buildings, a master signage plan shall be submitted.
- The Administrator may waive some submittal requirements if it is determined the information is not relevant to the design review.
- Other information as required by the Administrator or the Commission.
- Design review fee shall be submitted as described in section 17.96.100 of this chapter.

STAFF COMMENTS:



PROJECT LOCATION VICINITY MAP

SHEET INDEX:

- 1 - COVER SHEET, SITE PLAN, VICINITY MAPS
- 2 - FLOOR PLAN, ELEVATIONS

PROJECT INFORMATION

OWNER: TASZO LLC
 SITE ADDRESS: 320 N LEADVILLE AVENUE
 KETCHUM, ID 83340
 LEGAL DESCRIPTION:
 KETCHUM TOWNSITE, LOT 2, BLOCK 24

BUILDING INFORMATION NOTES

SITE AREA: 5500 SF
 ZONING: COMMUNITY CORE (CC), SUBDISTRICT A, RETAIL CORE
 BUILDING OCCUPANCY: MERCANTILE (M) & RESIDENTIAL-3 (R-3)
 BUILDING CONSTRUCTION TYPE: V

FLOOR AREA RATIO (FAR):

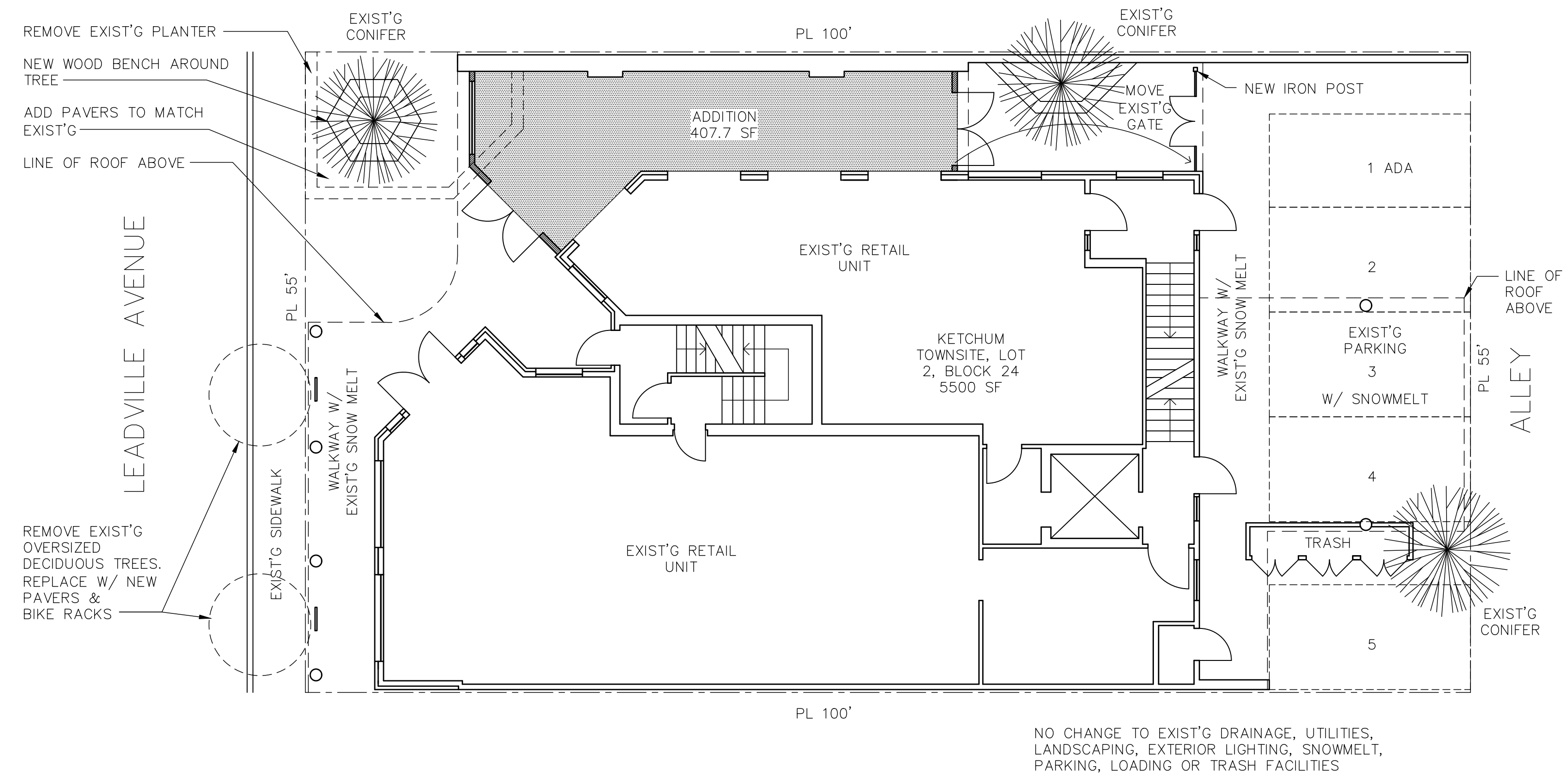
BASEMENT	NOT INCLUDED
GROUND FLOOR	2868 + 408 = 3276 SF
SECOND FLOOR	2873 SF
THIRD FLOOR	1843 SF
TOTAL	7582 SF OR 1.45%

PARKING CALCULATIONS:

RESIDENTIAL USE	3913 NET SF FOR 2.6 SPACES
RETAIL USE	3276 GROSS SF FOR 6.6 SPACES
TOTAL REQUIRED:	9.2 SPACES
TOTAL PROVIDED:	9 (5 ON-SITE AND 4 ON-STREET CREDIT)

CODE INFORMATION

APPLICABLE CODES, AS AMENDED BY THE CITY OF KETCHUM:
 2012 INTERNATIONAL BUILDING CODE
 2012 INTERNATIONAL FIRE CODE
 2012 INTERNATIONAL ENERGY CONSERVATION CODE



NO CHANGE TO EXIST'G DRAINAGE, UTILITIES, LANDSCAPING, EXTERIOR LIGHTING, SNOWMELT, PARKING, LOADING OR TRASH FACILITIES

SITE PLAN - PROPOSED

1/8" = 1'-0"



SUSAN SCOVELL, ARCHITECT
 BOX 5863
 KETCHUM, ID 83340
 (208) 720-3009

REVISION STATUS
 SUBMIT DATE:

ANGEL WINGS BUILDING
 320 N LEADVILLE AVENUE
 KETCHUM, IDAHO
 COMMERCIAL ADDITION

SCALE VARIES

DATE 2/15/2017
 DRAWING NO.

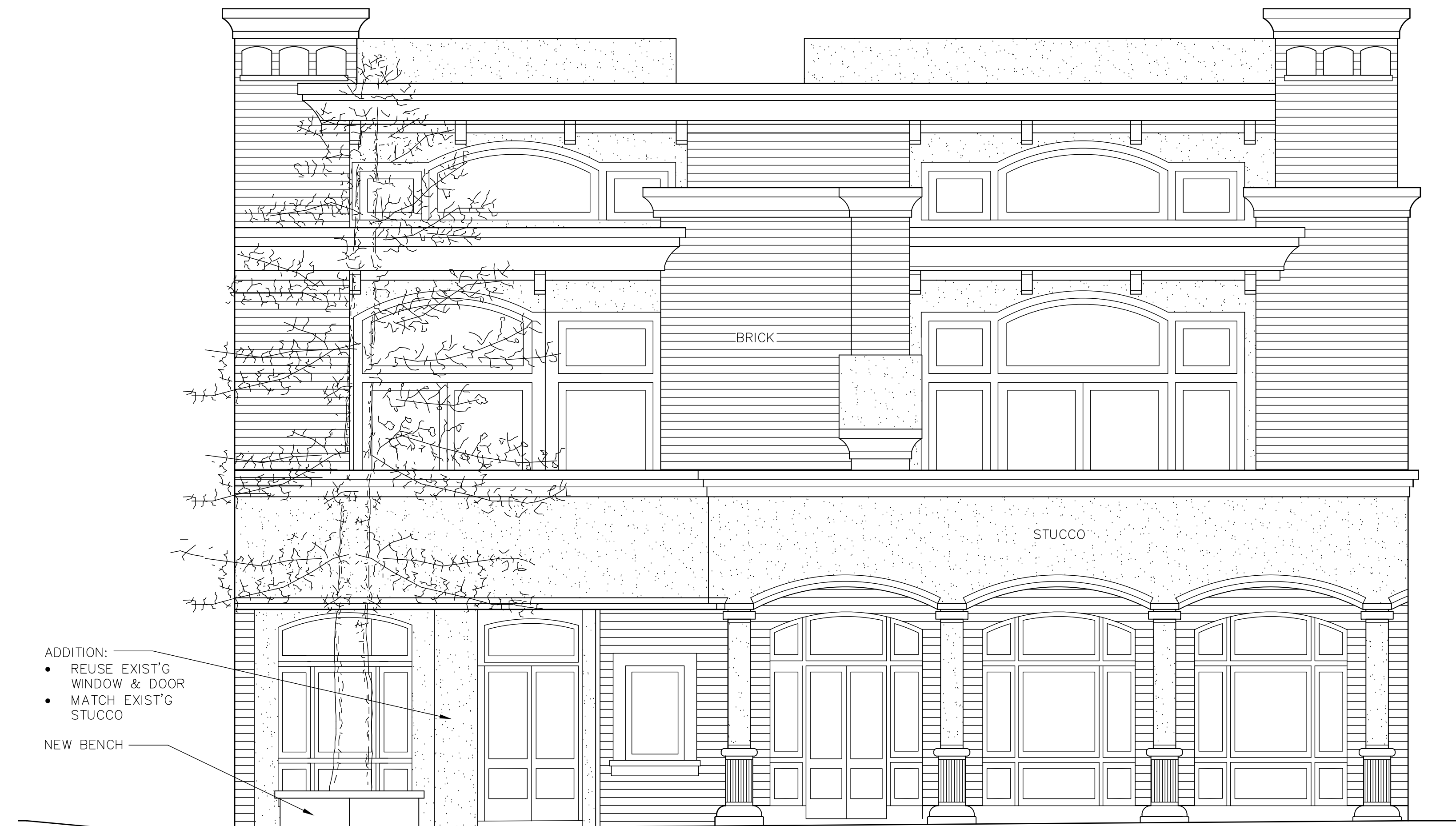
1

SHT: 1 OF 2



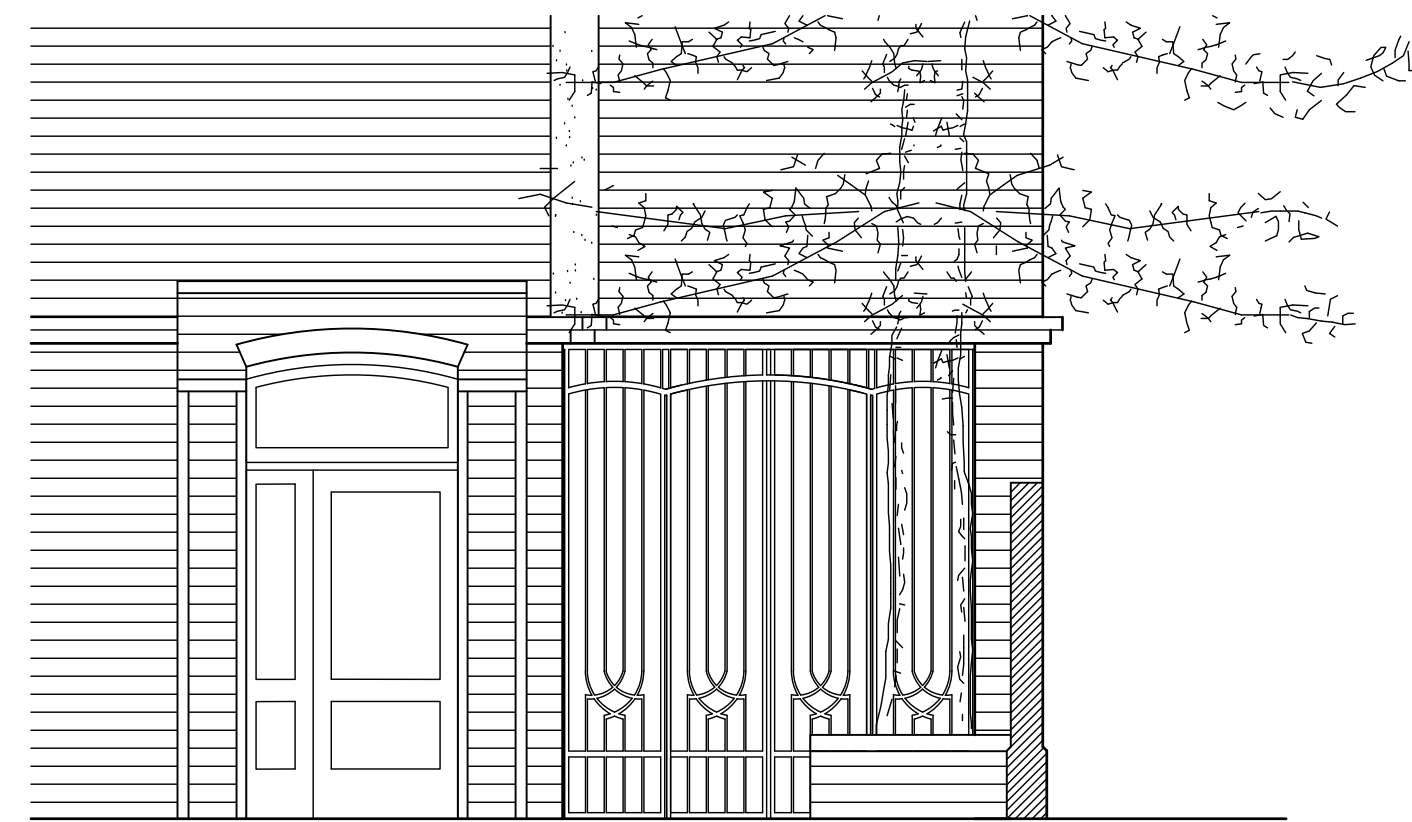
WEST ELEVATION – ASBUILT

1/4" = 1'-0"



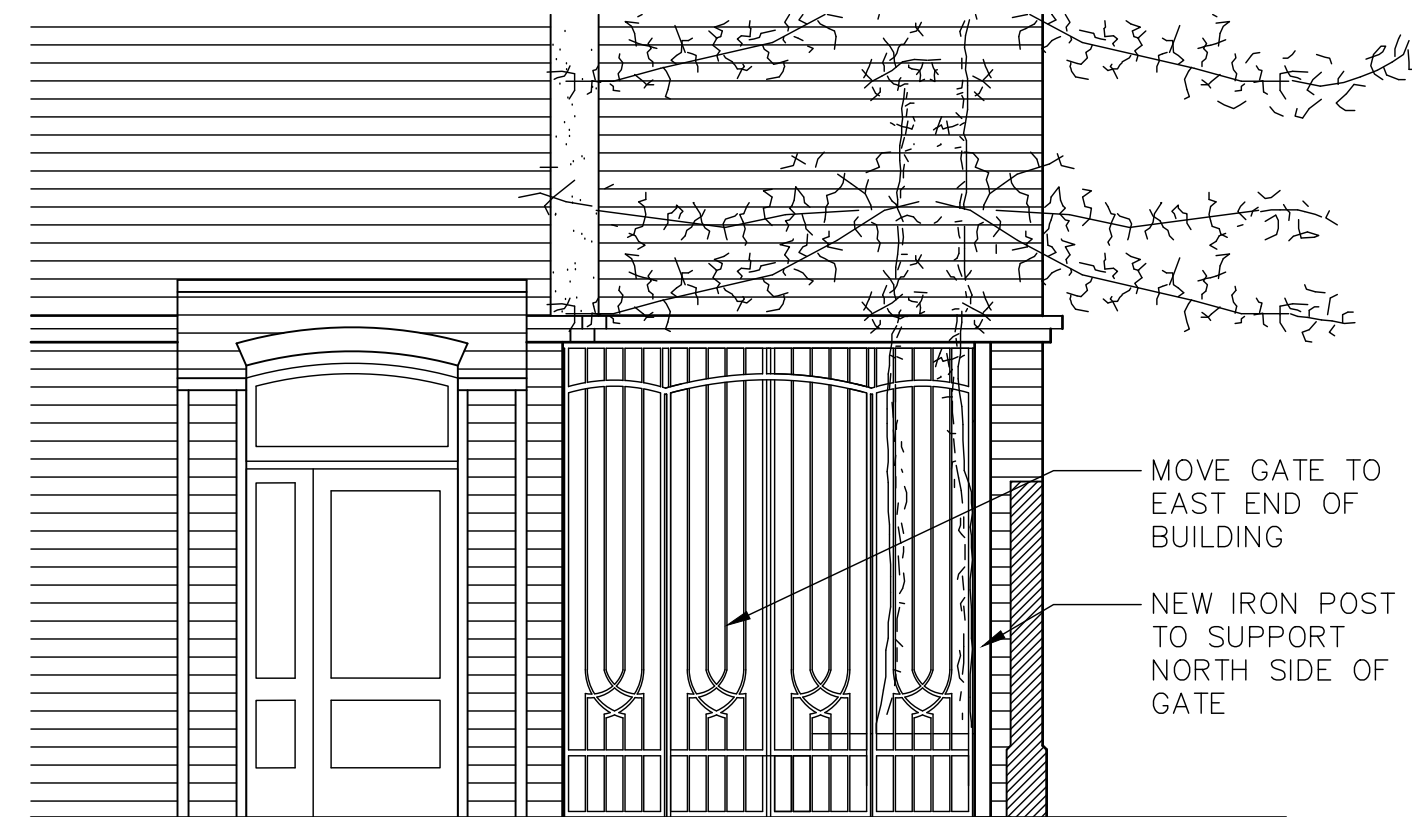
WEST ELEVATION – PROPOSED

1/4" = 1'-0"



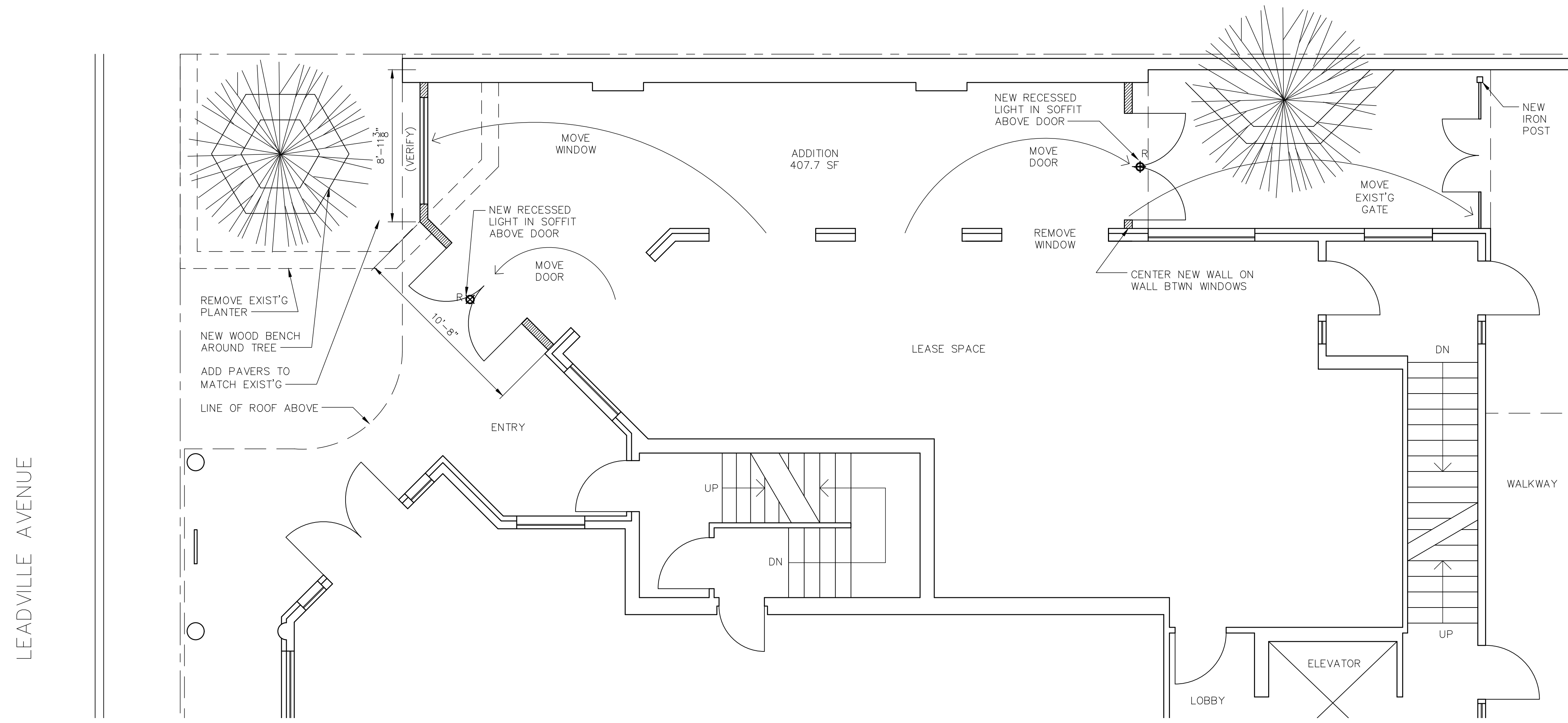
EAST ELEVATION – ASBUILT

1/4" = 1'-0"



EAST ELEVATION – PROPOSED

1/4" = 1'-0"



GROUND LEVEL FLOOR PLAN – PROPOSED

1/4" = 1'-0"

NEW WALL
EXISTING WALL

SUSAN SCOVELL, ARCHITECT
BOX 5863
KETCHUM, ID 83340
(208) 720-3009

REVISION STATUS
SUBMIT DATE:

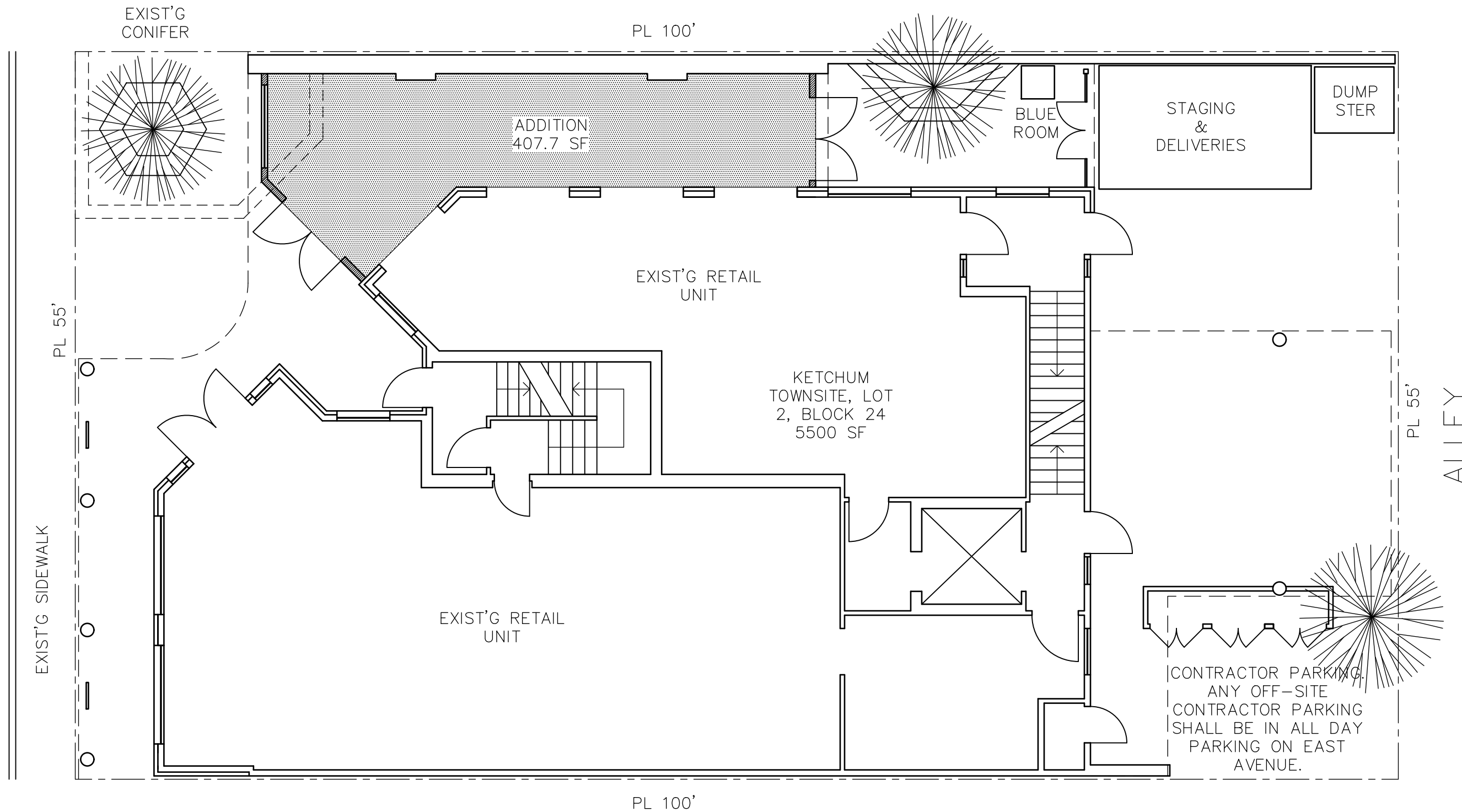
ANGEL WINGS BUILDING
320 N LEADVILLE AVENUE
KETCHUM, IDAHO
COMMERCIAL ADDITION

SCALE 1/4" = 1'-0"
DATE 2/15/2017
DRAWING NO.

2

SHT. 2 OF 2

LEADVILLE AVENUE



CONSTRUCTION MANAGEMENT PLAN

1/8" = 1'-0"





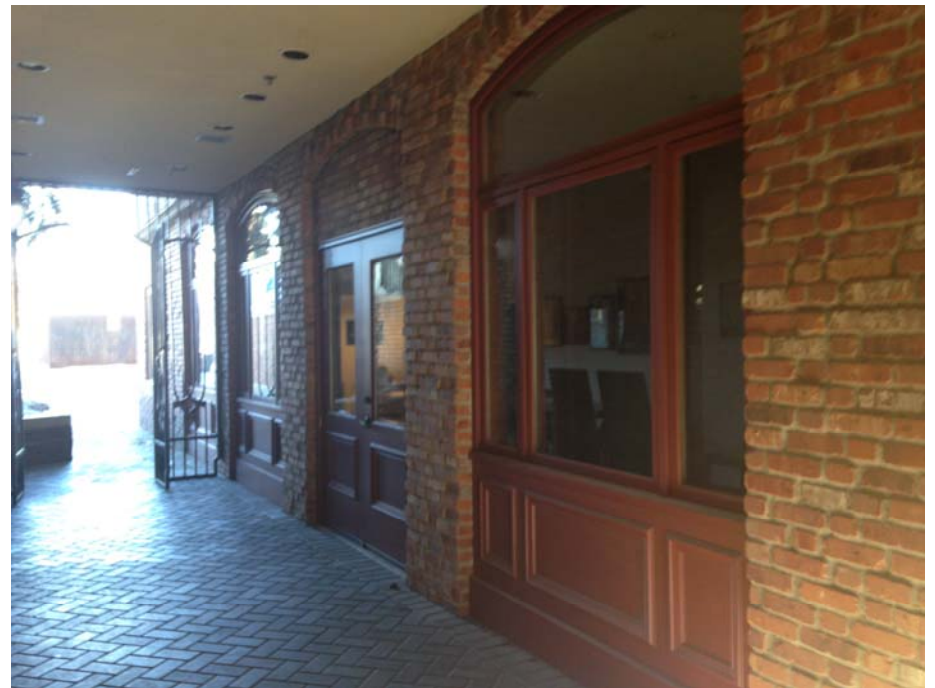
WEST ELEVATION



EAST ELEVATION



NORTH END OF EAST ELEVATION



NORTH ELEVATION @ PROPOSED ADDITION



EXTERIOR LIGHTS @ PROPOSED ADDITION



EXTERIOR LIGHTS @ PROPOSED ADDITION



EXTERIOR LIGHTS @ CARPORT



EXTERIOR LIGHTS @ FRONT COLONNADE



City of Ketchum
Planning & Building

March 13, 2017

Planning and Zoning Commission
City of Ketchum
Ketchum, Idaho

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF MARCH 13, 2017

- PROJECT:** City-initiated Text Amendments to Title 17, Chapters 17.132 Dark Skies
- REPRESENTATIVE:** City of Ketchum Planning and Building Department
- DESCRIPTION:** City-initiated text amendments to the City of Ketchum Municipal Code to amend Title 17, Zoning Regulations, by repealing and replacing Chapter 17.132 Dark Skies in order to update and improve the existing ordinance and to align the ordinance with International Dark Skies Association standards so that the city may be eligible for International Dark Skies Community designation.
- PLANNER:** Micah Austin, Planning and Building Director
Carl Anderson, Associate Planner
- TABLES:** Table 1. Summary of Amendments to Chapter 17.132, Dark Skies
Table 2. Compliance with Comprehensive Plan
- ATTACHMENTS:** Attachment A. Proposed new Chapter 17.132 Dark Skies
Attachment B. Existing Chapter 17.132 Dark Skies
Attachment C. Proposed Draft Ordinance
- NOTICE:** **Planning and Zoning:**
Public notice for the public hearing on March 13, 2017 was published in the Idaho Mountain Express on February 22, 2017, was posted in three public locations on February 15, 2017, and was sent to outside agencies on February 15, 2017.
- PUBLIC HEARINGS:** Planning and Zoning
- March 13, 2017

BACKGROUND

The Dark Skies chapter of Title 17 is to protect and promote the public health, safety and welfare, the quality of life, and the ability to view the night sky by establishing regulations and a process of review for exterior lighting. The city of Ketchum passed one of the first Dark Skies ordinances within the state of Idaho, and was among the first to do so in the west. The current Dark Skies chapter has been in place since June 30th, 1999 and the benefits are readily experienced by residence and visitors alike within the city of Ketchum. In reviewing the code for the Phase II rewrite process staff has identified areas of the Dark Skies chapter that can be improved. To update and enhance the existing Dark Skies ordinance, and to keep up with changing technologies and practice, staff proposes making changes to Chapter 17.132, Dark Skies. The changes are itemized below and due to the numerous sections of the ordinance to amend the existing Chapter 17.132 would be repealed and replaced in its entirety with a new Chapter 17.132.

Additionally, the city of Ketchum is currently pursuing an International Dark Skies Community (IDSC) designation from the International Dark Skies Association (IDA). Many of the proposed changes contained in this report work towards meeting the minimum requirements set by IDA for all communities wishing to achieve an IDSC designation. Such a designation is beneficial to communities wishing to preserve their dark skies, promote ecotourism, protect human health, and to provide for public enjoyment of the night sky.

On February 6th, 2017 Staff brought the proposed changes to the City Council and requested policy direction on proposed changes to 17.132, Dark Skies. These topics were also discussed with the Planning and Zoning Commission on February 13, 2017. All proposed amendments to Chapter 17.132 listed within this report are intended to address the topics which are listed below.

1. Consider upgrading certain instances “encouraged/discouraged” language where appropriate.
 - Example of existing: “All nonessential exterior commercial and residential lighting is **encouraged** to be turned off after business hours and/or when not in use.”
2. Consider restrictions on maximum color temperature.
 - Example of proposed: “*All exterior lighting shall employ warm-toned (3000k or lower) white light sources or may employ amber light sources, filtered LED light sources, or a suitable alternative.*”
3. Consider a curfew for holiday lighting. Currently, there is no curfew for holiday lighting.
 - Example of proposed: All holiday lighting shall be turned off after 11:00 PM.
4. Removing references requiring specific technologies to accommodate changing technologies
 - Example of proposed: “street lights shall be limited to seventy (70) watt high pressure sodium (hps).” In this instance, requirements for high pressure sodium would be removed and watt would be converted to lumens.
5. Explore the feasibility of provisions to restrict amount of total unshielded lighting and over-lighting.
 - Examples might include energy density caps, lumens per acre cap, or maximum illuminance specifications.
6. Update figures contained in this chapter.

A public hearing was noticed according to Idaho Code §67-6509 and no public comment was received by Wednesday, March 8, 2017; any public comment received prior to the public hearing will be printed and distributed to each Commissioner and included in the public record.

TABLE 1: Summary of Amendments to Chapters 17.132, Dark Skies

SECTION	Summary of Amendments
17.32.010 General Provisions	<p>7. Section C (2) is amended to exclude the conformance date of “by June 30, 2000.”</p> <p>8. Section C (4) is amended to exclude the conformance date of “with this chapter by June 30, 2001.”</p>
17.132.020 Criteria	<ul style="list-style-type: none"> - Section B was removed and replaced with the following language: <u>“Color Temperature: All exterior lighting shall utilize light sources not to exceed 2700 kelvin.”</u> - The following language was removed from section C “It is the intent of this chapter to eliminate and prevent light trespass through the proper installation of lighting fixtures.” ; and the following language was added <u>“All lighting that originates from a commercial property shall be shielded from other adjacent properties with opaque barriers permanently installed on the commercial property.”</u> - The following language was added to section D “IESNA Guidelines: The commission <u>or Administrator</u> may require that any new lighting or existing lighting that comes before them meet the standards for foot-candle output as established by IESNA.” - Under Section F, subsection a was removed and replaced with subsection 1, and Luminaire Mounting Height was added as subsection number 4, under Section F and removed as subsection G. - Language in Section H was reworded to <u>“Uplighting: Uplighting (lights pointing directly up into the sky) is prohibited in all zoning districts, except as where permitted in this chapter.”</u> - Sections G-O were removed and placed in 17.132.030: Lighting Fixture Exemption Matrix, and Additional Development Restrictions. - The following language was added is now Section O: <u>“Public Outdoor Lighting: Public outdoor lighting, including holiday lighting, shall be permitted to ensure the safety and enjoyment of the intended public use. All public lighting shall comply with the standards established herein and shall be turned off after hours of operation or when not in use. When necessary, motion sensors may be used. Public Outdoor Lighting is exempt from lighting curfews.”</u> - Section P will now be called Lighting Fixtures, and the existing Section P will now be subsection 2. Subsection 1 of Section P includes the following language: <u>“All exterior lighting shall comply with the acceptable lighting fixtures located in Figure 2. All exterior lighting fixtures shall be full cutoff fixtures with the light source fully shielded, except as exempted in section 17.132.030.”</u> - The existing lighting figures 1-7 have been removed and replaced with figure 1 titled Lighting Fixture Guidelines. - Where appropriate, passive language (encouraged/discouraged) was removed and strengthened.
17.132.030	<ul style="list-style-type: none"> - 17.132.030: Lighting Fixture Exemption Matrix has been added which establishes requirements for canopy lighting, Holiday lights, Flagpole lighting, floodlights, neon lights, sensor activated lighting, temporary lighting, and temporary emergency lighting. - 17.132.030: Additional Development Restrictions were added which establish guidelines for Motor Vehicle Fueling Stations and Motor Vehicle Service Stations, and Towers for Radio communication and Navigation.

	- The existing 17.132.030 was moved to 17.132.050: Notifications.
17.132.040 Prohibited Lighting	- 17.132.040 is now Prohibited Lighting, and the existing 17.132.040 is now 17.132.060.
17.132.050 Violations, Legal Actions and Penalties	- This section was removed as City Code Chapter 17.156 Enforcement accomplishes this objective.

TABLE 2: Compliance with Comprehensive Plan

SUPPORTING SECTION	SUMMARY OF COMPLIANCE OF PROPOSED AMENDMENTS WITH THE 2014 COMPREHENSIVE PLAN
Chapter 3: Community Design and Neighborhoods	
Goal CD-2: <i>Protect and enhance views of the surrounding mountains and natural features.</i>	Policy CD-2.3 Night Sky Conservation: Continue to protect the visibility of the stars in the night sky through the lighting code, education, and enforcement. (Comp. Plan 2014 pg. 27)
Chapter 5: Natural Resource Stewardship	
Goal NR-5: Protect natural lands that promote tourism, recreation, and economic development.	Goal NR-5 continued: The City will support the protection of lands with the highest scenic and habitat values through acquisition, regulations, and collaboration with private, non-profit, and public entities.
Goal NR-6: <i>Promote and support energy conservation and reduction of greenhouse gases.</i>	Policy NR-6.4 Energy Conservation in New Construction: Promote energy conservation features in residential and commercial development. (Comp. Plan 2014 pg. 31)

STAFF RECOMMENDATION

Staff recommends the Commission recommend approval of the text amendments as proposed to the City Council.

OPTIONAL MOTIONS

1. "I MOVE TO RECOMMEND approval of the city-initiated text amendment to Title 17, Zoning, Chapter 17.132, Dark Skies, of the Ketchum Municipal Code to the City Council."
2. "I MOVE TO RECOMMEND DENIAL of the city-initiated text amendment to Title 17, Zoning, Chapter 17.132, Dark Skies, of the Ketchum Municipal Code to the City Council."

Attachment A:

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**Proposed new Chapter 17.132
DARK SKIES**

17.132.010: GENERAL PROVISIONS:

- A. Title: This chapter, together with the amendments codified in this chapter, shall be known and may be cited as the KETCHUM DARK SKY ORDINANCE.
- B. Purposes: The general purpose of this chapter is to protect and promote the public health, safety and welfare, the quality of life, and the ability to view the night sky by establishing regulations and a process of review for exterior lighting. This chapter establishes standards for exterior lighting in order to accomplish the following:
 - 1. To protect against direct glare and excessive lighting;
 - 2. To provide safe roadways for motorists, cyclists and pedestrians;
 - 3. To protect and reclaim the ability to view the night sky, and help preserve the quality of life and the tourist experience;
 - 4. To prevent light trespass in all areas of the city;
 - 5. To promote efficient and cost effective lighting;
 - 6. To ensure that sufficient lighting can be provided where needed to promote safety and security;
 - 7. To allow for flexibility in the style of lighting fixtures;
 - 8. To provide lighting guidelines;
 - 9. To provide assistance to property owners and occupants in bringing nonconforming lighting into conformance with this chapter; and
 - 10. To work with other jurisdictions within Blaine County to meet the purposes of this chapter.
- C. Scope: All exterior lighting installed after the effective date hereof in any and all zoning districts in the city shall be in conformance with the requirements established by this chapter and any other applicable ordinances. All existing lighting installed prior to the effective date hereof in any and all zoning districts in the city shall be addressed as follows:
 - 1. All existing lighting located on a subject property that is part of an application for a city planning department design review, conditional use, subdivision permit, or building permit is required to be brought into conformance with this chapter. Conformity shall occur prior to issuance of a certificate of occupancy, final inspection or final plat recordation, when applicable. For other permits, the applicant shall have a maximum of thirty (30) days from date of permit issuance to bring the lighting into conformance.
 - 2. All existing exterior commercial lighting that is not in conformance with this chapter shall be brought into conformance with this chapter.
 - 3. All existing lighting that does not meet the requirement of section [17.124.060](#) of this title, which states that "any parking, yard or building illumination in (any) zoning (district) shall be so directed as to protect adjacent properties from glare and direct lighting", is required to be brought into conformance with section [17.124.060](#) of this title.
 - 4. All existing exterior residential lighting, not affected by subsections C1 and C3 of this section, that does not comply with this chapter is required to be brought into conformance.
 - 5. In the event of a discrepancy in applicable ordinances, the most restrictive shall apply.

17.132.020: CRITERIA:

- A. The commission, the building official and/or the administrator shall have the authority to require new lighting and existing lighting pursuant to subsection [17.132.010C1](#) of this chapter to meet the requirements of this chapter.

- B. Lighting Plans Required: All applications for design review, conditional use, subdivision and/or building permits shall include lighting plans showing location, type, height and lumen output of all proposed and existing fixtures. The applicant shall provide enough information to verify that lighting conforms to the provisions of this chapter. The administrator, commission and/or building official shall have the authority to request additional information in order to achieve the purposes of this chapter.
- C. Color Temperature: All exterior lighting shall utilize light sources not to exceed 2700 kelvin.
- D. Light Trespass: All existing and/or new exterior lighting shall not cause light trespass and shall be such as to protect adjacent properties from glare and excessive lighting. All lighting that originates from a commercial property shall be shielded from other adjacent properties with opaque barriers permanently installed on the commercial property.
- E. IESNA Guidelines: The commission or Administrator may require that any new lighting or existing lighting that comes before them meet the standards for foot-candle output as established by IESNA.
- F. Nonessential Exterior Commercial and Residential Lighting: All nonessential exterior commercial and residential lighting shall be turned off after business hours and/or when not in use. Lights on a timer shall be used. Sensor activated lights shall be used to replace existing lighting that is desired for security purposes.
- G. Area Lights:
 - 1. All area lights, including streetlights and parking area lighting, shall be eighty-five degrees (85°) full cutoff type fixtures.
 - 2. Residential Streetlights shall be limited to one-thousand two hundred (1125) lumens.
 - 3. Nonresidential Streetlights shall be limited to one-thousand five hundred (1500) lumens.
 - 4. Lights on major intersections on state highways shall be limited to three-thousand (3000) lumens.
 - 5. Parking area lights are encouraged to be greater in number, lower in height and lower in light level, as opposed to fewer in number, higher in height and higher in light level. Parking lot lighting shall not exceed IESNA recommended foot-candle levels.
 - 6. All freestanding area lights within a residential zone, except streetlights, shall be mounted at a height equal to or less than the value $3 + (D/3)$, where D is the distance in feet to the nearest property boundary.
 - 7. Luminaire Mounting Height: Freestanding luminaires shall be no higher than twenty five feet (25') above the stand/pole base; except, that luminaires used for playing fields shall be exempt from the height restriction, provided all other provisions of this chapter are met and the light is used only while the field is in use; and except, that streetlights used on major roads may exceed this standard if necessary as determined by the city council, as advised by a lighting engineer. Building mounted luminaires shall be attached only to walls, and the top of the fixture shall not exceed the height of the parapet or roof, whichever is greater.
- H. Uplighting: Uplighting (lights pointing directly up into the sky) is prohibited in all zoning districts, except as where permitted in this chapter.
- I. Public Outdoor Lighting: Public outdoor lighting, including holiday lighting, shall be permitted to ensure the safety and enjoyment of the intended public use. All public lighting shall comply with the standards established herein and shall be turned off after hours of operation or when not in use. When necessary, motion sensors may be used. Public Outdoor Lighting is exempt from lighting curfews.
- J. Lighting Fixtures:
 - 1. All exterior lighting shall comply with the acceptable lighting fixtures located in Figure 2. All exterior lighting fixtures shall be full cutoff fixtures with the light source fully shielded, except as exempted in section 17.132.030.
 - 2. The following figures and information sheets shall be incorporated into this chapter as guidelines for the public and the city for use in meeting the intent of this chapter. The figures and information sheets only serve as examples. The city does not endorse or discriminate against any manufacturer or company that may be shown, portrayed or mentioned by the examples. Additional information is provided at the Ketchum planning department.

Figure 1: Lighting Fixture Guidelines



K. Lighting Fixture Exceptions and Additional Requirements

Type of Lighting	Full Cutoff Light Fixture	Additional Requirements
Canopy Lighting	Required	<ul style="list-style-type: none"> - All canopy lighting shall be recessed sufficiently so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent property.
Holiday Lights	Not Required	<ul style="list-style-type: none"> - Shall only be displayed from November 20th to April 15th. - Flashing holiday lights are prohibited - All private holiday lighting shall be turned off at the close of business hours in the Community Core zoning district, and after 10:30PM in all other zoning districts.
Flagpole Lighting	Not Required	<ul style="list-style-type: none"> - Upward flagpole lighting is permitted for governmental flags only - The maximum lumen output shall be one thousand three hundred (1,300) lumens. - Flags are encouraged to be taken down at sunset to avoid the need for lighting.
Floodlights	Not Required	<ul style="list-style-type: none"> - Floodlights with external shielding shall be angled provided that no light escapes above a 25-degree angle measured from the vertical line from the center of the light extended to the ground - Floodlights shall not cause glare or light to shine directly on adjacent property or public rights of way.
Neon Lights	Not Required	<ul style="list-style-type: none"> - Neon Lights: Neon lights are only permitted pursuant to the sign ordinance, chapter 17.127 of this title.
Sensor Activated Lighting	Not Required	<ul style="list-style-type: none"> - Shall be located to prevent lighting into adjacent properties or into a public right of way. - Lighting shall activate only when motion on the property is detected and shall deactivate within no more than five (5) minutes. - Lighting shall not be triggered by any activity off the property or in the public right of way. - The maximum lumen output shall be 260 lumens.
Temporary Lighting	Required	<ul style="list-style-type: none"> - Lumens output shall be approved by the Administrator
Temporary emergency lighting	Not Required	<ul style="list-style-type: none"> - Utilized by public safety services. Exempt from provisions of this chapter.

L. Additional Development Restrictions

<u>Development</u>	<u>Full Cutoff Light Fixture</u>	<u>Additional Requirements</u>
Motor Vehicle Fueling Stations and Motor Vehicle Service Stations	Required	- The average foot-candle lighting level for new and existing service stations is required to be no greater than thirty (30) foot-candles, as set by the IESNA for urban service stations.
Towers for Radio Communication and Navigation	Not Required	- All radio, communication and navigation towers that require lights shall have dual lighting capabilities. - For daytime, the white strobe light may be used, and for nighttime, only red lights shall be used. - Lighting that is required by legal jurisdictions are exempt from this provision.

17.132.040: PROHIBITED LIGHTING

- A. Any light source that does not meet the requirements of this chapter.
- B. Searchlights, beacons, laser source, and other high-intensity light fixtures.
- C. Except as otherwise allowed by this title, any lighting that is flashing, blinking, rotating, chasing, or rapidly changing in color or intensity is prohibited.

17.132.050: NOTIFICATION:

- A. The city building and planning department permits shall include a statement asking whether the subject property of the proposed work includes any exterior lighting.

17.132.060: THE CITY'S ROLE:

The city will commit to changing all lighting within the city rights of way and on city owned property to meet the requirements of this chapter through the franchise agreement with the power company and/or through the light conformance schedule adopted by resolution by the council.

The city will assist property owners and/or occupants to correct any nonconforming lighting through consulting with the owner/occupant and assisting in the provision of shields.

Attachment B:

**Existing Chapter 17.132
Dark Skies**

**Chapter 17.132
DARK SKIES**

17.132.010: GENERAL PROVISIONS:

17.132.020: CRITERIA:

17.132.030: NOTIFICATION:

17.132.040: THE CITY'S ROLE:

17.132.050: VIOLATIONS, LEGAL ACTIONS AND PENALTIES:

17.132.010: GENERAL PROVISIONS:

A. Title: This chapter, together with the amendments codified in this chapter, shall be known and may be cited as the KETCHUM DARK SKY ORDINANCE.

B. Purposes: The general purpose of this chapter is to protect and promote the public health, safety and welfare, the quality of life, and the ability to view the night sky by establishing regulations and a process of review for exterior lighting. This chapter establishes standards for exterior lighting in order to accomplish the following:

1. To protect against direct glare and excessive lighting;
2. To provide safe roadways for motorists, cyclists and pedestrians;
3. To protect and reclaim the ability to view the night sky, and help preserve the quality of life and the tourist experience;
4. To prevent light trespass in all areas of the city;
5. To promote efficient and cost effective lighting;
6. To ensure that sufficient lighting can be provided where needed to promote safety and security;
7. To allow for flexibility in the style of lighting fixtures;
8. To provide lighting guidelines;
9. To provide assistance to property owners and occupants in bringing nonconforming lighting into conformance with this chapter; and
10. To work with other jurisdictions within Blaine County to meet the purposes of this chapter.

C. Scope: All exterior lighting installed after the effective date hereof in any and all zoning districts in the city shall be in conformance with the requirements established by this chapter and any other applicable ordinances. All existing lighting installed prior to the effective date hereof in any and all zoning districts in the city shall be addressed as follows:

1. All existing lighting located on a subject property that is part of an application for a city planning department design review, conditional use, subdivision permit, or building permit is required to be brought into conformance with this chapter. Conformity shall occur prior to issuance of a certificate of occupancy, final inspection or final plat recordation, when applicable. For other permits, the applicant shall have a maximum of thirty (30) days from date of permit issuance to bring the lighting into conformance.
2. All existing exterior commercial lighting that is not in conformance with this chapter shall be brought into conformance with this chapter by June 30, 2000.
3. All existing lighting that does not meet the requirement of section 17.124.060 of this title, which states that "any parking, yard or building illumination in (any) zoning (district) shall be so directed as to protect adjacent properties from glare and direct lighting", is required to be brought into conformance with section 17.124.060 of this title.
4. All existing exterior residential lighting, not affected by subsections C1 and C3 of this section, that does not comply with this chapter is required to be brought into conformance with this chapter by June 30, 2001.

5. In the event of a discrepancy in applicable ordinances, the most restrictive shall apply. (Ord. 1135, 2015)

17.132.020: CRITERIA:

The commission, the building official and/or the administrator shall have the authority to require new lighting and existing lighting pursuant to subsection 17.132.010C1 of this chapter to meet the requirements of this chapter.

A. Lighting Plans Required: All applications for design review, conditional use, subdivision and/or building permits shall include lighting plans showing location, type, height and lumen output of all proposed and existing fixtures. The applicant shall provide enough information to verify that lighting conforms to the provisions of this chapter. The administrator, commission and/or building official shall have the authority to request additional information in order to achieve the purposes of this chapter.

B. Full Cutoff Fixtures: All exterior lighting shall be full cutoff fixtures with the light source fully shielded, with the following exceptions:

1. Luminaires that have a maximum output of two hundred sixty (260) lumens per fixture, regardless of number of bulbs (equal to one 20-watt incandescent light), may be left unshielded, provided the fixture has an opaque top to keep light from shining directly up (see figure 5 of this section).

2. Luminaires that have a maximum output of one thousand (1,000) lumens per fixture, regardless of number of bulbs (equal to one 60-watt incandescent light) may be partially shielded, provided the bulb is not visible, and the fixture has an opaque top to keep light from shining directly up (see figure 3 of this section).

3. Floodlights with external shielding may be angled; provided, that no light escapes above a twenty five degree (25°) angle measured from the vertical line from the center of the light extended to the ground, and only if the light does not cause glare or light to shine on adjacent property or public rights of way (see figure 6 of this section). Floodlights with directional shielding are encouraged (see figure 7 of this section). Photocells with timers that allow a floodlight to go on at dusk and off by eleven o'clock (11:00) P.M. are encouraged.

4. "Holiday lights", as defined in chapter 17.08 of this title, are exempt from the requirements of this chapter for the six and one-half (6 1/2) month period from November 1 to April 15; except, that flashing holiday lights are prohibited on commercial properties. Flashing holiday lights on residential properties are discouraged. Holiday lights are encouraged to be turned off after bedtime and after close of businesses.

5. Sensor activated lighting may be unshielded, provided it is located in such a manner as to prevent direct glare and lighting into properties of others or into a public right of way, and provided the light is set to only go on when activated and to go off within five (5) minutes after activation has ceased, and the light shall not be triggered by activity off the property.

6. Vehicle lights and all temporary emergency lighting needed by the fire and police departments or other emergency services shall be exempt from the requirements of this chapter.

C. Light Trespass: It is the intent of this chapter to eliminate and prevent light trespass through the proper installation of lighting fixtures. All existing and/or new exterior lighting shall not cause light trespass and shall be such as to protect adjacent properties from glare and excessive lighting.

D. IESNA Guidelines: The commission may require that any new lighting or existing lighting that comes before them meet the standards for foot-candle output as established by IESNA.

E. Nonessential Exterior Commercial And Residential Lighting: All nonessential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.

F. Area Lights:

1. All area lights, including streetlights and parking area lighting, shall be full cutoff fixtures and are encouraged to be eighty five degree (85°) full cutoff type fixtures. Streetlights shall be in accordance with the Idaho Power franchise agreement and/or the light conformance schedule adopted by resolution by the city council. Streetlights shall be high pressure sodium, low pressure sodium or metal halide, unless otherwise determined by the council that another type is more efficient. Streetlights along residential streets shall be limited to a seventy (70) watt high pressure sodium (hps) light. Streetlights along nonresidential streets or at

intersections shall be limited to one hundred (100) watts hps; except, that lights at major intersections on state highways shall be limited to two hundred (200) watts hps. If the council permits a light type other than high pressure sodium, then the equivalent output shall be the limit for the other light type (see addendum 1, on file in the Ketchum planning department); for example: a one hundred (100) watt high pressure sodium lamp has a roughly equivalent output as a fifty five (55) watt low pressure sodium lamp or a one hundred (100) watt metal halide lamp.

2. Parking area lights are encouraged to be greater in number, lower in height and lower in light level, as opposed to fewer in number, higher in height and higher in light level. Parking lot lighting shall not exceed IESNA recommended foot-candle levels.

3. All freestanding area lights within a residential zone, except streetlights, shall be mounted at a height equal to or less than the value $3 + (D/3)$, where D is the distance in feet to the nearest property boundary.

G. Luminaire Mounting Height: Freestanding luminaires shall be no higher than twenty five feet (25') above the stand/pole base; except, that luminaires used for playing fields shall be exempt from the height restriction, provided all other provisions of this chapter are met and the light is used only while the field is in use; and except, that streetlights used on major roads may exceed this standard if necessary as determined by the city council, as advised by a lighting engineer. Building mounted luminaires shall be attached only to walls, and the top of the fixture shall not exceed the height of the parapet or roof, whichever is greater.

H. Uplighting: Uplighting is prohibited in all zoning districts, except in cases where the fixture is shielded by a roof overhang or similar structural shield from the sky, and an Idaho licensed architect or engineer has stamped a prepared lighting plan that ensures that the light fixture(s) will not cause light to extend beyond the structural shield, and except as specifically permitted in this chapter.

I. Flagpoles: Upward flagpole lighting is permitted for governmental flags only; and provided, that the maximum lumen output is one thousand three hundred (1,300) lumens. Flags are encouraged to be taken down at sunset to avoid the need for lighting.

J. Service Stations: The average foot-candle lighting level for new and existing service stations is required to be no greater than thirty (30) foot-candles, as set by the IESNA for urban service stations.

K. Canopy Lights: All lighting shall be recessed sufficiently so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent property.

L. Landscape Lighting: Lighting of vegetation is discouraged and shall be in conformance with this chapter. Uplighting is prohibited.

M. Towers: All radio, communication and navigation towers that require lights shall have dual lighting capabilities. For daytime, the white strobe light may be used, and for nighttime, only red lights shall be used.

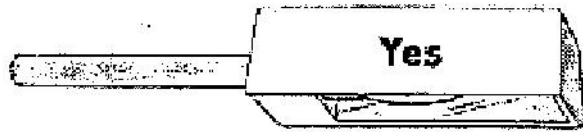
N. Temporary Lighting: Temporary lighting that conforms to the requirements of this chapter shall be allowed. Nonconforming temporary exterior lighting may be permitted by the administrator only after considering: 1) the public and/or private benefits which will result from the temporary lighting; 2) any annoyance or safety problems that may result from the use of the temporary lighting; and 3) the duration of the temporary nonconforming lighting. The applicant shall submit a detailed description of the proposed temporary nonconforming lighting to the administrator. The administrator shall provide written notice of said request to owners of property immediately adjacent to the subject property. Said notice shall inform adjacent property owners they may comment on the request during a period of not less than ten (10) days after mailing of the notice and prior to final action on said request.

O. Neon Lights: Neon lights are only permitted pursuant to the sign ordinance, chapter 17.127 of this title.

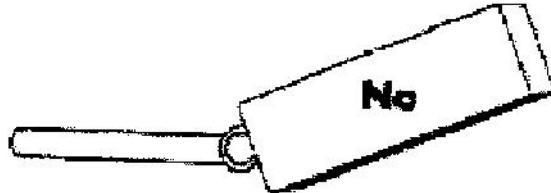
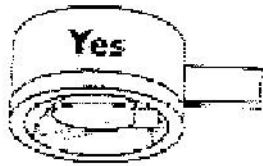
P. Figures: The following figures and information sheets shall be incorporated into this chapter as guidelines for the public and the city for use in meeting the intent of this chapter. The figures and information sheets only serve as examples. The city does not endorse or discriminate against any manufacturer or company that may be shown, portrayed or mentioned by the examples. Additional information is provided at the Ketchum planning department.

Figure 1

What is a true "full cutoff" outdoor lighting fixture?



Flat glass lens, eliminates or minimizes direct glare, no upward throw of light. The housing for these fixtures is available in many styles.



Same fixture as above mounted incorrectly - defeating the horizontal mounting design. The fixture now produces direct glare, and can also produce uplight at steeper mounting angles.



Known as just "cutoff". Center "drop" or "sag" lens with or without exposed bulb, produces direct glare.



Forward throw style. Exposed bulb in the forward direction produces some direct glare.

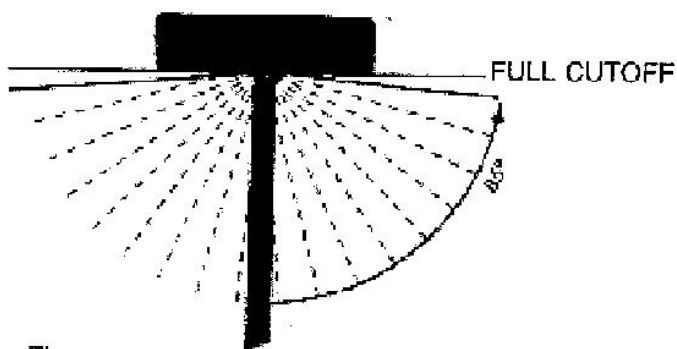


Figure 2
85° Full cutoff fixture

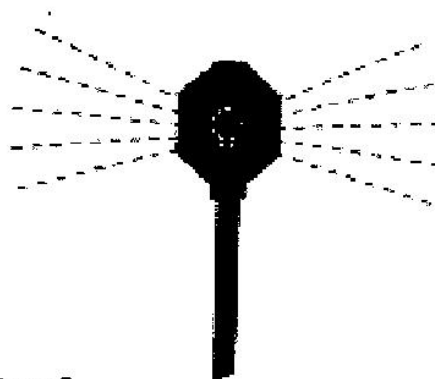


Figure 3
Partially shielded
(Translucent siding - bulb not visible)

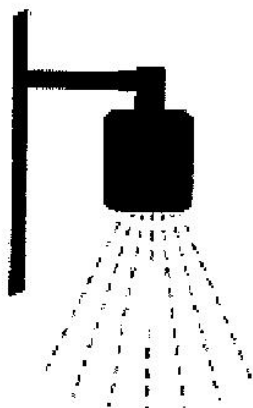


Figure 4
Shielded

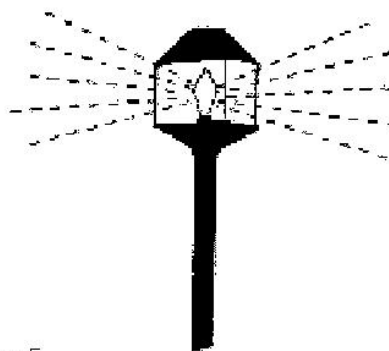


Figure 5
Unshielded with opaque top
(Less than 260 lumens)

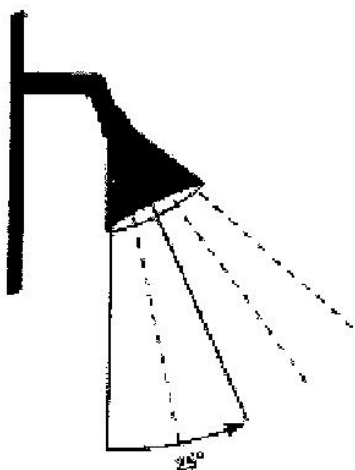


Figure 6
Angle of floodlight
with external shielding

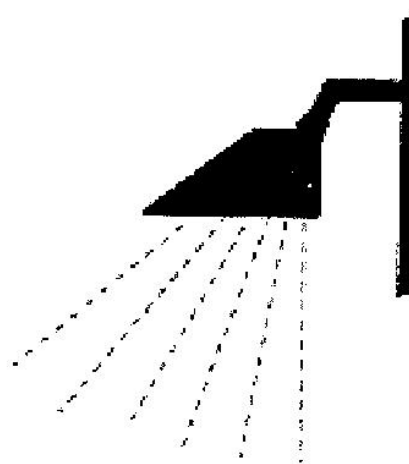


Figure 7
Directional floodlight

17.132.030: NOTIFICATION:

A. The city building and planning department permits shall include a statement asking whether the subject property of the proposed work includes any exterior lighting. (Ord. 1135, 2015)

17.132.040: THE CITY'S ROLE:

A. The city will commit to changing all lighting within the city rights of way and on city owned property to meet the requirements of this chapter through the franchise agreement with the power company and/or through the light conformance schedule adopted by resolution by the council.

B. The city will assist property owners and/or occupants to correct any nonconforming lighting through consulting with the owner/occupant and assisting in the provision of shields. (Ord. 1135, 2015)

17.132.050: VIOLATIONS, LEGAL ACTIONS AND PENALTIES:

A. Violations And Legal Actions: If, after investigation, the administrator finds that any provision of this chapter is being violated, the administrator shall give notice by hand delivery or by certified mail, return receipt requested, of such violation to the owner and/or to the occupant of such premises, demanding that the violation be abated within thirty (30) days of the date of hand delivery or of the date of mailing of the notice. The planning department staff shall be available to assist in working with the violator to correct such violation. If the violation is not abated within the thirty (30) day period, the administrator may institute actions and proceedings, either legal or equitable, to enjoin, restrain or abate any violations of this chapter and to collect the penalties for such violations.

B. Penalty: A violation of this chapter, or any provision thereof, shall be punishable by a civil penalty of one hundred dollars (\$100.00), and each day of violation after the expiration of the thirty (30) day period provided in subsection A of this section shall constitute a separate offense for the purpose of calculating the civil penalty. (Ord. 1135, 2015)

Attachment C:

Draft Ordinance #[tbd]

ORDINANCE NO. ####

AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, REPEALING AND REPLACING TITLE 17, CHAPTER 17.132 DARK SKIES TO UPDATE AND ENHANCE THE EXISTING ORDINANCE IN ORDER TO ALIGN WITH CHANGING TECHNOLOGIES, BEST PRACTICES, AND INTERNATIONAL DARK SKIES ASSOCIATION STANDARDS; PROVIDING A REPEALER CLAUSE; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Ketchum is authorized to amend the city zoning ordinance pursuant to Idaho Code § 67-6511; and

WHEREAS, the City adopted its first Dark Sky lighting regulations on June 21st, 1999, with the ordinance taking effect on June 30, 1999, for the purpose of protecting against direct glare of excessive lighting, to provide safe roadways for motorists, cyclists and pedestrians, to protect and reclaim the ability to view the night sky and help preserve the quality of life and the tourist experience, to prevent light trespass in all areas of the city, to promote efficient and cost effective lighting, to ensure that sufficient lighting could be provided where needed to promote safety and security, to allow for flexibility in the style of lighting fixtures, to provide lighting guidelines, to provide assistance to property owners and occupants in bringing nonconforming lighting into conformance with the chapter, and to work with other jurisdictions within Blaine County to meet the purposes of the chapter; and

WHEREAS, the City of Ketchum adopted one of the first Dark Skies ordinances in the state of Idaho; and

WHEREAS, the benefits of dark skies are readily experienced by residents and visitors alike; and

WHEREAS, the values of dark skies are enumerated in the 2014 Comprehensive Plan; and

WHEREAS, the City desires to update and enhance the existing Dark Skies ordinance in order to reflect changing technologies and practices and to align with the International Dark Skies Association (IDA)'s minimum standards; and

WHEREAS, alignment with IADA's minimum standards increases the City's eligibility to receive International Dark Skies Community (IDSC) designation; and

WHEREAS, the Planning and Zoning Commission after fully considering this request held a public hearing on March 13, 2017 and recommended approval to the City Council finding that the amendments, on the whole, were in compliance with the 2014 Comprehensive Plan; and

WHEREAS, the Ketchum City Council, having reviewed the proposed text amendments, and holding a public hearing on April 3, 2017; and

WHEREAS, the Ketchum City Council having considered the recommendation of the Planning and Zoning Commission and submitted comments and testimony from the public, having determined that it is in the best interests of the public and adopt the proposed text amendments to Title 17, Zoning Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF KETCHUM

Section 1: AMENDMENTS TO CHAPTER 17.132 DARK SKIES. That Title 17 of the Ketchum Municipal Code be amended to delete Chapter 17.132 in its entirety and replaced with a revised Chapter 17.132 as attached and incorporated as Exhibit A to this Ordinance.

Section 2. REPEALER CLAUSE. All City of Ketchum Ordinances or parts thereof which are in conflict herewith are hereby repealed.

Section 3. SAVINGS AND SEVERABILITY CLAUSE. It is hereby declared to be the legislative intent that the provisions and parts of this Ordinance shall be severable. If any paragraph, part, section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid for any reason by a Court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance.

Section 4: PUBLICATION. This Ordinance, or a summary thereof in compliance with Section 50-901A, Idaho Code, substantially in the form annexed hereto as Exhibit C shall be published once in the official newspaper of the City, and shall take effect immediately upon its passage, approval, and publication.

Section 5. EFFECTIVE DATE. This Ordinance shall be in full force and effect after its passage, approval and publication according to law.

PASSED by the CITY COUNCIL and APPROVED by the MAYOR of Ketchum, Idaho on this 3rd day of April, 2017.

APPROVED:

Nina Jonas, Mayor

ATTEST:

Robin Crotty, Interim City Clerk

EXHIBIT A

[insert proposed new Chapter 17.132]



Planning and Zoning

Regular Meeting

~ Minutes ~

480 East Avenue North
Ketchum, ID 83340
<http://ketchumidaho.org/>

Keshia Owens
(208) 726-7801

Monday, February 13, 2017

5:30 PM

Ketchum City Hall

Commissioners Present: Jeff Lamoureux, Chairperson
Erin Smith, Vice-Chairperson
Matthew Mead, Commissioner
Betsey Mizell, Commissioner
Neil Morrow, Commissioner

Staff Present: Micah Austin, Director of Planning & Building
Brittany Skelton, Senior Planner
Carl Anderson, Associate Planner
Keshia Owens, Planning Technician

Members of the Public

1. **5:00 PM SITE VISIT: 820 Walnut Avenue, Ketchum, Idaho**
2. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**

Commissioner Lamoureux called the meeting to order at 5:31 PM and

3. **PUBLIC COMMENT - Communications from the public for items not on the agenda.**

Gary Lipton, Ketchum resident, provided comment on Bracken Station. He pointed out that there is a large amount of snow accumulation at Tenth Street and Highway-75. He also indicated a light will need to be put in at that same intersection if the Roy Bracken decides to appeal and a gas station is built at that location.

4. **COMMUNICATIONS FROM STAFF**

- a. **The Commission will consider and take action on an application for a Mountain Overlay Design Review application for the remodel and addition to a single-family residence.**

COMMENTS:

Pete Anderson, Architect, described the project in detail and said that the new structure will meet all zoning setbacks and standards. He then explained a proposed floorplan enlargement of the existing garage and the expansion the house. He later stated that he met with the Planning Department to discuss wall heights and commented on the City's code for upgrading the non-conforming structures.

Rob King, Landscape Architect, explained the landscaping of the project and pointed out that the existing grade of the driveway will be flattened. He also mentioned the location of stairways, stones, a patio, access to the back of the house, and a subsurface drywell. He clarified the various native plantings that will be used to screen the property and detailed the materials that will be used in the style of the home.

Carl Anderson, Associate Planner, said that the project is completely within the Mountain Overlay Zone. He commented that the project was properly noticed by both mail and postings and further explained that it complies with the requirements of the Mountain Overlay zone. He commented that the project was circulated to city staff for questions and comments and pointed out that the Public Works Department recommended the following conditions:

- The final driveway design shall be reviewed and approved by the City Streets Department and City Engineer.
- The applicant will coordinate with the City Utilities Department to address any issue with the water service line size prior to the issuance of the building permit.

Commissioner Lamoureux voiced concerns over the project and voted nay because he disagreed with the structure being rebuilt under Chapter 17.136 Nonconforming Use and Nonconforming Buildings. He referenced Chapter 17.136.050 (B) which states that, "fifty percent (50%) of the building footprint and exterior walls of a Nonconforming Structure must remain unaltered." He disagreed with staff's interpretation of Chapter 17.136.070 Structural Changes which states that, "any building or other structure containing a Nonconforming Building or portion declared unsafe by the city building inspector may be strengthened or restored to a safe condition."

Commissioner Smith motioned to approve the application from owners Ed and Susan Cutter and representative Anderson Architecture P.A. for the Mountain Overlay Design Review application, finding the application meets the standards for approval under Chapter 17.104 of Ketchum Zoning Code Title 17 with the following conditions: one through nine.

Commissioner Mead seconded.

RESULT:	ADOPTED [3 TO 2]
MOVER:	Erin Smith, Commissioner
SECONDER:	Matthew Mead, Commissioner
AYES:	Neil Morrow, Matthew Mead, Betsy Mizell
NAYS:	Jeff Lamoureux

b. The Commission will consider and take action on an application for a Conditional Use Permit application for a live-work studio.

COMMENTS:

Carl Anderson, Associate Planner, said that the applicant is Lynn Knudson and she is requesting to have an art studio and a residential unit in the LI. He added that the application is subject to residential light industrial standards and has met all noticing requirements. He detailed the history of the project and explained the zoning standards for the Light Industrial-2 and added that parking will be the only change to the standards for LI development.

Smith asked whether the building will have any cooking classes and Anderson clarified that the building official and fire marshal would not allow any cooking classes until it meets the requirements of the IBC and IFC.

Smith asked for a visual graphic of the building and Anderson clarified that the staff report contains plans for the project.

Commissioner Smith made a motion to continue the application to a date certain of February 27, 2017. Commissioner Mizell seconded.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Erin Smith, Commissioner
SECONDER:	Betsy Mizell, Commissioner
AYES:	Mead, Morrow, Lamoureux, Smith, Mizell

- c. **City-initiated text amendments to the City of Ketchum Municipal Code to amend Title 17 - Zoning Regulations, Chapter 17.96, Design Review, and Chapter 17.88, Floodplain Management Overlay Zoning District (FP) in order to permit administrative review of developments meeting specified criteria.**

COMMENTS:

Micah Austin said there are three proposed changes to the Planning and Zoning Commissions reviewal of projects:

- exemption of accessory dwelling units
- exemptions of additions under 1,200 square feet
- exemption of all floodplain and riparian projects

He explained that by the time most floodplain, design review and ADUs under 1,200 square feet come to the Commission, they have already been reviewed heavily by staff and he would like to strengthen this process.

Skelton said that the same standards that have applied to floodplain development since the ordinance was adopted will be kept. She then commented that communities like Ketchum that have stricter floodplain standards continue to use administrative processes for similar applications. She explained that she feels comfortable with a switch to an administrative review process because the City's floodplain construction standards are very strong and Ketchum's floodplain criteria meets FEMA's requirements.

Commissioner Mizell made a motion to recommend approval of the first two text amendments provided the noticing period requirements stayed and that the third amendment was not recommended for approval and the floodplains will continue to come to the Commission the same to sections 17.96 and 17.88 to the City Council, provided that the floodplain regulations stay the same and noticing requirements remain the same.

- d. **Ordinance Adoption Process**

Austin said that the mayor and the City Council have asked that planning and zoning changes be brought to the Council as a policy discussion before going to the Planning and Zoning Commission. He explained that planning and zoning changes will be brought to City Council as a discussion and the reason for this is to make sure the Council has provided clear direction to the Commission.

- e. **Dark Sky Ordinance Discussion**

Austin said that the Dark Sky Ordinance Amendments were brought to City Council at their last meeting. He detailed the Dark Sky Ordinance's background and stated that it is a model ordinance for many communities, even though it is outdated. He explained that the proposed ordinance has several goals like strengthening certain sections by removing "encourage" and "discourage" and changing text to "shall" or "shall not." He also explained the proposed restrictions on color temperature, establishing standards for holiday lighting, removing technological references from text, and references to lumens.

Directives:

- Look at curfew and holiday lighting, which should be different for residential and commercial lighting or Community Core versus other parts of the city.
- Kelvin number and security
- Narrowing holiday lighting window on the November end

5. CONSENT CALENDAR

a. Minutes: January 9, 2017

COMMENTS - Current Meeting:

Commissioner Smith made a motion to approve the minutes from January 9, 2017 as amended.

Commissioner Mead seconded.

b. Bracken Station Conditional Use Permit

COMMENTS:

Commissioners Mead and Morrow recused themselves.

Commissioner Smith made a motion to approve the Bracken Station conditional use permit findings of fact dated the 13th of February, 2017.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Erin Smith, Commissioner
SECONDER:	
AYES:	Lamoureux, Smith, Mizell
RECUSED:	Mead, Morrow

During the February 27, 2017 Austin stated that the he spoke with the City Attorney on the issue of not having a seconder and the City Attorney determined the Findings of Fact can be approved without a seconder.

6. FUTURE PROJECTS AND NOTICING REQUIREMENTS

Upcoming projects:

- Argyros (Nexstage Theater) text amendment and a full design review
- Knudson CUP
- 231 Sun Valley Road Design Review

7. STAFF REPORTS & CITY COUNCIL MEETING UPDATE

8. Commission reports and ex parte discussion disclosure

9. ADJOURNMENT

Commissioner Mizell motioned to adjourn and Commissioner Morrow seconded.

Jeff Lamoureux
Planning and Zoning Commission Chair



Planning and Zoning

Regular Meeting

~ Minutes ~

480 East Avenue North
Ketchum, ID 83340
<http://ketchumidaho.org/>

Keshia Owens
(208) 726-7801

Monday, February 27, 2017

5:30 PM

Ketchum City Hall

Commissioners Present: Jeff Lamoureux, Chairperson
Erin Smith, Vice-Chairperson
Matthew Mead, Commissioner
Betsey Mizell, Commissioner
Neil Morrow, Commissioner

Staff Present: Micah Austin, Director of Planning & Building
Brittany Skelton, Senior Planner
Carl Anderson, Associate Planner
Keshia Owens, Planning Technician

Members of the Public

1. **5:00 PM- SITE VISIT: Argyros Performing Arts Center- 120 South Main Street, Ketchum Idaho (Ketchum Lot 4, Block 1, West 10' of Alley and Ketchum Lot 8, Block 1, East 10' of Alley)**

2. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**

Commissioner Lamoureux called the meeting to order at 5:30 PM and noted a site visit to 120 South Main Street occurred at 5:00 PM.

3. **PUBLIC COMMENT - Communications from the public for items not on the agenda.**

No comments.

4. **COMMUNICATIONS FROM STAFF**

- a. **Motion To: The applicant is proposing to demolish the existing NexStage Theater Performing Arts Center building and construct a new theater building, to be named the Argyros Performing Arts Center, in its place. The properties are 0.126 acres and 0.126 in size and zoned Community Core (CC), Sub-district A.**

COMMENTS:

Jim Garrison, on behalf of the applicant, said that he had received letters from various members of the community to show their support of the project. He stated that the project uniquely stands out and its purpose is solely for the beneficial use of arts in the community. He later explained how the project fits within the Comprehensive Plan and pointed out that the entrance to Ketchum is changing to a hub of new activity with many new projects coming in.

Tim Mott, vice-president of the Sun Valley Performing Arts Center, said he would like to thank the Commission and the people who have been involved in the development of the Argyros Theater. He provided additional background on the project and explained that they want to build a brand new state-of-the-art facility in the current theater's location. He explained that the new facility will remain a nonprofit and have its name changed to "Argyros Performing Arts Center," named after two founding benefactors. He detailed the layout of the project and said it will provide for all sorts of arts projects and will enable Ketchum to become a cultural destination. He noted that there have been minor architectural changes since Pre-Application Design Review, informed the Commission on the number of donations the proposed theater has received, and stated that they are hoping to open by the fall of 2018. He then urged the Commission to approve the submitted plans and asked that they recommend City Council do the same.

Mike Doty, Michael Doty Associates, detailed various design aspects of the project, including components that had been revised since the Pre-Application Design Review. He explained that designated parking spots on Main Street and on Leadville Avenue will allow parking only during certain hours and will be a drop off and delivery zone during other hours. He noted locations of sidewalks, planters, easements, a reduction in the number of trees proposed for First Street East, bike racks and bike corrals, and walkways. He also pointed out interior aspects of the project such as a lobby, the main theater area, dressing rooms, the black box theater, office spaces, dressing rooms, and balconies.

Carl Anderson, Associate Planner, provided a background of the project and stated that notice was mailed to adjacent properties and posted in three places on February 3, 2017. He then explained that staff finds the proposed reconstruction of the existing place of assembly is consistent with the uses, goals, and policies in the 2014 Comprehensive Plan Alignment. He also commented that currently staff finds that the project does not meet parking standards and any design review approval should be contingent upon the Planning and Zoning Commission's recommendation of approval, and City Council's adoption, of the applicant's text amendment application request. He then stated that on-street parking has been reviewed by the Public Works Department and explained their comments. He concluded by saying that staff recommends approval of the proposed Argyros Performing Arts Center with the following condition:

- Design Review approval is contingent upon City Council's adoption of the applicant's text amendment request application.

Public comment:

- Sally Lesbee, Ketchum resident, said that she has been in performing arts for many years and has herself been anticipating a performing arts center for twelve years. She explained that there are many instances where performers are not able to do their jobs because they don't have the adequate facility to perform. She then added that a number of people come to the community for events and performing arts and with a dedicated facility it will be possible to continue to grow the area in arts and culture.
- Tim Eagan, Ketchum businessman, thanked the Commission, said that the project was beautifully designed, and stated that the community needs the facility that is proposed.
- Dave Allson, Ketchum resident, said that he and his wife have been part-time residents for seventeen years and have considered living here fulltime and part of the consideration of living here year-round is the increasing vibrancy of the community over the last few years. He explained that there isn't blue sky wishing and dreaming behind the analysis, but there is very thoughtful analysis of what's been going on in the community. He echoed the previous speaker in thanking the Commission for the work they do and urged approval for the project.

- Nadine McWilliams, former professional ballet dancers, said that she has been heavily involved in ballet in the community and in other areas for many years. She stated that most ski areas of Ketchum's size have substantial performing arts facilities and explained that using the NexStage was a gift, but it was very limited in amenities. She commented that this new facility would allow new performers to have a first-rate space for performing, education, and much more.
- Dean Nichols, Ketchum resident and NexStage board member, said that this is a wonderful cultural center and it's what this valley needs. He added that this theater is critical to expanding the area and improving the economic benefits of the community. He noted the theater's downtown location and stated it will add to creating a better city entrance.
- Bill Lowe, Ketchum resident, said he would like to encourage the commission to support the proposed plans for the new theater. He added that the plans for the Argryos Performing Arts Center represent a long overdue refinement of the space that will enhance the city and that the new theater will also create a synergy with the new hotels that will economically benefit downtown Ketchum and its surrounding environment. He added that it's a rare time when you can get out and find support from people that will help rebuild for something of this purpose and he worries that if the theater doesn't happen now, it may never happen.

Directives:

- Require Commission approval of the construction activity plan as a Condition of approval
- Encourage the applicant to consider a valet parking plan
- Encourage applicant to consider a shuttle bus system to provide
- Consider limiting construction hours in order to mitigate impact to neighbors
- Consider an alternative space to be used for the bike corral
- Entrances for Best Western must be kept open

Commissioner Mead motioned to approve the Design Review application from the owner Sun Valley Performing Arts Center finding the application meets the standards for approval under Chapter 17.96 of Ketchum Zoning Code Title 17 with the following conditions: all conditions recommended by staff in the staff report, including that Design Review approval is contingent upon City Council's adoption of the applicant's text amendment request application, #17-006, and the additional conditions that the construction activity plan shall receive the Commission's approval, any changes to exterior lighting shall receive administrative design review approval, all down lighting on upper levels shall be turned off between the hours of 10:30 p.m. and 6:00 a.m., the proposed reconfiguration of the sidewalk along Main Street shall require a permanent easement for the portion of sidewalk that encroaches on the applicant's property; that the findings of fact state what the Community Housing requirement will be as proposed at Design Review; and the applicant shall receive approval from the Idaho Transportation Department for the proposed accessible drop-off space located on Main Street; and if not approved by ITD as shown any new parking space design will need to be reviewed by the Planning and Zoning Commission. Commissioner Morrow seconded.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Matthew Mead, Commissioner
SECONDER:	Neil Morrow, Commissioner
AYES:	Morrow, Mead, Lamoureux, Smith, Mizell

- b. Motion To: The applicant is requesting a zoning code revision to amend Title 17, Zoning, of the Ketchum Municipal Code to amend Chapter 17.125, Off Street Parking and Loading, to amend the**

existing parking requirements for places of assembly and to remove a parking requirement that is addressed by the International Building Code.

COMMENTS:

Brittany Skelton, Senior Planner, said that the applicant, Sun Valley Performing Arts Center, has requested to amend on-site parking requirements for places of assembly and a parking requirement that is already required by the IBC in order to move the applicant's proposed project, the Argyros Performing Arts Center, forward. She explained that the project met noticing requirements and provided additional background on the proposed Argyros Performing Arts Center. She gave an analysis of the project's alignment with the Comprehensive Plan and said that this is a prime example of infill redevelopment.

She stated that the applicant proposed to remove the following requirement from Section 17.125.060.C of the Ketchum Municipal Code: "For all commercial and mixed use projects, and for any residential projects with more than four (4) units, at least one accessible parking space shall be provided on site," because this requirement is covered by Chapter 11, Accessibility, of the International Building Code.

She stated the applicant also proposed to add the following text to a new Section 17.125.050.H of the Ketchum Municipal Code:

"H. Exemptions:

1. Notwithstanding Section 17.125.020 (2) and (3), in the Community Core (CC), the following use meeting the definition found in 17.08.020 is exempt from providing off street parking:

A. Place of Assembly. Places of assembly uses in existence on [date text amendment is adopted] and any expansion of existing place of assembly uses in existence on [date text amendment is adopted] that occur on the same lot or parcel. This exemption shall also apply to any expansion of a Place of Assembly that includes adjacent lots or parcels but shall be limited to not more than 5,500 square feet above the existing square footage of the assembly use in existence on [date text amendment is adopted]," and she explained how this amendment is similar to an amendment the Commission recommended for approval in October of 2016.

She also stated that staff recommends approval of the applicant's request as submitted.

Public Comment:

- Cindy Forsgren, Best Western Kentwood Lodge, said that the staff and commission should take construction hours and noise into account.

Commissioner Mizell moved to recommend approval to City Council of Sun Valley Performing Arts Center 501(C)'s proposed text amendments to Chapter 17.125 of the Ketchum Municipal Code, finding the amendments in compliance with the Comprehensive Plan, the Zoning Ordinance, and the Subdivision Ordinance. Commissioner Mead seconded.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Betsy Mizell, Commissioner
SECONDER:	Erin Smith, Commissioner
AYES:	Morrow, Mead, Lamoureux, Smith, Mizell

- c. **Motion To: Public Hearing - Continued from January 9, 2017 Knudson Conditional Use Permit 491 East 10th Street, Ketchum, Idaho (Tenth St Light Industrial Complex, Building A Unit 1): The Commission will consider and take action on an application for a Conditional Use Permit application for a live-work studio.**

COMMENTS:

Smith made a motion to continue the Knudson Conditional Use Permit to a date certain of March 13, 2017. Commissioner Morrow seconded.

RESULT:	CONTINUED [UNANIMOUS]
MOVER:	Erin Smith, Commissioner
SECONDER:	Neil Morrow, Commissioner
AYES:	Morrow, Mead, Lamoureux, Smith, Mizell

5. CONSENT CALENDAR**a. Minutes: February 13, 2017**

The Commission requested February 13, 2017 meeting minutes be revised and brought back for review.

b. 820 Walnut Avenue, Ketchum, Idaho (Ketchum Lot 2 Block 93 8250 SF):

Commissioner Smith made a motion to approve the Mountain Overlay Design Review Application Findings of Fact for the Cutter Residence (820 Walnut Avenue).

Commissioner Mizell seconded.

6. FUTURE PROJECTS AND NOTICING REQUIREMENTS

- Continuation of Knudson Conditional Use Permit
- 231 Sun Valley Road
- Angel Wings Design Review

7. STAFF REPORTS & CITY COUNCIL MEETING UPDATE**8. Commission reports and ex parte discussion disclosure****9. ADJOURNMENT**

Commissioner Mizell motioned to adjourn, Commissioner Mead seconded.

Jeff Lamoureux
Planning and Zoning Commission Chair



City of Ketchum
Planning & Building

IN RE:)
)
Argyros Performing Arts Center)
Design Review) **KETCHUM PLANNING AND ZONING COMMISSION**
Date: March 13, 2017) **FINDINGS OF FACT, CONCLUSIONS OF LAW AND**
) **DECISION**
File Number: #17-005)

BACKGROUND FACTS

PROJECT: Argyros Performing Arts Center [formerly the NexStage Theater]

FILE NUMBER: #17-005

OWNERS: Sun Valley Performing Arts Center 501(c) 3

REPRESENTATIVE: Michael Doty Associates, Architects

REQUEST: Design Review approval to demolish the existing NexStage Theater Performing Arts Center building and construct a new theater building in its place to be named the Argyros Performing Arts Center.

LOCATION: 120 South Main Street AND 111 South Leadville Avenue
(Ketchum, Lot 4, Block 1 AND Ketchum Lot 8, Block 1)

ZONING: Commercial Core (CC), Subdistrict A

NOTICE: Notice was mailed to adjacent property owners within a 300-foot radius of the subject property on February 3rd, 2017 and posted in three public locations on the same date. Notice was published in the Idaho Mountain Express on February 8th, 2017.

NOTICE OF CONSIDERATION BEFORE THE PLANNING AND ZONING COMMISSION: SITE VISIT AND REGULAR MEETING

Site Visit Date:	February 27, 2017
Site Visit Time:	5:00 PM
Meeting Location:	120 South Main Street and 111 South Leadville, Ketchum, Idaho
Meeting Date:	February 27, 2017
Meeting Time:	5:30 PM, or thereafter as the matter can be heard.
Meeting Location:	City Hall Council Chambers, 480 East Avenue North, Ketchum, Idaho
Project Name:	NexStage Theater Performing Arts Center
Project Location:	120 South Main Street and 111 South Leadville, Ketchum, Idaho (Ketchum Lot 4, Block 1, West 10' of Alley and Ketchum Lot 8, Block 1, East 10' of Alley)

Applicant:	Sun Valley Performing Arts Center
Representative:	Mike Doty Associates, Architects
Application Type:	Text Amendment and Design Review for a second-story addition.
Project Description:	The applicant is proposing to demolish the existing NexStage Theater Performing Arts Center building and construct a new theater building in its place. The applicant is also requesting a zoning code revision to amend the existing parking requirements for places of assembly, found in city of Ketchum code Chapter 17.125.050: Off-Street parking and Loading Calculations. The properties are 0.126 acres and 0.126 in size and zoned Community Core (CC), Sub-district A.

Background

1. The NexStage Theater is an existing place of assembly. The applicant is proposing to demolish the existing NexStage Theater and build an expanded place of assembly, to be named the Argyros Performing Arts Center, to occupy the same site. The new Argyros Performing Arts Center will be entirely new construction.
2. The subject property is located in Subdistrict A, Retail Core of the Community Core (CC) district. The site contains one existing building, located on Ketchum Townsite Lots 1 and 8 of Block 1. The new Argyros Performing Arts Center will be comprised of a place of assembly, which will contain a main theater space, an accessory black box theater, and uses accessory to a theater operation. The applicant is proposing to construct a three story building with a main theater space on the first floor, meeting space on the second floor, a black box theater on the second floor, and theater office space on the third floor. A portion of the second floor space will be open to the main theater space below, located on the first floor.
3. The existing building is 12,942 gross square feet and the proposed building is 17,859 gross square feet. The new theater will add approximately 100 seats, which includes the black box space.
4. The existing building and the proposed principal building occupy Ketchum, Lot 4, Block 1, Ketchum Lot 8, Block 1, and a vacated portion of an alleyway. The applicant will submit a Lot Line Shift application at a later date to create one 12,108 sf lot.
5. The applicant received pre-application Design review approval from the City of Ketchum Planning & Zoning Commission on November 14, 2016.

FINDINGS OF FACT

Table 1: Requirements for All Applications

City Department Comments				
Compliant				
Yes	No	N/A	City Code	City Standards and <i>Commission Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.040	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Police Department: No comments at this time.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire Department: The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.	

Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A **minimum** twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.

An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. **Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements.** Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.

NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.

An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. A manual fire alarm system that activates the occupant notification system in accordance with Section 907.5 shall be installed in Group A occupancies where the occupant load due to the assembly occupancy is 300 or more. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.

Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.

An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.

Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.

408.2.1 Seating plan.

The fire safety and evacuation plans for assembly occupancies shall include the information required by Section 404.3 and a detailed seating plan, occupant load and occupant load limit. Deviations from the approved plans shall be allowed provided the occupant load limit for the occupancy is not exceeded and the aisles and exit access-ways remain unobstructed.

408.2.2 Announcements.

In theaters, motion picture theaters, auditoriums and similar assembly occupancies in Group A used for non-continuous programs, an audible announcement shall be made not more than 10 minutes prior to the start of each program to notify the occupants of the location of the exits to be used in the event of a fire or other emergency.

[B] 1006.2 Illumination level.

The means of egress illumination level shall not be less than 1 foot-candle (11 lux) at the walking surface.

Exception: For auditoriums, theaters, concert or opera halls and similar assembly occupancies, the illumination at the walking surface is permitted to be reduced during performances to not less

		<p>than 0.2 foot-candle (2.15 lux), provided that the required illumination is automatically restored upon activation of a premises' fire alarm system where such system is provided.</p> <p>An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.</p> <p>Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Public Works: Streets Department: Looking at the civil plans, the grades for the sidewalk curb and gutter in several sections do not meet city standards. After meeting with Galena several times to try and improve the grades, I understand this particular site has constrictions that limit the ability to get grades that will meet our code. Although proposed grading does not meet this standard of slopes less than .5%, I believe the applicant has done their best to try.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Utilities: The property is currently served off of a fire line connecting off of Main St / SH 75. If it is not used as indicated it will need to be cut and capped in place at the fire line valve in the street. The current use is served from a 1" domestic meter off the fire line. When the new building is built, that meter will have to be replaced per DEQ standards at the owner's expense. No impact fees will apply unless meter size is increased. Please show the new fire line size on future drawings.</p> <p>There is currently an old KSW 4" water line that terminates at the property line with a circulation point frost free hydrant and dry well. If this circulation point is to be abandoned the KSW line will need to be cut and capped with a circulation frost free and dry well provided in a point safe from traffic and snow plows as approved by the Water supervisor. All sewer connections will be protected during demo, and any that are not used with the new construction will need to be capped at the property line.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Parks/Arborist: Street tree species and spacing look great. All other landscaping on the property looks good.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Building: Building must meet 2012 International Building Codes.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Planning and Zoning: Comments are denoted throughout the staff report.</p>

**Attachment B.
Table 2: Zoning Standards Analysis**

Compliance with Zoning District				
Compliant			Standards and Commission Comments	
Yes	No	N/A	Regulation	City Standards and <i>Commission Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Lot Area
			<i>Commission Comments</i>	Required: 5,500 square feet minimum. Existing: Lot size is 12,108 sf
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Height
			<i>Commission Comments</i>	Required: A maximum building height of 42' feet is permitted. Proposed: The maximum building height proposed is 42'.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Setbacks
			<i>Commission Comments</i>	Required: Front (West - Main Street): 0' Side (North - E. 1 st Street): 0' Side (South - interior): 0' Rear (East - N. Leadville Avenue.): 0' Proposed: Front (West): 32'-0" Side (North) : 0" Side(South): 6" Rear (East): 11.5''at building; 0'' at overhang
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.140	Curb Cut
			<i>Commission Comments</i>	Required: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Proposed: No curb cut is proposed. Flat curbs are proposed for access from N. Leadville Avenue to the garbage dumpster located at the southeast corner of the building and at the north side of the building from Main Street to facilitate the design of the accessible loading area. This is further described in Table 3, section 17.96.060(G) (4).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	12.125.020.A.2 & 17.125.050	Parking Spaces
			<i>Commission Comments</i>	Required: The off street parking standards apply when an existing structure or use is expanded or enlarged. Additional off street parking spaces shall be required only to serve the enlarged or expanded area, not the entire building or use. Existing: The existing building has non-conforming parking as there is no existing parking onsite. The proposed new construction will have additional seating based on the expanded theater space. The current parking code requires that onsite parking be provided to accommodate the additional seating. The current parking requirement, per City code 17.125.050, would be: one (1) space per every six (6) seats or one (1) space per 60 square feet of floor area, whichever is greater. Additionally, the current parking requirement, per City code 17.125.060, would also require that: for all commercial and mixed use projects at least one accessible parking space shall be provided on-site. The existing parking requirements are listed below.

				<p style="text-align: center;">Parking Requirements</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">Existing</th> <th style="text-align: center;">Increase in # of seats</th> <th style="text-align: center;">Increase in sf floor area</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">No onsite parking</td> <td style="text-align: center;">17 parking spaces (increase of 100 seats)</td> <td style="text-align: center;">82 parking spaces (increase of assembly sf)</td> </tr> </tbody> </table> <p>Proposed: <i>The applicant has submitted a zoning code text amendment application #17-006 with the City Planning and Building Department to be considered by the Planning and Zoning Commission, and the City Council.</i></p> <p><i>The text amendment application #17-006 requests to exempt existing places of assembly in the Community Core, and expansions up to 5, 5000 square feet in size to existing places of assembly in the Community Core, from being required to provide on-site parking and to remove criteria from the parking ordinance addressing accessible parking spaces. The applicant's text amendment #17-006 request would align the parking requirement for places of assembly with the proposed parking ordinance that is currently being considered by the City Council and would remove criteria for accessible parking from the Ketchum zoning code because accessible parking is superseded by and addressed within the 2012 International Building Code, Chapter 11, Accessibility. All projects in the City of Ketchum that require a building permit are required to comply with the 2012 International Building Code prior to receipt of a building permit.</i></p> <p><i>Should text amendment #17-006 be approved, the proposed project would be exempt from parking requirements as it is a place of assembly and the applicant will still be required to comply with accessible parking space requirements of the 2012 International Building Code, which is the current building code as adopted by the City.</i></p> <p><i>As such, staff has recommended, and the Commission agrees, approval of the Design Review application with the condition that the Design Review approval is contingent upon City Council's adoption of the applicant's text amendment #17-006 request.</i></p>	Existing	Increase in # of seats	Increase in sf floor area	No onsite parking	17 parking spaces (increase of 100 seats)	82 parking spaces (increase of assembly sf)
Existing	Increase in # of seats	Increase in sf floor area								
No onsite parking	17 parking spaces (increase of 100 seats)	82 parking spaces (increase of assembly sf)								
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	<p>Floor Area Ratios and Community Housing</p>						
			<p>Commission Comments</p>	<p>Prior to the issuance of a building permit, the applicant will be required comply with the proposed emergency Ordinance 1169, which will require an applicant to enter into an exceedance agreement with the City of Ketchum, acknowledging, and agreeing to the City's Community Housing requirements. The ordinance has not been adopted yet, and is scheduled for a second reading on April 3rd, 2017. The project shall comply with the requirements of 17.124.040 as adopted on the date a building permit is submitted for the project.</p> <p>Permitted in CC <i>Permitted Gross FAR: 1.0</i> <i>Inclusionary Housing Incentive: 2.25</i></p>						

			<p>Lot area: 12,108 square feet</p> <p>Proposed, based on plans submitted for Design Review FAR: 1.47 (17,859 sf/12,108 sf)</p> <p>Existing FAR: 1.07 (12,942 sf/12,108 sf)</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="3" style="text-align: center;">Total Floor Area</th> </tr> <tr> <th style="width: 50%;"></th> <th style="width: 25%; text-align: center;"><i>Proposed</i></th> <th style="width: 25%; text-align: center;"><i>Existing</i></th> </tr> </thead> <tbody> <tr> <td>Basement (not counted in FAR)</td> <td style="text-align: center;">8,841 SF</td> <td style="text-align: center;">+/- 955 SF</td> </tr> <tr> <td>1st Floor</td> <td style="text-align: center;">9,494 SF</td> <td style="text-align: center;">+/- 12,100 SF</td> </tr> <tr> <td>2nd Floor</td> <td style="text-align: center;">6,688 SF</td> <td style="text-align: center;">+/- 842 SF</td> </tr> <tr> <td>3rd Floor</td> <td style="text-align: center;">1,677 SF</td> <td></td> </tr> <tr> <td>Total</td> <td style="text-align: center;">26,700 SF; 17,859 Gross Floor Area</td> <td style="text-align: center;">13,897SF; 12,942 Gross Floor Area</td> </tr> </tbody> </table> <p>Community Housing CH incentive, based on plans submitted for Design Review: The applicant shall provide 835.89 sf of community housing either on-site or elsewhere within the City of Ketchum, or pay a fee in-lieu of \$198,941.82. See City code Chapter 17.124.040 for further detail.</p> <ol style="list-style-type: none"> 1. Increase in SF above existing FAR = 4,917 (17,859 – 12,942) 2. 20% of CH incentive to be deed restricted or pay fee in lieu: 983.4 sf: 4,917 · .20 = 983.4 3. Reduced by 15% to account for circulation, mechanical, etc.: 835.89 sf: 983.4 · .85 = 835.89 	Total Floor Area				<i>Proposed</i>	<i>Existing</i>	Basement (not counted in FAR)	8,841 SF	+/- 955 SF	1 st Floor	9,494 SF	+/- 12,100 SF	2 nd Floor	6,688 SF	+/- 842 SF	3 rd Floor	1,677 SF		Total	26,700 SF; 17,859 Gross Floor Area	13,897SF; 12,942 Gross Floor Area
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.18.130 & 17.08.020</p> <p>Zoning Matrix & Definitions</p>																					
			<p>Commission Comments</p> <p>17.18.130: Community Core District (CC)</p> <p>A. Purpose. The purpose of the CC community core district is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum’s historical and geographic context while providing diversity. Compatible mixed uses including retail, office, residential and cultural uses are encouraged. Commercial uses are concentrated in the CC district which is consistent with the city’s comprehensive plan and the downtown master plan.</p> <p>D. Subdistricts. Subdistricts specify areas of special characteristic within the community core which are designated on the City of Ketchum Zoning Map.</p> <p>17.08.020 – Definitions</p> <p>Place of Assembly: The use of land for a meeting place where persons gather together for purposes of attending civic, social, religious functions, recreational events or entertainment performances on a regular or recurring basis including, but not limited to, religious institutions, banquet facilities, funeral homes, theaters, conference centers, stadiums, or indoor or outdoor recreational facilities, but excludes a Cultural Facility as defined by this chapter. A gathering of less than 25 persons shall not be considered a Place of Assembly provided the gathering is accessory and incidental to the principal use.</p>																					

				<p>Proposed: <i>The applicant is proposing to replace the existing place of assembly with an expanded place of assembly to occupy the same site.</i></p>
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Table 3: Design Review Standards for all projects

IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Commission Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1)	<p>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</p> <p><i>The property is currently served by public streets.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(2)	<p>All street designs shall be approved by the City Engineer.</p> <p><i>The applicant has coordinated with the City Engineer on the final street designs. At this time, the City Engineer has no concerns with the proposed street design.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	<p>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</p> <p><i>Sidewalks currently serve the site on Main Street, First Street East and Leadville Avenue; the applicant is proposing to reconstruct the sidewalks on Main St., First St. E. and Leadville Avenue. The proposed sidewalk design meets current standards, and has been approved by the City Engineer / Public Works Director.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(2)	<p>Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</p> <p><i>The applicant has coordinated with the City Engineer to meet the City’s right-of-way standards. The sidewalk on Main Street is proposed to be reconfigured to accommodate a five-foot (5’) wide drop-off zone inset into the sidewalk. The main street sidewalk is proposed to provide five-feet (5’) of public access, with the inclusion of the easement access on the applicant’s property, in order to accommodate the five-foot (5’) wide drop-off zone. The drop off zone will require that curb and gutter be shifted to the east onto the property owner’s private property; the applicant/property owner will grant a public access easement to maintain clear width from the proposed new curb-gutter location to planters that are proposed on the property owner’s private property. The five-foot (5’) wide drop off zone will function as an on-street ADA compliant un-loading/loading area to serve the main entrance of the building.</i></p> <p><i>The sidewalk along First Street East is proposed to be an eight-foot (8’) sidewalk as per direction from the City engineer. The right-of-way on First Street is sixty-feet (60’), and will contain a 12’ drive aisle and eight-foot (8’) wide parallel parking. The sidewalk along both Main Street and Leadville Avenue will be five-feet (5’) wide and has been reviewed by the City Engineer.</i></p> <p><i>The City will re-stripe parking spaces along both First Street East and Leadville Avenue to a parallel configuration, which complies with the current City right-of-way standards.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	<p>Sidewalks may be waived if one of the following criteria is met:</p> <ol style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public. <p><i>Neither criteria (a.) nor (b.) are applicable due to the size and scale of the proposed development.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Commission Comments</i>	<i>All proposed sidewalk improvements satisfy this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Commission Comments</i>	<i>The existing sidewalks connect to adjacent sidewalk, and all reconstruction will connect to adjacent sidewalks as well. The final design of the sidewalk improvements have been coordinated with and approved by the City Engineer / Public Works Director.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Commission Comments</i>	<i>The Commission does not recommend a contribution in-lieu for the above described pedestrian improvements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Commission Comments</i>	<i>The applicant states that storm water shall be directed to internal roof drains, drain leaders, and trench drain grates and will be retained on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Commission Comments</i>	<i>The applicant has coordinated with the City Public Works Department to address drainage concerns. Drainage improvements are proposed to be constructed in equal length of the subject property lines along the Main Street., First Street East, and Leadville Avenue sides.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Commission Comments</i>	<i>The applicant has coordinated with the City Public Works Department to identify and address any and all drainage improvements required for the site. The proposed drainage has been reviewed by both the City Engineer and the Streets Superintendent. See comments from the Streets Department located in Table 1.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Commission Comments</i>	<i>All drainage facilities within the public right-of-way will be constructed per City standards and coordinated with the Public Works Department. The final design of the drainage facilities will be constructed per City standards and approved prior to the issuance of a Certificate of Occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Commission Comments</i>	<i>The applicant is aware of this requirement and has stated that they will provide all utilities necessary for the proposed development. See comments from the City Utilities Department located in Table 1.</i> <i>The applicant has verified with the applicable utilities companies and has ensured that all necessary utilities for the development will be provided. See supporting letters attached to the staff report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.

			<i>Commission Comments</i>	<i>The applicant is aware of this requirement and will provide all utilities necessary for the development. The applicant states that they will work with all pertinent utility companies to meet City standards. The applicant shall coordinate with the City Utilities Department and receive approval of final utility location at the time of final inspection, prior to the issuance of a Certificate of Occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Commission Comments</i>	<i>The applicant states that the installation of and payment for two 2-inch SDR11 fiber optic conduit shall be done in accordance with the City of Ketchum standards and at the discretion of the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Commission Comments</i>	<i>As indicated in the renderings, materials appear to be in keeping with the architecture and overall design of the surrounding properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Commission Comments</i>	<i>No landmarks have been identified on the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Commission Comments</i>	<i>The existing structure was built in 1947. The proposed project will be all new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Commission Comments</i>	<i>The proposed Main Street ground floor theater lobby entrance will be emphasized and clearly defined by the outdoor plaza, which will guide pedestrian access from the adjacent sidewalk. The outdoor plaza will be partially covered by the cantilevered black box theater above. The applicant states that the soffit treatment along the underside of the cantilever and the stone pavers at ground level are intended to offset the entry plaza area from the general pedestrian sidewalk.</i> <i>To further define the entryway, signage is proposed on a west-facing steel fin beneath the corner of the black box. Additionally, the building name will be located on the west-facing steel fascia at the floor level of the second floor black box.</i> <i>The applicant is proposing that the egress-only door exiting to the west, from the northwest corner of the building, will be clad with the adjacent material and will not be emphasized to the public. This was done with the intent to reduce pedestrian obstruction of the egress door.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Commission Comments</i>	<i>The overall architectural design has remained largely the same from pre-application design review to design review.</i> <i>The north façade, which fronts First Street East, is approximately two-hundred and twenty (220') feet in length and the vertical mass is broken up by variations in roof height, façade materials and undulation in the building. The remainder of the north façade is broken up by changes in material, arrays of windows, and a roof overhang extending the length of the building.</i>

				<p>The main entrance of the building is located on the western end of the north façade, at the corner of Main Street and Frist Street East. Glass windows wrap around the first floor of the building on the north west side to create a transparent entryway to the ground floor lobby. At this location of the building the second floor is cantilevered above the first floor and there are large scale windows on the north and west façades of the cantilevered portion of the building. The variation in materials, windows and cantilevered segments serve to break up the vertical and horizontal massing of the building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	<p>There shall be continuity of materials, colors and signing within the project.</p> <p><i>Commission Comments</i></p> <p>The Commission finds that the applicant has maintained a continuity of materials and colors selected that both serve to complement one another, and provide definition to the building. The Commission finds that the materials serve to provide depth to the principal building, as well as to further break up the appearance of bulk and flatness, in combination with the architectural design of the proposed building.</p> <p>The applicant states that selection and composition of building materials has been chosen with the intention to bring warmth through the use of wood laminate panels, and that the form will create human-scaled texture as well.</p> <p>The high-pressure decorative exterior grade compact wood laminate panels are proposed along the black box volume, the perimeter or the theater volume, and along the ground floor of the east back-of-house area. The proposed inclusion of the vertical zinc siding is intended to act as a secondary material to the theater volume. The zinc siding is located on a series of pleats that canted towards Main Street at twelve-feet (12') from center intervals. The applicant has utilized "pleats" with the intent to create undulation along the Main Street facing façade. The applicant states that the volume containing the north egress stair, as well as the 2nd and 3rd floor back-of-house facades, will be light grey fiber cement wall panels intended to complement the selected material palette. The applicant proposes to utilize a blackened steel brow at the level of the second floor framing, which covers the plaza area below. An additional upper steel brow is set four-feet (4') and eight-feet (8') beneath the top of the parapets of both the respective black box and theater volumes. The intent of the steel brow is to unify the structure and to minimize the perception of building height. The applicant is also proposing to utilize signage and other accents, which will match the blackened finish of the steel brows.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	<p>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</p> <p><i>Commission Comments</i></p> <p>The proposed landscape features are located in the plaza area at the front of the building (Main Street, wrapping around the corner to First Street East). The proposed landscape features will be constructed of raised planters and seating platforms at the plaza and along the corner of First Street East. The proposed landscape features will consist of teak wood, light-colored concrete, and blackened steel materials that will complement the proposed building. The applicant states that the raised planters and seating platforms serve to buffer the plaza from traffic along Main Street and through traffic along the sidewalk.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	<p>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</p> <p><i>Commission Comments</i></p> <p>The proposed elevation views provided by the applicant demonstrate that the building walls provide variation, including undulations on all street-facing facades. The applicant has used pleats along the principal building, which are</p>

				<i>set in from the adjacent compact wood laminate siding, to provide shadow and depth to the façade. Changes in material and roof curb height are also used to break up the building bulk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Commission Comments</i>	<i>The front entrance of the building orients towards Main Street. The plaza area is located on the corner of Main Street and First Street East, and the entrance is setback from the street, located underneath the cantilevered black box. The plaza provides ample gathering space that brings attention to the front entrance of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Commission Comments</i>	<i>Plans indicate garbage, recycling and mechanical areas will be both screened and enclosed. The garbage enclosure will be located on the southeast corner of the lot, and enclosed within the building, shielded by an overhead garage door, on the Leadville Ave side of the building. The applicant has coordinated with Clear Creek Disposal to provide space for a dumpster and carts that provide sufficient space to service the disposal area adequately. See the attached letter from Clear Creek Disposal for further comment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Commission Comments</i>	<i>Plans indicate that pedestrians will be sheltered at exterior doorways and at the main plaza area. The proposed roof is a flat roof in design and will be drained internally.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Commission Comments</i>	<i>The site is currently well connected as all curb lines will match exiting curb lines along Main Street and Leadville Avenue. The proposed sidewalk along 1st St. E. will be improved to an eight-foot (8') wide sidewalk. There are no existing or anticipated easements and pathways beyond the general pedestrian sidewalks. Additionally, the applicant proposes that they will provide four (4) bike racks on-site, able to accommodate a total of eight (8) bikes on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Commission Comments</i>	<i>The applicant is proposing two low steel brows, each measuring five-feet (5') minimum from the face of the north façade. As the proposed sidewalks below are eight-feet (8') wide along First Street East, these brows will not encroach within two-feet (2') of parking or travel lanes within the right-of-way. The applicant submitted an encroachment permit at the time of design review submittal, which will be approved prior to the issuance of a Certificate of Occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Commission Comments</i>	<i>The applicant has coordinated with the City Public Works Department to address traffic flow within the project and onto adjacent streets.</i> <i>The project will remove the existing bulb-out on First Street East, and will convert the existing angled parking to parallel parking; both of these actions will facilitate improved traffic flow around the site. Bicycle parking is being provide onsite, and the sidewalks will adequately serve pedestrians. Additionally, the building footprint utilizes the majority of the site, and therefore there will be no ingress and egress of vehicles in and out of the site.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Commission Comments</i>	<i>The applicant is proposing two sections of flat curb and has coordinated with the Public Works Department on the final curb design.</i> <i>One section of the proposed flat curb will accommodate the mechanics of the disposal glider located on the southeast corner of the site and accessed from Leadville Avenue. The flat curb is greater than twenty-feet (20') to the nearest intersection (1st St. E. and Leadville Avenue). The second flat curb is intended to facilitate the design of the accessible parallel street parking along Main Street. The location of the second flat curb has been reviewed and approved by the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Commission Comments</i>	<i>The proposed site plan indicates that unobstructed access will be provided to serve emergency vehicles, snowplows, garbage trucks and similar service vehicles via the right-of-way and on-street parking areas. The applicant has also coordinated with Clear Creek Disposal to ensure that the disposal location will not place the disposal truck into the intersection of First Street East and Leadville Avenue during pick-up. See the letter from Clear Creek Disposal attached to the staff report for further comment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Commission Comments</i>	<i>The applicant is not proposing a snow storage area on-site site. In lieu of a snow storage area, the applicant is proposing that all concrete sidewalks will be snow melted with hydronic heat tubing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Commission Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Commission Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Commission Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Commission Comments</i>	<i>The applicant is proposes landscaping along First Street East, as well as within the plaza area located at the corner of Main St. and 1st St. E. The applicant has coordinated with the City Arborist and City Engineer to provide the appropriate tree spacing and location of landscape features. The proposed landscaping plan has been reviewed by the City Arborist. See Table 1 for further comment from the City Arborist.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Commission Comments</i>	<i>This is an urban downtown site and landscaping will be comprised of street trees and planter boxes. Street trees and plantings have been reviewed and approved by the City Arborist. See Table 1 for further comment from the City Arborist.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Commission Comments</i>	<i>The City Arborist has reviewed the proposed trees, shrubs, grasses and perennials and has no concerns at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Commission Comments</i>	<i>Substantial landscaping is proposed on the Main Street frontage in the plaza area which serves as a buffer between the plaza area and Main Street. Landscaping is also interspersed along the perimeter of the First Street East side of the property. Landscaping is not proposed on the east side of the site (Leadville Avenue), which is the rear of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Commission Comments</i>	<i>The applicant is proposing that eight-foot (8') sidewalks be installed along First Street East. The applicant states that pedestrian amenities will be installed along First Street East. The covered outdoor plaza within the site and fronting Main Street will have planters and benches. The applicant has coordinated with the Public Works Department to determine that along the proposed five-foot (5') sidewalk on both Main Street and Leadville Avenue there is not sufficient room for street trees or additional pedestrian amenities.</i>

Table 4: Design Review Standards for Community Core Projects

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects				
In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core district. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the Community Core.				
Yes	No	N/A	City Code	City Standards and Commission Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 A(1)	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
			<i>Commission Comments</i>	<i>The applicant has coordinated with the Public Works Department to ensure that the approved design for street trees, street lights, street furnishings, and all other street improvements will be installed and constructed appropriately. The applicant has also coordinated with Inovus to provide a photometric layout of the site. The City Engineer has no concern relating to the photometric layout at this time. The applicant's final street trees, street lights, street furnishings, and other street improvements shall be approved by the Public Works Department upon final inspection, and prior to the issuance of a Certificate of Occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(2) Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.
			<i>Commission Comments</i>	<i>The applicant will coordinate with the City Arborist to ensure that all specified street trees are installed according to City requirements. The City Arborist has reviewed the street tree location and has no concerns at this time. The street tree caliper size shall be approved by the City Arborist upon final inspection, and prior to the issuance of a Certificate of Occupancy.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(A)(3)	Due to site constraints, the requirements of this subsection 17.96.070.A may be modified by the Public Works Department.
			<i>Commission Comments</i>	N/A

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
			<i>Commission Comments</i>	<i>The north, east and west facades have been designed to include both solid surfaces and window openings intended to avoid the creation of blank walls. See Commission comment in Table 3, section 17.96.060(F) (3) for further detail.</i> <i>The south wall adjoins an interior side property line and will be designed to meet building code fire separation requirements. The applicant is proposing that the portions of the wall that are visible to the public that will have a material selection similar to either the adjoining building, or the proposed theater. The south wall does not directly face a street or alley, and is located less than five-feet (5') from the interior side property line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			<i>Commission Comments</i>	<i>The applicant has included storefront windows and doors into the theater entrance and along ground floor lobby areas. The proposed design includes glazing at the back-of-house theater areas, at the upper two levels located at the east end of the structure that are, intended to maximize natural lighting. The design also includes storefront windows at the black box and main theater areas, to be screened with black-out shades during performances. The two egress stairs, located on the north and east sides of the building, will include elements of glazing.</i> <i>Landscaping planters have been included in the proposed design of the plaza area. The planters will provide separation between vehicular traffic on Main Street and pedestrian traffic along Main Street and First Street East.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			<i>Commission Comments</i>	<i>The proposed design of the front facing façade (Main Street) does not obscure views into windows. The applicant has designed the front facing façade with the focus on maximizing views into the windows.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			<i>Commission Comments</i>	<i>The applicant is proposing the use of flat top roofs which will be drained internally. The use of steel brows will be incorporated to break up the structure and add depth to the building. Reflective materials have not been proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
			<i>Commission Comments</i>	<i>The applicant is proposing flat top roofs which will be drained internally.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			<i>Commission Comments</i>	<i>The applicant is proposing that the steel brow located below the drip edge at the roof be considered an overhang. The proposed steel brow does not extend more than three-feet (3') into the public right of way. The proposed steel brow has been reviewed by the Public Works Department. As the steel brow does not extend more than three-feet (3') into the public right-of-way and does not extend within two-feet (2') feet of parking or travel lanes within the right of way, and the Commission considers the steel brow to be a roof overhang.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070 (B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			<i>Commission Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			<i>Commission Comments</i>	<i>The proposed trash disposal area is located at the rear of the building, at the southeast corner of the principal building. The trash disposal area is fully enclosed within the building and will be screened from public view using an overhead door. The trash disposal area is not proposed to be located within the public right of way. The applicant has coordinated with Clear Creek Disposal to identify a suitable trash disposal location.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
			<i>Commission Comments</i>	<i>The applicant will work ensure that all roof and ground mounted mechanical and electrical equipment are fully screened from public view. Mechanical equipment will not exceed ten-feet (10') over the maximum building height and must be set back a minimum of ten-feet (10)' from property lines. The design will be compatible with the overall building design. The final screening, location and height of all ground and roof mounted mechanical equipment shall be approved upon final inspection and prior to the issuance of a Certificate of Occupancy.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
			<i>Commission Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
			<i>Commission Comments</i>	<i>The applicant is proposing three-street trees along First Street East, which are proposed to be placed in tree wells and covered by tree grates which will be approved by the City Engineer. The City Arborist has encouraged the applicant consider utilizing Silva Cell technology for the street trees. This technology is known method to both enhance tree vitality and contribute to storm water management. For further comment see Table 1.</i> <i>The applicant is proposing that the on-site swedish aspens be located in a low planter box along the south property line to screen the plaza from the existing Kentwood Lodge wall. Both the City Arborist and City Engineer have reviewed the Landscape plans and have no comment regarding the tree placement at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
			<i>Commission Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
			<i>Commission Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			<i>Commission Comments</i>	N/A

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
			<i>Commission Comments</i>	<i>The three (3) proposed trees located along First Street East will be placed in tree wells and covered by tree grates. The final tree grate design shall be approved upon final inspection and prior to the issuance of a Certificate of Occupancy. The applicant is proposing that the on-site swedish aspens be located in a low planter box along the south property line to screen the plaza from the existing Kentwood Lodge wall. Both the City Arborist and City Engineer have reviewed the Landscape plans and have no comment regarding the tree placement at this time. Additional on-site planters are proposed within the plaza and will contain ornamental grasses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			<i>Commission Comments</i>	<i>Bike racks are being proposed at the applicant's volition. Should the applicant's zoning text amendment request application be approved by City Council, the applicant is not proposing any on-site parking spaces that bike racks would be required in proportion to.</i> <i>The applicant proposes that they will seek to provide four (4) bike racks able to accommodate a total of eight (8) bikes on site. The applicant further suggests the use of a summer-use only removable "bike-corral" placed within the eight-foot (8') width of curbside parallel parking area, located at the northwest corner of the site. The applicant states that the proposed bike-corral will provide for a more suitable bike storage configuration as bike storage will be perpendicular to the curb, rather than parallel to the curb should bikes be stored on sidewalk. Staff suggests, and the Commission agrees, that perpendicular bike storage in a bike-corral may also improve access to and from the building, as it will avoid the creation of a "bike wall" that parallel bike storage along the curb would create. This suggestion has been reviewed by the Public Works Department and they have no further comment at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
			<i>Commission Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.
			<i>Commission Comments</i>	<i>The applicant will locate the bicycle racks no less than fifty-feet (50') from entrance of the building. The bike racks will be visible from the nearest entrance that they serve. The proposed bike racks currently run perpendicular to pedestrian traffic.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning code, Title 17;

3. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Code Title 17;
4. The City of Ketchum Planning Department provided adequate notice for the review of this application;
5. The project **does** meet the standards of approval under Chapter 17.104 of Zoning Code Title 17;
6. All building and fire code requirements as dictated by 2012 family of international building codes shall apply to all construction onsite;
7. Per Title 17, Section 17.96.090: TERM OF APPROVAL: The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations;

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Design Review application this Monday, March 13th, 2017 subject to the following conditions:

1. All departmental conditions as described in table 1 shall be complete prior to a certificate of occupancy;
2. Design Review elements shall be completed prior to final inspection/occupancy;
3. All building and fire code requirements as dictated by 2012 family of international building codes shall apply to all construction onsite;
4. Design Review approval is contingent upon City Council's adoption of the applicant's text amendment request application (#17-006);
5. Any work in the right-of-way will require a right-of-way encroachment permit, reviewed and approved by the City before installation;
6. All permanent encroachments into the Right-of-Way shall require a Right-of-Way Encroachment Agreement approved by the City Council;
7. The construction mitigation plan shall comply with all standards set forth in City Code Chapter 15.06 Construction Activity Standards and receive approval from the Planning and Zoning Commission;
8. Any change to the exterior lighting of the proposed building shall be receive administrative design review approval for compliance with Ketchum Municipal Code Chapter 17.132 Dark Skies
9. All down lighting on upper levels will be turned off between the hours of 10:30PM and 6:00AM;
10. The proposed reconfiguration of the sidewalk along Main Street shall require a permanent easement for the portion of sidewalk that encroaches on the applicant's property;
11. The applicant shall receive approval from the Idaho Transportation Department for the proposed accessible drop-off space located on Main Street, and if not approved by ITD as shown any new parking space design will need to be reviewed by the Planning and Zoning Commission;

12. The project shall comply with the requirements of 17.124.040 as adopted on the date a building permit is submitted for the project.

Findings of Fact **adopted** this 13th day of March, 2017.

Jeff Lamoureux
Planning and Zoning Commission Chairperson