

#### PLANNING AND ZONING COMMISSION AGENDA-REGULAR MEETING

Monday, April 9, 2018 Ketchum City Hall 480 East Avenue North, Ketchum, ID 83340

- 1. <u>4:30 PM SITE VISIT: KSVVA Fire Training Facility:</u> 219 Lewis St, Ketchum, ID (Lot 7 Blk 1, Northgate Subdivision, Ketchum Townsite)
- 2. <u>4:50 PM SITE VISIT: Briscoe & Assoc. Conditional Use Permit</u>: 220 N. Main St. (Lot 2AA Blk 3, Ketchum Townsite)
- 3. <u>5:00 PM SITE VISIT: Community Library, Design Review Application: 415 Spruce St (Lot 1B Blk 89, Ketchum Townsite)</u>
- 4. 5:15 PM CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho
- **5. PUBLIC COMMENT** Communications from the public for items not on the agenda.
- 6. PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF
  - **a.** <u>**180 Northwood Way Mixed-Use Project:**</u> Discussion regarding an amendment to Design Review to reduce square footage of building.
  - **Community Library Expansion:** 415 Spruce Street (Lot 1B Block 89, Ketchum Townsite) *Continued from March 27, 2018.* The Commission will consider and take action on a Design Review Application for exterior alterations to the Community Library.
  - c. <u>Text Amendment Setback Definition</u>: Continued from March 12, 2018. Request to amend the City of Ketchum Municipal Code, Title 17, Zoning Code, Section 17.08.020, Terms Defined, to amend the definition of "Setback" to exclude below grade buildings and structures. Additional city-initiated text amendments to Chapter 17.96, Design Review, Chapter 17.88, Floodplain Management Overlay, Chapter 17.104 Mountain Overlay Zoning District, Chapter 17.124, Development Standards, and Section 17.128.020, Supplementary Yard Regulations will be considered during the public hearing as well. All proposed text amendments are related to below grade structures encroaching in required setbacks.
  - d. <u>KSVVA Fire Training Facility:</u> 219 Lewis Street, Ketchum, ID (Lot 7 Blk 1, Northgate Subdivision, Ketchum Townsite) The Commission will consider and take action on a Design Review application by the Ketchum Sun Valley Volunteer Association (KSVVA) for the construction of a new 1,280 sq. ft fire training facility. The subject property is located in the Light Industrial Number 2 (LI-2) Zoning District.
  - e. <u>Briscoe & Associates Conditional Use Permit:</u> 220 N, Main Street (Lot 2AA Blk 3, Ketchum Townsite:) Conditional Use Permit application for a business office located on the ground floor of an existing commercial building in the Commercial Core Retail Core Sub-district (CC-A).
  - **Zoning Code Amendment** Community Core subdistricts and retail uses. *Continued from March 27, 2018.* The Commission will consider City-initiated amendments to Title 17, Section 17.12.040, Dimensional Standards CC District Matrix, Section 17.12.010, Zoning Map Districts, and Section 17.12.020, District Use Matrix.
  - g. Zoning Code Amendment Residential Use in the Light Industrial Districts. Continued from March 27, 2018. The Commission will consider City-initiated amendments to Title 17, Section 17.124.090, Residential, Light Industrial Districts, and Section 17.12.020, District Use Matrix.

#### 7. CONSENT CALENDAR

- **a. Minutes:** March 27, 2018
- b. Bigwood Square Mixed-Use Building Findings of Fact and Conclusions of Law
- c. Grumpy's Restaurant Conditional Use Permit Approval
- 8. FUTURE PROJECTS AND NOTICING REQUIREMENTS
- 9. STAFF REPORTS & CITY COUNCIL MEETING UPDATE
- 10. COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE
- 11. ADJOURNMENT

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



April 9, 2018

#### **Ketchum Planning and Zoning Commission**

Jeff Lamoureux, Chair Erin Smith, Vice-Chair Mattie Mead Neil Morrow Kurt Eggers

### STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION REGULAR MEETING APRIL 9, 2018

**PROJECT:** 180 Northwood Mixed Use Building

**FILE NUMBER:** #17-135 and #18-013

**REPRESENTATIVE:** Michael Doty Associates

**OWNER:** Elisabeth Grabher (Elmar Grabher per Blaine County Assessor, as of 2/15/2018)

**REQUEST:** Discussion regarding modification to Design Review approval

**LOCATION:** 180 Northwood Way

(Northwood Light Industrial AM Lot 5A 28358)

**ZONING:** Light Industrial District Number 2 (LI-2)

**NOTICE:** Noticing is not required

**REVIEWER:** Brittany Skelton, Senior Planner

ATTACHMENTS: A. Findings of Fact and Conclusions of Law - #18-013, including approved plans

#### INTRODUCTION

The Commission approved Design Review for the project 180 Northwood Way Mixed Use Building (application #17-135) on November 13<sup>th</sup>, 2017.

Modification to approved Design Review applications is permitted subject to Ketchum Municipal Code, Title 17, Zoning, Chapter 17.96, Design Review:

#### 17.96.030: AUTHORITY OF THE ADMINISTRATOR AND THE COMMISSION

#### A. Authority Of The Administrator:

- 1. The Administrator is authorized to approve the following exterior modifications and projects, provided they do not conflict with the provisions and requirements of this chapter:
  - a. Minor modifications to projects that have received design review approval by the commission for the duration of a valid design review approval.
  - b. Multi-family residential projects, not located in the Community Core District, with four (4) or less units.
  - c. Changes to exterior finishes including, but not limited to, siding and materials.
  - d. Changes to existing windows or doors.
  - e. Additions of windows or doors.
  - f. Additions under one thousand two hundred (1,200) square feet.
  - g. Accessory structures, including accessory dwelling units.
  - h. Master signage plans.
  - i. Any project located on property that includes mapped floodplain areas or includes areas within the riparian setback.
- 2. The Administrator shall review all design review requests and determine whether a project can be approved by the Administrator or by the commission.
- 3. The Administrator shall determine what application materials and fees are required to approve exterior modifications as described in section 17.96.040 of this chapter.

On February 8<sup>th</sup>, 2018 an Administrative Design Review for minor modifications was approve by staff under application P18-013. The Findings of Fact and Conclusions of Law and accompany set of plans are attached for reference. The approved modifications included revisions to the proposed materials and exterior façades. No changes were proposed to the total floor area, building coverage, setbacks, or building height.

At this time the applicant is considering a reduction of square footage to the building. The applicant's representative is available to answer questions pertaining to the proposed reduction in square footage.

Staff seeks direction from the Commission regarding whether the Commission would like to review and approve a Design Review modification for a reduction in square footage or if staff may approve such a modification administratively.

#### **COMMISSION OPTIONS**

	1.	Allow administrative	modification to	the approved	Design Review
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OR

2. Require the Commission's review and approval of the proposed reduction in square footage

#### **OPTIONAL MOTIONS**

"I MOVE TO ALLOW ADMINISTRATIVE REVIEW OF A REDUCTION IN SQUARE FOOTAGE OF THE 180 NORTHWOOD MIXED-USE BUILDING"

OR

"I MOVE TO REQUIRE COMMISSION REVIEW OF A REDUCTION IN SQUARE FOOTAGE OF THE 180 NORTHWOOD MIXED-USE BUILDING"

#### Attachment A.

Findings of Fact and Conclusions of Law - #18-013, including approved plans

### ADMINISTRATIVE DESIGN REVIEW ZONING CODE TITLE 17 FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION

**PROJECT:** 180 Northwood Mixed-Use Building

**PROJECT #:** P18-013

**OWNER:** Elisabeth Grabher (Elmar Grabher per Blaine County Assessor, as of 2/15/2018)

LOCATION: 180 Northwood Way (Northwood Light Industrial Amended Lot 5A)

**ZONING:** Light Industrial District Number 2 (LI-2)

**REQUEST:** Administrative Design Review

**BACKGROUND:** The applicant received Design Review Approval from the Planning and Zoning

Commission for the construction of a new 10,272 sq ft commercial mixed-use

building at 180 Northwood Way (17-135) on November 13th, 2017. The

applicant submitted minor changes to the approved project to the Planning & Building Department on February 8<sup>th</sup>, 2018. The changes include modifications to the proposed materials and exterior façades. No changes are proposed to

the total floor area, building coverage, setbacks, or building height.

#### **ADMINISTRATIVE FINDINGS**

- The City of Ketchum is a municipal corporation organized under Article XII of the Idaho
  Constitution and the laws of the State of Idaho, Title 50, Idaho Code. Under Chapter 65, Title 67
  of the Idaho Code, the City is required to pass certain ordinances regarding land use, including a
  zoning ordinance.
- 2. Pursuant to Zoning Code Title 17, Section 17.96.030, the Administrator shall have the authority to review and approve Design Review applications for minor projects that do not conflict with the Design Review Standards of 17.96 including minor modifications to projects that have received Design Review approval by the Planning & Zoning Commission.
- 3. The following minor changes to the 180 Northwood Way Mixed-Use building (17-135) as indicated in the revised Design Review submittal dated February 8<sup>th</sup>, 2018 are approved by the Administrator:
  - a. Changes to the exterior materials including modifications to the color scheme. The
    previously proposed Stonewood panels have been replaced with dark gray stucco and
    metal panels.
  - b. Changes to the design of the building facades, which include the addition of 3 windows to the east elevation.
  - c. Changes to the design of the proposed garage doors.

- 4. The proposed design is of quality architectural character and materials.
- 5. The building character is clearly defined by the use of architectural features and utilizes a continuity of materials and colors.
- 6. The proposed new construction of the 180 Northwood Way Mixed-Use Building is consistent with the uses, goals, and policies of the 2014 Comprehensive Plan.
- 7. The project is in conformance with the purpose and dimensional regulations of the LI-2 Zoning District.
- 8. The Administrator finds the proposed changes to be in conformance with the Design Review Standards of Zoning Code Title 17, Chapter 17.96.

#### **CONCLUSIONS OF LAW**

Therefore, this project <u>does</u> meet the standards for approval under Title 17, Chapter 96, City of Ketchum City Code provided the conditions of approval are met. Design Review approval shall expire twelve (12) Months from the date of approval.

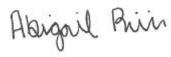
#### **CONDITIONS OF APPROVAL**

- 1. This approval is subject to all conditions specified for Design Review approval of the 180 Northwood Mixed-Use Building (17-135) as approved by the Planning and Zoning Commission on November 13<sup>th</sup>, 2017.
- 2. This approval is specific to the plan set on file at the City of Ketchum dated February 8<sup>th</sup>, 2018.
- 3. All requirements of the Fire, Building, Planning, and Public Works departments of the City of Ketchum shall be met.
- 4. The term of design review approval shall be twelve (12) months from the date that the findings of fact, conclusions of law, and decisions are adopted and approval is granted.
- 5. All Design Review elements shall be completed prior to final inspection/occupancy.
- 6. Any work in the right-of-way will require a right-of-way encroachment permit to be reviewed and approved by the City before installation.
- 7. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and approved prior to the issuance of a Certificate of Occupancy.
- 8. All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
- 9. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

#### **DECISION**

The Administrator <u>approves</u> the Design Review application for minor design changes to the 180 Northwood Way Mixed-Use building, subject to the conditions listed above.

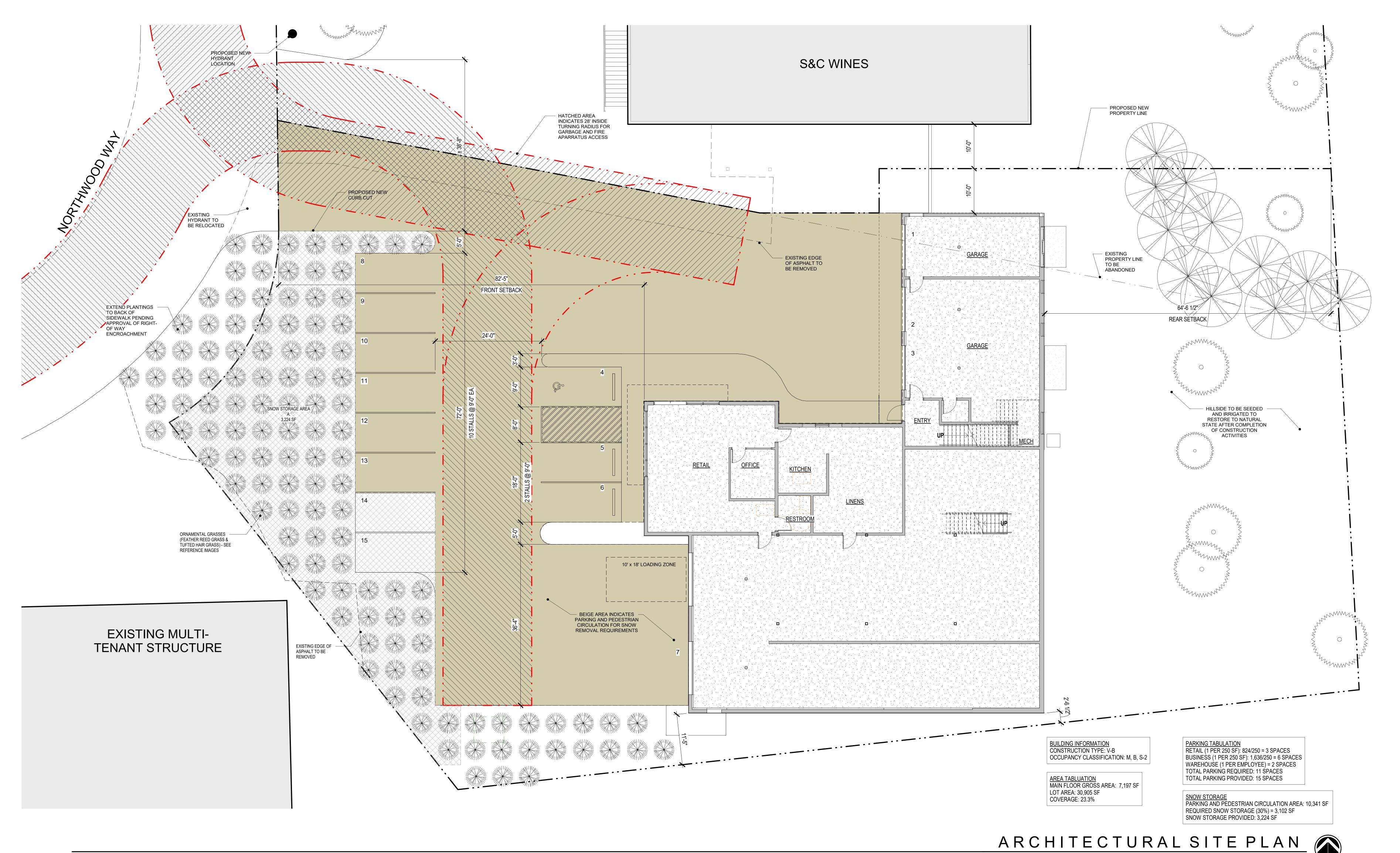
DATED this 15<sup>th</sup> day of February 2018.

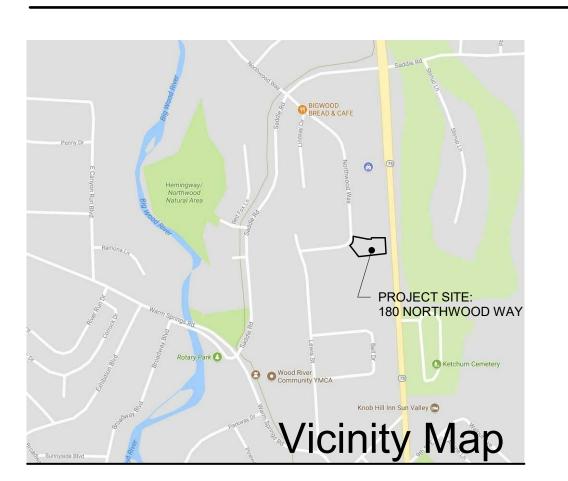


Abby Rivin
Associate Planner, AICP

#### Attachment:

• Revised Design Review Submittal Dated 2/8/2018

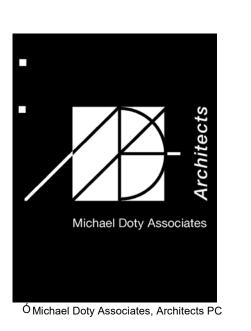


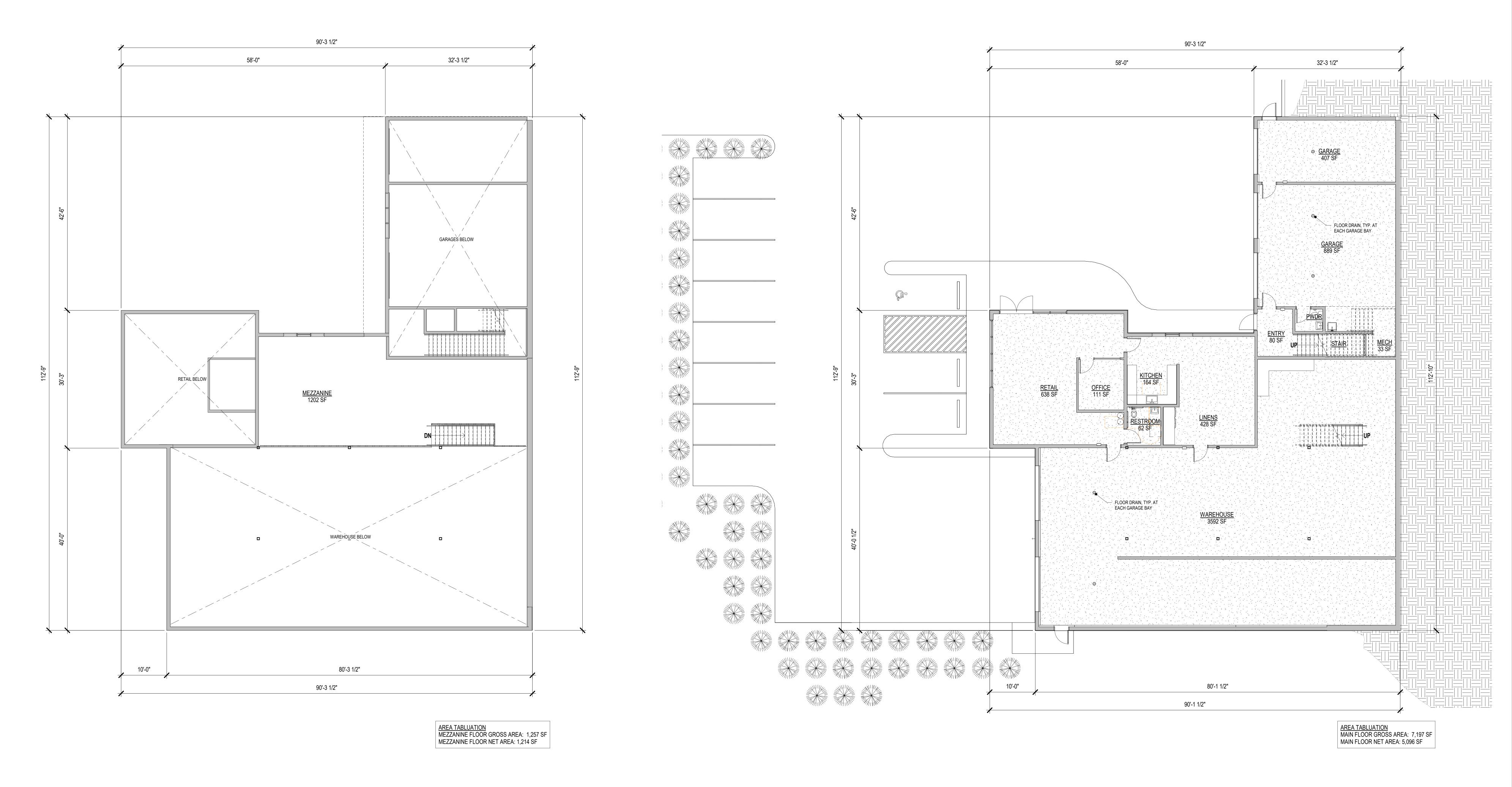




# NORTHWOOD MIXED-USE

180 NORTHWOOD WAY KETCHUM, IDAHO



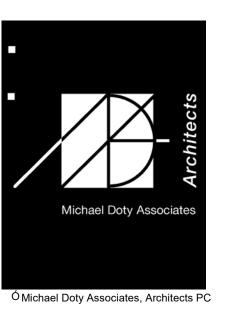


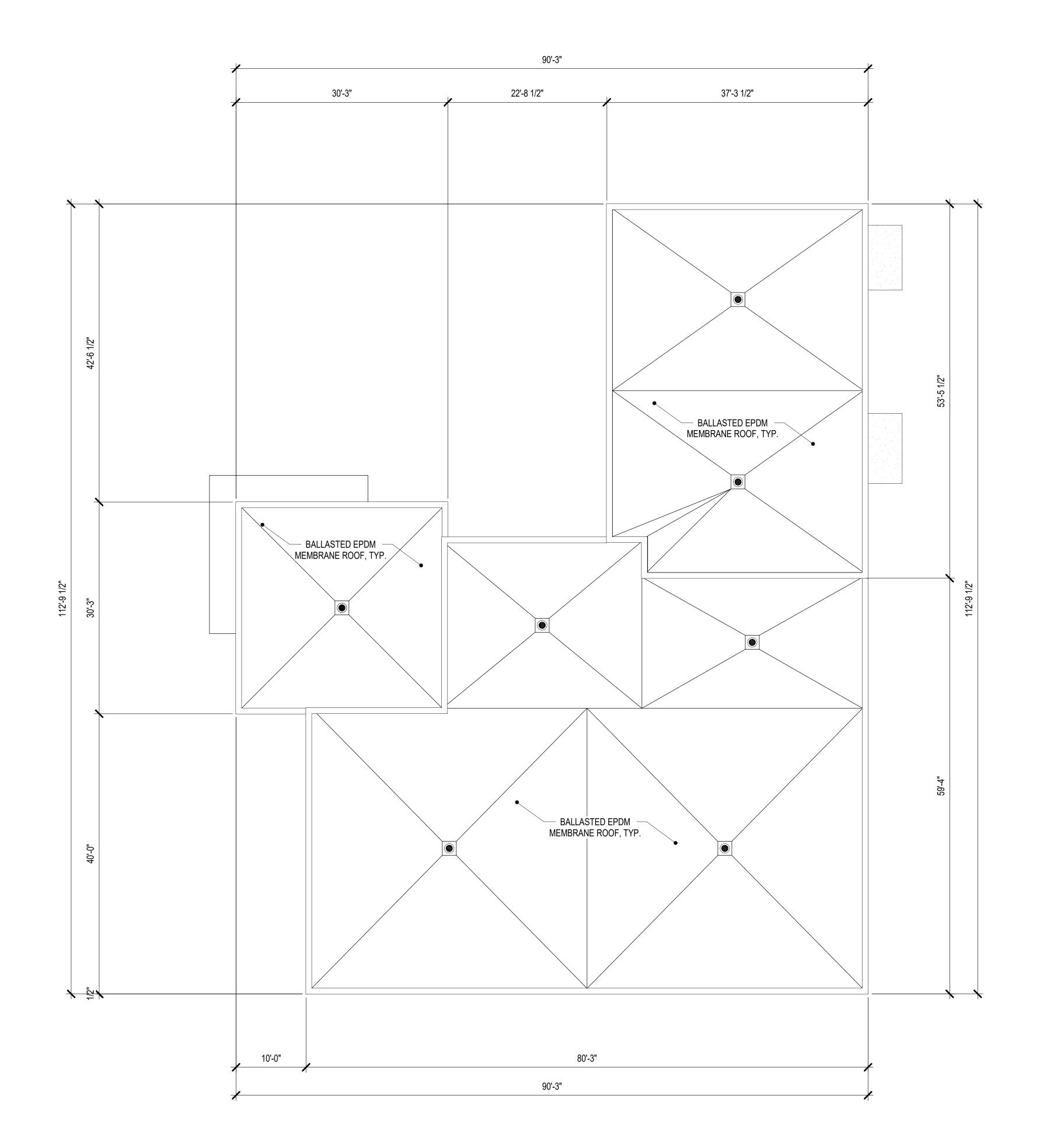
MEZZANINE FLOOR PLAN

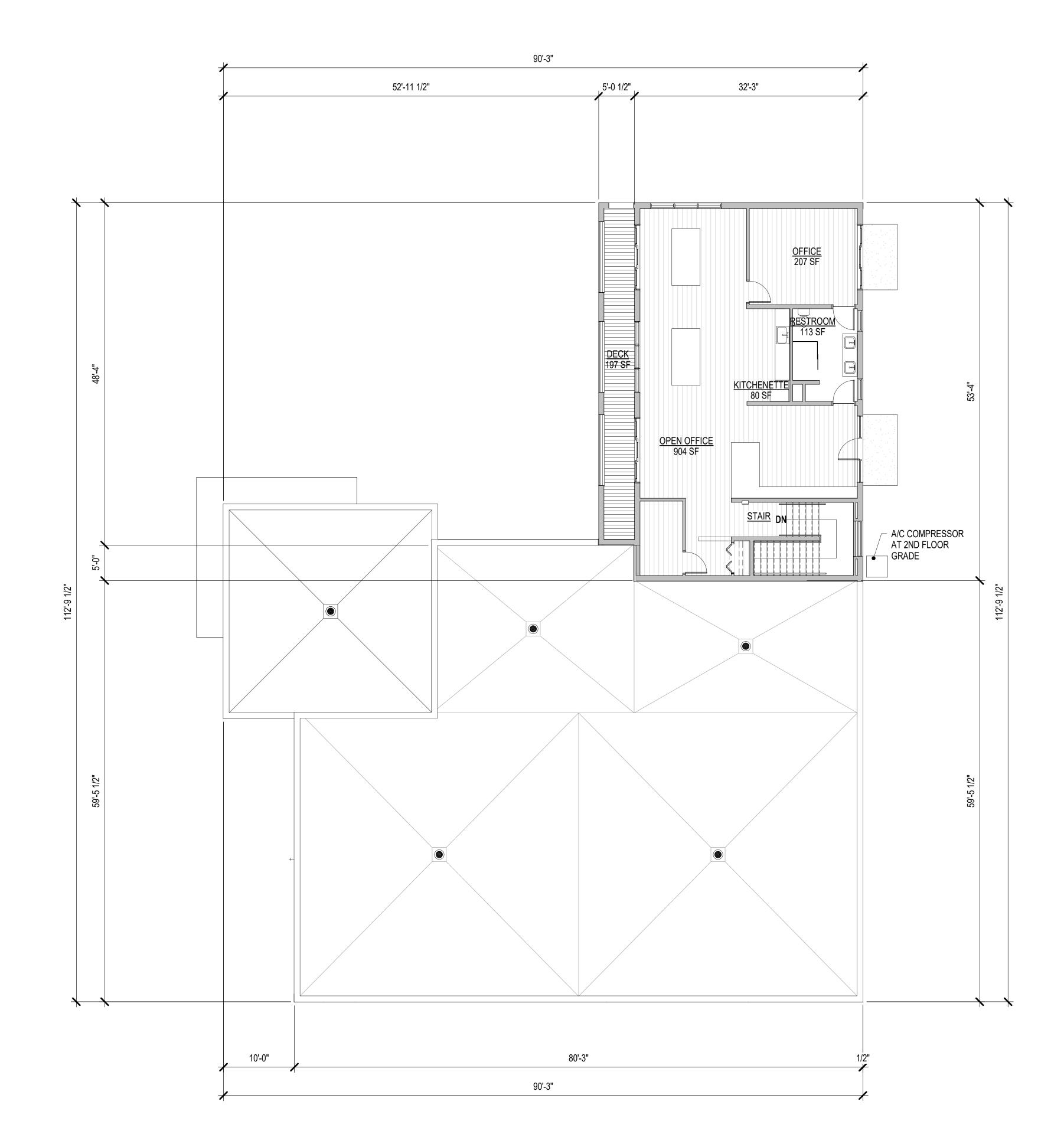


## NORTHWOOD MIXED-USE

180 NORTHWOOD WAY KETCHUM, IDAHO







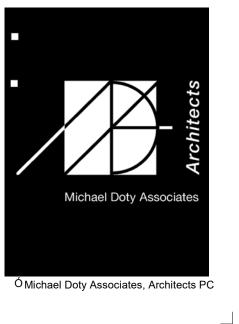
AREA TABLUATION
SECOND FLOOR GROSS AREA: 1,818
SECOND FLOOR NET AREA: 1,609 SF

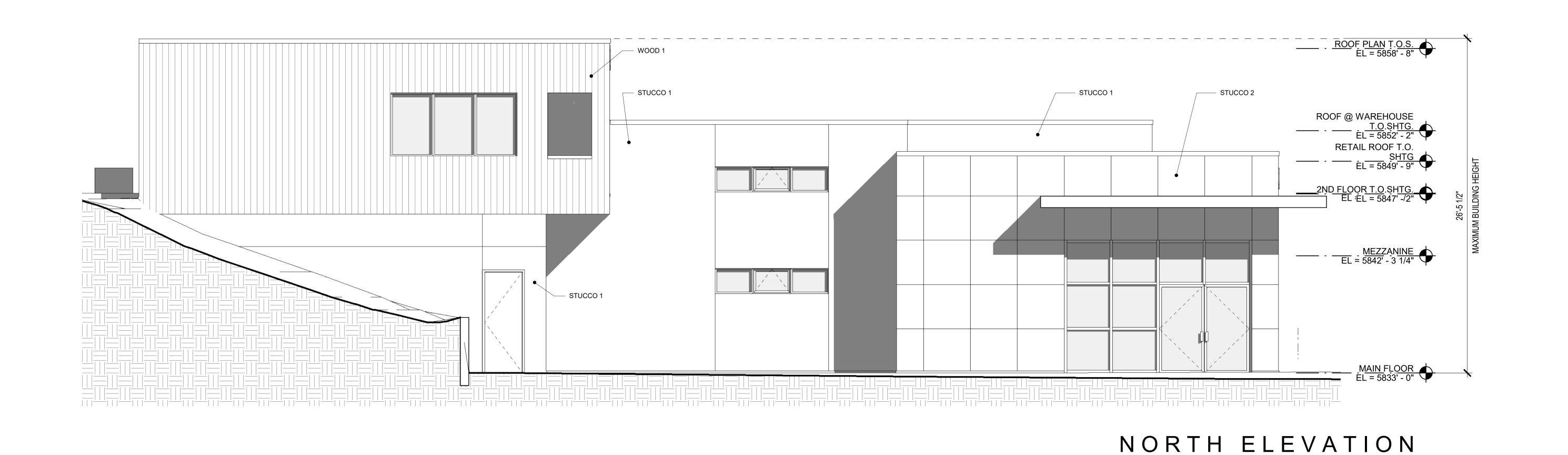
ROOF PLAN

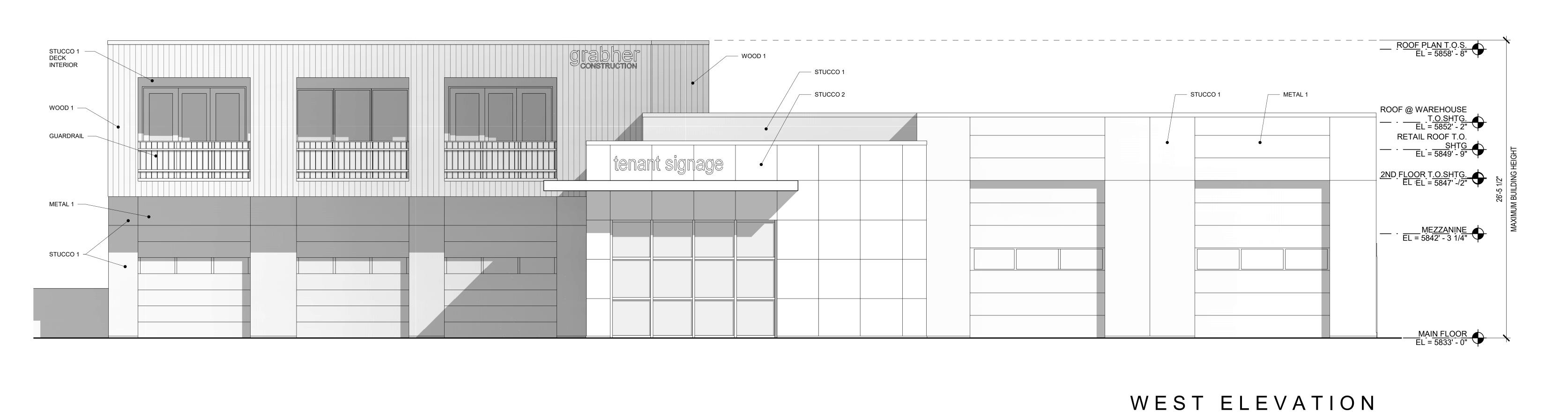




180 NORTHWOOD WAY KETCHUM, IDAHO







EXTERIOR MATERIALS MATRIX
STUCCO 1: ANTIQUE WHITE, SMOOTH
TROWEL (COLOR TO MATCH S&C WINES
BUILDING)
STUCCO 2: DARK GRAY, SMOOTH

WOOD 1: RECLAIMED WOOD SIDING, TRESTLEWOOD THERMAL BROWN LUMBER, 6" WIDE, VERTICAL

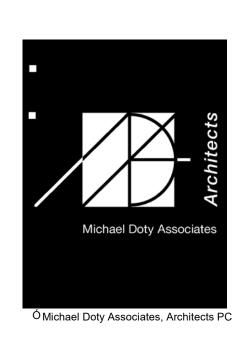
METAL 1: METAL PANELS TO MATCH GARAGE DOORS. GUARDRAIL: BLACKENED STEEL TUBING AND WOOD 1.

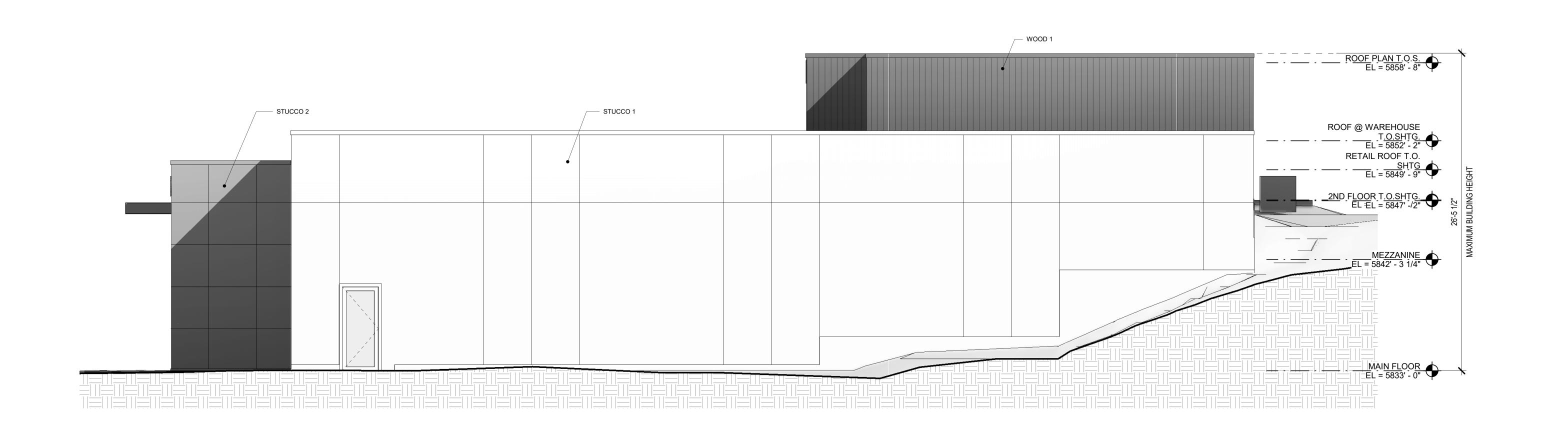
EXTERIOR LIGHT FIXTURES: RECESSED CAN LIGHTS LOCATED IN CANOPY AND OVERHANGS; DARK SKY COMPLIANT; SPEC TBD

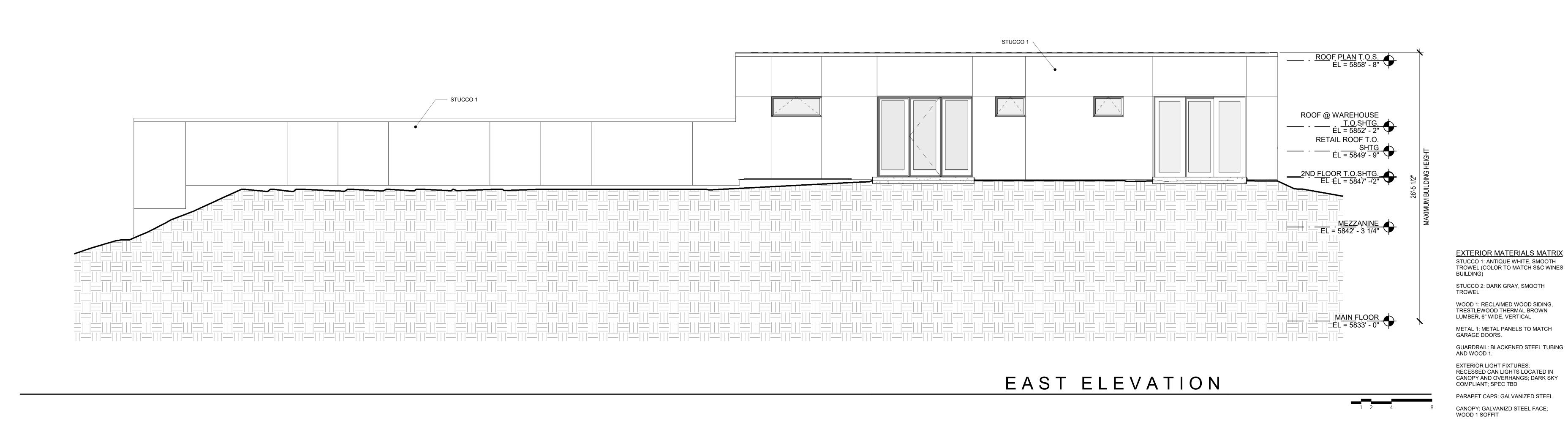
PARAPET CAPS: GALVANIZED STEEL CANOPY: GALVANIZD STEEL FACE; WOOD 1 SOFFIT

NORTHWOOD MIXED-USE

180 NORTHWOOD WAY KETCHUM, IDAHO



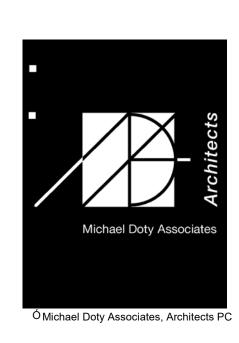




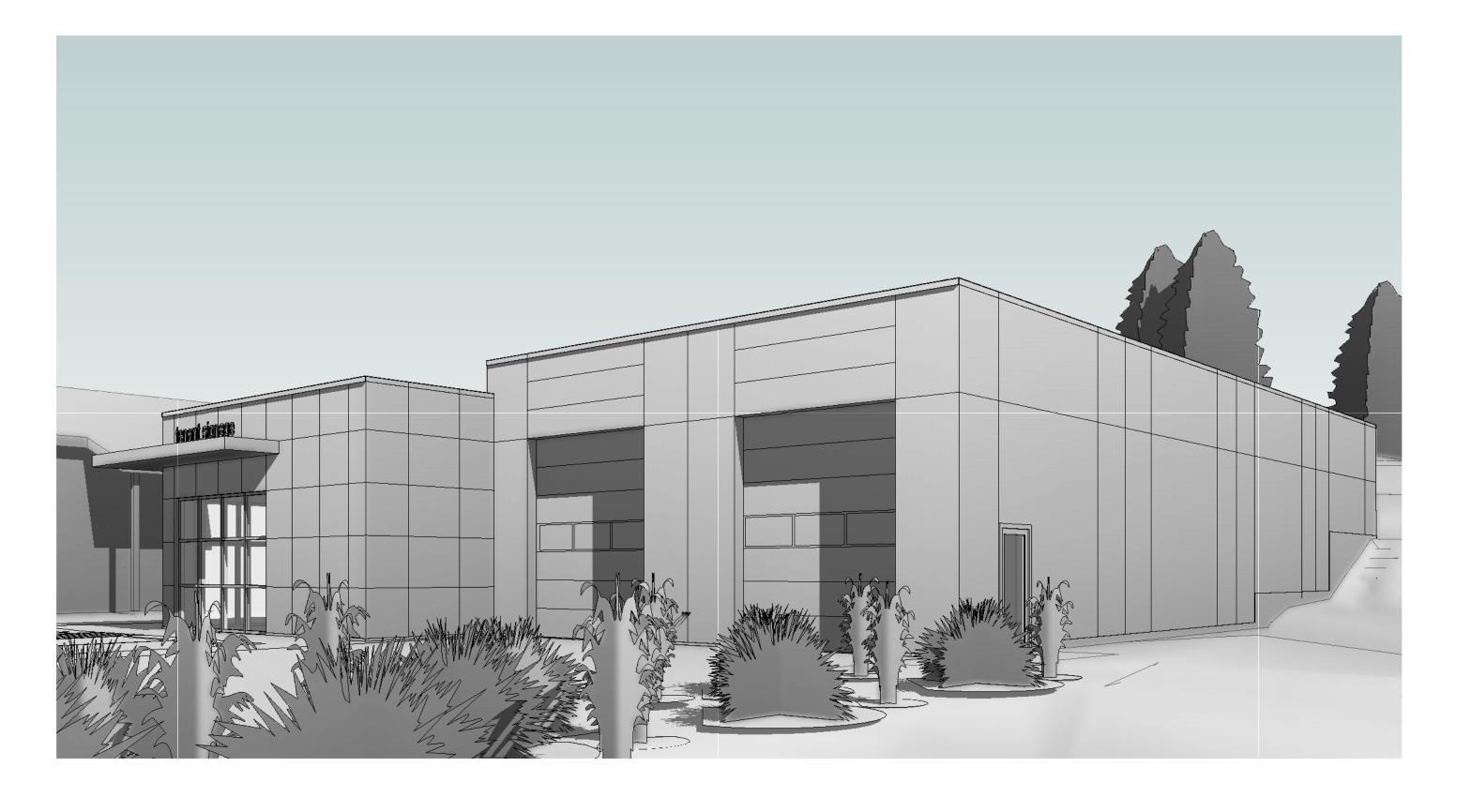
# NORTHWOOD MIXED-USE

SOUTH ELEVATION

180 NORTHWOOD WAY KETCHUM, IDAHO

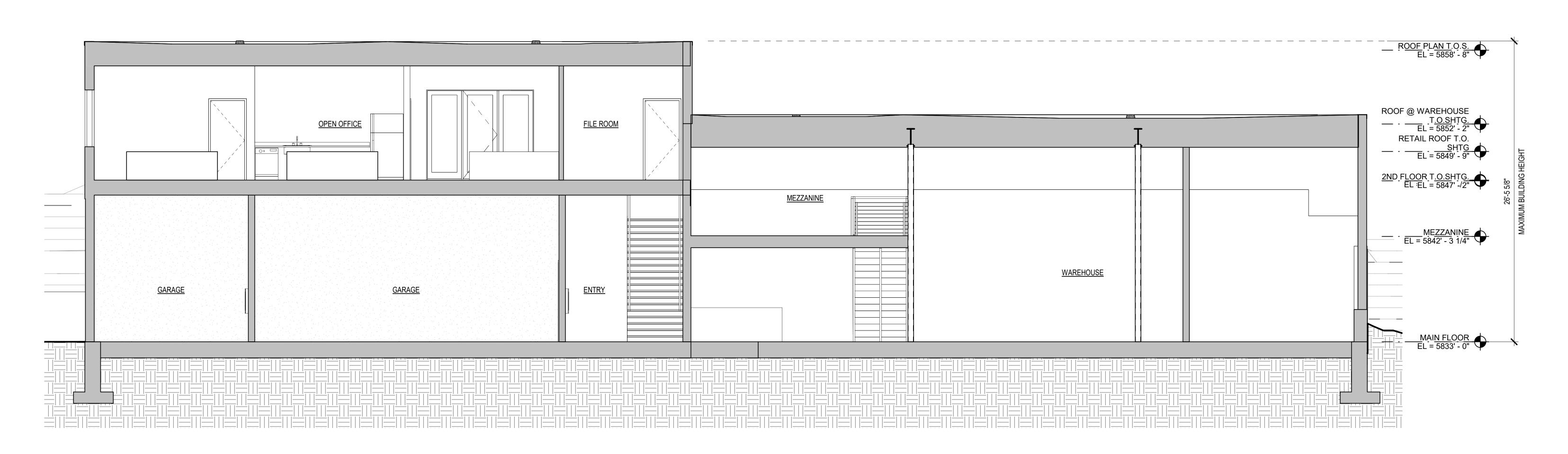






PERSPECTIVE FROM NORTH

PERSPECTIVE FROM SOUTH



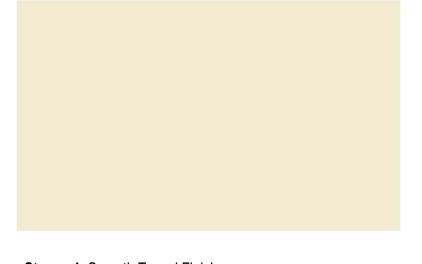
BUILDING SECTION





180 NORTHWOOD WAY KETCHUM, IDAHO

Ó Michael Doty Associates, Architects PC



**Stucco 1**: Smooth Trowel Finish. Color to match S&C Wines Building



**Stucco 2**: Smooth Trowel Finish. Drak Gray



**Storefront Window 1**: Adjacent to Stucco 2- Clear Anodized Aluminum



**Wood 1**: Trestlewood Thermal Brown Lumber, 6" wide



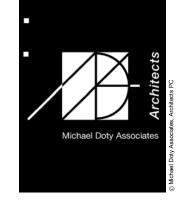
**Metal 1**: Metal panel to match Thermacore 592 Overhead Doors. Color: Industiral Brown

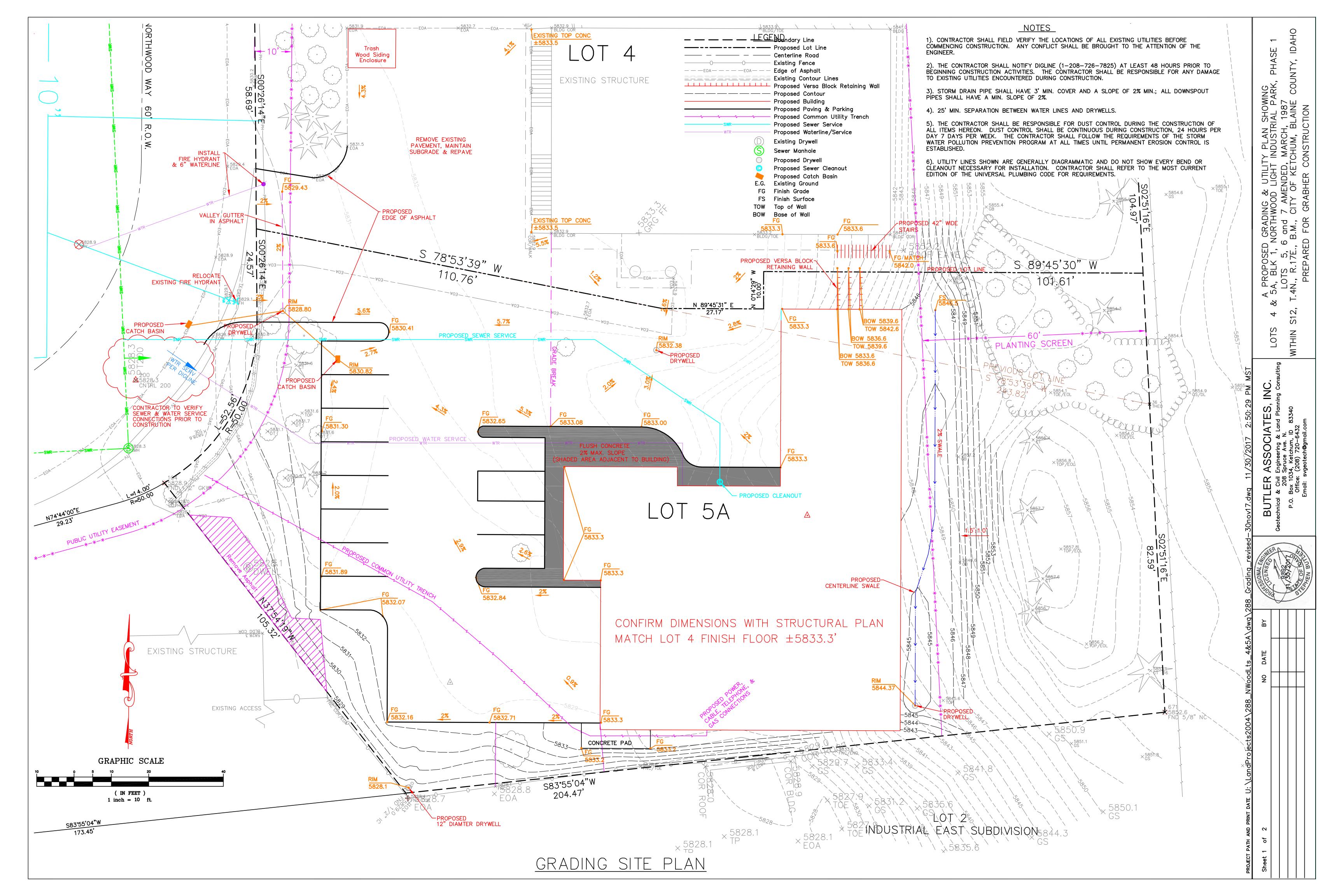


**Window 2**: 2nd floor office windows. Sierra Pacific Aluminum Clad Wood Windows. Color: Antique Bronze



2/8/2018







### STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION REGULAR MEETING OF APRIL 9<sup>th</sup>, 2018

**PROJECT:** Community Library Renovation & Expansion

**FILE NUMBER:** #18-008

**OWNERS:** Community Library Association

**REPRESENTATIVE:** Humphries Poli Architects

**REQUEST:** Design Review approval for renovations, exterior alterations, and a 2,187 sq ft addition

to the Community Library.

**LOCATION:** 415 N. Spruce Avenue

(Lot 1B, Block 89, Ketchum Townsite)

**NOTICE:** Notice was mailed to adjacent property owners on March 14<sup>th</sup>, 2018.

**ZONING:** Community Core Urban Residential Sub-district (CC-C)

**REVIEWER:** Abby Rivin, Associate Planner

#### **BACKGROUND:**

The applicant has requested Design Review approval for renovations, exterior alterations, and an addition to the Community Library, which is located on Lot 1B of Block 89, Ketchum Townsite. The Planning and Zoning Commission reviewed the subject Design Review application at the March 27<sup>th</sup>, 2018 Special Meeting and moved to continue review to a date certain of April 9<sup>th</sup>, 2018 in order to conduct a site visit. The subject lot is 53,598 sq ft and is located within the Urban Residential Sub-district of the Community Core (CC-C). The applicant is the Community Library Association, represented by Humphries Poli Architects. Exterior alterations include modifications to the entrances of the main library and children's library as well as new landscaping, which incorporates plazas, a discovery garden, fire pit, and a rock garden. The new addition will accommodate a young adult area, meeting room, game/study area, and an expanded connection between the main library and the children's library. Public improvements include replacing the existing sidewalk, curb, and gutter on Walnut Avenue, Fourth Street, and Spruce Avenue.

#### **ANALYSIS:**

Staff recommends approval of the Design Review application for the Community Library Renovation & Expansion project. A full analysis and explanation of this recommendation is detailed within the Staff Report.

The outstanding action items identified in the March 27<sup>th</sup>, 2018 Staff Report for the Community Library Renovation & Expansion project have been addressed by the applicant as follows:

In order to approve the proposed siting and species of the street trees on 4<sup>th</sup> Street, the Planning & Building Department requires a Sidewalk Easement Agreement to ensure safe passage of pedestrian and bicycle traffic. The street trees and easement agreement must be reviewed and approved by the Public Works Department and the City Arborist.

The applicant has provided a revised Site Plan (Sheet L1.0) indicating the location of the proposed sidewalk easement. Staff has added two recommended conditions of approval pertaining to the proposed street trees on 4<sup>th</sup> Street: (1) the siting and species of the proposed street trees requires review and approval by the Public Works Department and City Arborist prior to issuance of a building permit for the project and (2) a sidewalk easement agreement between the City of Ketchum and the property owner must be signed and recorded prior to issuance of a Certificate of Completion for the project.

The siting and design of the relocated fire hydrant at the corner of 4<sup>th</sup> Street and Walnut must be submitted to the Planning & Building Department to be reviewed and approved by the Fire Code Official.

The applicant has indicated the location of the relocated fire hydrant on the revised Site Plan (Sheet L-1.1). Staff has added a recommended condition of approval that specifications for the fire hydrant at the corner of 4<sup>th</sup> Street and Walnut Avenue must be reviewed and approved by the Fire Code Official prior to issuance of a building permit for the project.

The applicant must provide calculations for snow storage. Ketchum City Code §17.96.060(H) requires that snow storage areas shall not be less than 30% of the improved parking and pedestrian circulation areas. In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.

The applicant has provided a snow melt system at the entrances of both the children's library and the main library as well as the sidewalk adjacent to the parking lot and the entry plaza along Spruce Avenue. The pedestrian circulation areas proposed to include a snowmelt system are outlined in red on revised Site Plan (Sheet L-1.0). The snow in the parking lot will be hauled off-site. The snow located in other hardscape areas (Discovery Garden, plaza adjacent to the children's library, Hemingway Veranda, Contemplative Rock Garden, and Spin's Garden) will be stored on site.

#### **COMPREHENSIVE PLAN ANALYSIS:**

The Community Library Renovations and Expansion project is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

**Table 1. Comprehensive Plan Analysis** 

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
	Future Land Use
Public/Quasi-Public	The Public/Quasi-Public category includes uses related to community services, such as schools, libraries, community centers and gardens, arts/culture, hospitals, government, utilities, cemeteries and places of worship.
	Community Design and Neighborhoods
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.

Parks, Recreation, and Open Space				
Policy OS-1.4 Public	Support improvements to public streets, parking lots, and plazas that provide spaces for street			
Plaza Space	fairs, festivals and other gatherings.			
Policy OS-1.5 Public	Promote the development of public gathering spaces throughout the City as part of public and			
1				
Gathering Spaces	private development.			
	Arts and Culture			
Policy ART-1.1	Encourage the development of accessible cultural facilities (indoor and outdoor) and programs			
Diverse Range of	that will provide a diverse range of performing and visual arts activities.			
<b>Cultural Facilities</b>				
and Programs				
	High Performing Community			
Policy HI-2.1	Coordinate with the community's school district, private schools, regional and statewide			
Learning Community	continuing education institutions, library, hospital, and others to allow growth and learning in			
	the community. Also recognize and encourage more of the many informal learning			
	opportunities that are sponsored by a wide range of organizations.			
	Mobility			
Policy M-1.3	Encourage compact development, mixed uses, and additional housing density in the			
Compact	downtown and in high-activity areas. This will increase opportunities for walking, bicycling and			
Development and	transit ridership and reduce vehicle traps.			
Housing Downtown	·			
and in Activity				
Centers				

**Table 2. Requirements for All Applications** 

	City Department Comments					
C	Compliant					
Yes	No	N/A	City Code City Standards and Staff Comments			
$\boxtimes$			17.96.040	17.96.040 Complete Application The applicant must provide a detailed plan and sidewalk easement agreement for the proposed street trees as well as specifications for the relocated fire hydrant.		
$\boxtimes$			-	Police Department: No comment at this time.		
			Street and Wa building permi It is the Gener #1125 requirer of Building Per work stoppage The above pro Building and Final fronting their background vehicle parking access to any maintained cless.	must provide specifications for the relocated fire hydrant at the intersection of Fourth Inut Avenue to be reviewed and approved by the Fire Code Official prior to issuance of a t for the project.  al Contractor's responsibility to understand and adhere to all Fire Protection Ordinance ments in addition to any and all other City of Ketchum requirements in effect at the time mit issuance. Failure to comply with all local ordinances and codes may result in project as well as criminal penalties.  ject shall meet all 2012 International Fire Code requirements in addition to specific City		

		The existing required fire sprinkler system shall be modified by a licensed fire sprinkler contractor to meet the current requirements of NFPA 13. All areas are required to be covered with fire sprinklers. Relocation of "Fire Department Sprinkler Connections" shall be approved prior to construction.
		The appropriate keys, for emergency fire department access, shall be provided and installed in the existing Knox box.
		Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.
		The existing required monitored alarm system shall be modified by a licensed fire alarm contractor to meet the current requirements of NFPA 72 and Ketchum Ordinance #1125.
		An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
		Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
		Streets Department:  The construction management plan shall be revised to show specifications and a scaled
$\boxtimes$		<ul> <li>The construction management plan shall be revised to show specifications and a scaled drawing for the barricades to be placed within the right-of-way. Temporary traffic control signs must be installed to direct motorized, bicycle, and pedestrian traffic.</li> <li>The project requires review and approval of a Temporary Use of Right-of-Way Permit.</li> <li>The maximum sidewalk cross slope is 2% and the recommended slope is 1.75%. As the City has adopted ISPWC standards, the plans indicating the sidewalk cross slope shall be modified to 1.75% +/25% prior to issuance of a building permit for the project.</li> <li>The drainage plan as well as drywell specifications shall be reviewed and approved by the Public Works Department prior to issuance of a building permit for the project.</li> <li>Building permit plans shall provide specifications for the ADA compliant ramps at the sidewalk corners.</li> </ul>
		<ul> <li>The proposed curb on Fourth Street should match the design of the existing curb west of Walnut Avenue (valley gutter) or a 6" rolled curb. The applicant has submitted revised 6" vertical curb to be reviewed and approved by the Streets Department prior to issuance of a building permit for the project.</li> <li>Truncated domes shall be cast iron.</li> </ul>
		Utilities:
$\boxtimes$		<ul> <li>All drywells and non-potable water lines must maintain legal separation from potable water lines.</li> <li>The proposed plans for fire riser room, which is where the water meter for the main library is sited, shall be reviewed and approved by the Utilities Department.</li> <li>During the relocation of the fire hydrant, the Children's Library will be without water as well as the fire suppression system.</li> </ul>
		Parks/Arborist:
$\boxtimes$		<ul> <li>The siting and species of the proposed street trees on 4<sup>th</sup> Street shall be reviewed and approved by the City Arborist prior to issuance of a building permit for the project. The Sidewalk Easement Agreement between the City of Ketchum and the property owner shall be signed and recorded prior to issuance of a Certificate of Completion for the project.</li> </ul>
	_	ADA Consultant:
$\boxtimes$		The following specifications and action items must be addressed by the applicant prior to issuance of a building permit for the project:

Parking: The accessible parking requires curb cuts for the access aisle as well as slope and elevations indicated at 2% or less in all directions. Entrances: At the Spruce entrance, the existing ramp is not noted on the submittal drawings. Will the existing ramp be modified with this proposal? If modifications are proposed, confirm an accessible path to the entry landing as well as the proposed slope. What is the accessible route of travel at the Walnut Avenue entrance? Will accessible parking on Walnut Avenue be provided to access the Children's Library? Sidewalk: Confirm a consistent flow of traffic with a 36" minimum width for one direction as well as an unobstructed passageway. Stone Slab Benches: Confirm accessible wheelchair access and a 36" x 48" space adjacent to the end of each bench. Hemingway Patio: Stairs are noted adjacent to the patio. Will a wheelchair accessible access be provided? Ramp: Provide the elevation of the ramp landing as well as the dimensions (5' x 5' minimum) and confirm handrails. Fire Pit: Confirm accessible pathway to access the fire pit for wheelchair or mobility device Restrooms: Provide room dimensions and confirm that the transfer area is free from protruding objects. **Building:**  $\boxtimes$ The building must meet 2012 International Building Code. **Planning and Zoning:**  $\boxtimes$ Comments are denoted throughout the Staff Report.

#### **Table 3: Zoning Standard Analysis**

				Compliance with Zon	ing Standards			
Co	Compliant			Standard	s and Staff Comme	ents		
Yes	No	N/A	Guideline City Standards and Staff Comments					
$\boxtimes$			17.12.040	Minimum Lot Area				
			Staff Comments	Required: 5,500 square feet				
				Existing: 53,598 square feet				
				· · · ·	indicates the lot are	ea is 54,450 sq f	<del>t)</del>	
$\boxtimes$			17.124.040	Floor Area Ratios and Com				
			Staff Comments	Permitted in Community Co	ore Urban Resident	ial Sub-district	(CC-C)	
				Permitted Gross FAR: 1.0				
				Proposed:				
				<u>                                   </u>	Floor Area			
					Proposed (sq	Existing (sq		
					ft)	ft)		
				Lower Level	3,928	3,856		
				Main Floor	23,834	21,719		
				Mezzanine	881	881		
				Total Floor Area	28,643	26,456		
				Proposed FAR FAR: 28,643 sq ft gross floor	r aroa /52 500 ca ft	lot aron- 52 54	1.D	
$\boxtimes$	П		17.12.030	Minimum Building Setback		iot ureu=.55 FA	in	
				<u> </u>	<b>.</b>			
			Staff Comments	Required:	Ct			
				Front Main Library (Spruce S	,	~ ~		
				Front Children's Library (Wa Side (Fourth Street): 0'	ımut Avej: 5 üverağ	<i>je</i>		
				Side (Fifth Street): 0'				
	1	1		Jide (rijeri Serece). 0				

			Cantilevered decks and overhangs: 0'
			Proposed:
			Front Main Library (Spruce Street): 5' average
			Front Children's Library (Walnut Ave): 40'-9"
			Side (Fourth Street): N/C Side (Fifth Street): N/C
$\boxtimes$		17.12.030	Building Height
		Staff Comments	Maximum Permitted: 42'
		,	Proposed: 35'
$\boxtimes$		17.125.030.H	Curb Cut
		Staff Comments	Required:
			A total of 35% of the linear footage of any street frontage can be devoted to access to
			off street parking.
			Proposed: 12%
$\boxtimes$		17.125.40	Parking Spaces
		Staff Comments	§17.125.020(A)(2). Any existing structure or use that is expanded or enlarged.
			Additional off street parking spaces shall be required only to serve the enlarged or
			expanded area, not the entire building or use.
			17.125.040 Off Street Parking and Loading Calculations:
			Non-residential, in zoning districts other than LI-1, LI-2, and LI-3: 1 parking space per
			1,000 gross square feet.
			Ketchum City Code defines the library as a "Civic Building." A "Place of Assembly" is
			defined as the use of land for a meeting place where persons gather for the purposes of attending a civic event. Staff has defined additions to the Community Library as an
			assembly use.
			ussembly use.
			C. Exceptions:
			e. The first five thousand five hundred (5,500) gross square feet for new assembly
			uses.
			Required:
			The proposed new addition of 2,187 sq ft is exempt as it is less than 5,500 sq ft.
			Library is also included in Katchura City Code's definition of a cultural facility. The
			Library is also included in Ketchum City Code's definition of a cultural facility. The
			parking ordinance does not provide exemptions for cultural facilities. In this case, the provided parking is still compliant. The library requires a total of 29 parking spaces.
			The applicant has provided 17 on-site and the applicant could qualify for up to 38 on
			street parking area due to the size of the lot. 10 spaces are provided on Spruce St, 7
			spaces on Walnut Avenue, 13 spaces are provided on 4th Street, and 5 are provided
			on 5th St for a total of 35 on street parking spaces, which exceeds the 12 additional
			parking spaces required.
			Proposed:
			17 parking spaces, including 2 ADA parking spaces. 6 existing spaces are proposed to
			be removed from the existing Children's Library parking lot.
		17.18.130 & 17.18.20	Zoning Matrix
		Staff Comments	17.18.130: Community Core District
			A. Purpose: The purpose of the CC community core district is to promote a compact and
			cohesive center of commerce and culture, to promote an attractive and safe pedestrian
			environment which includes sidewalks, gathering spaces, streetscape amenities and
			landscaping, to retain the unique small town scale and character and to encourage buildings
			which respect Ketchum's historical and geographic context while providing diversity.  Compatible mixed uses including retail, office, residential and cultural uses are encouraged.
			Sompatible mined ases melading retail, office, residential and cultural ases are encouraged.
		1	

Commercial uses are concentrated in the CC district which is consistent with the city's comprehensive plan and the downtown master plan.
17.08.020 – Definitions  ASSEMBLY, PLACE OF: The use of land for a meeting place where persons gather together for purposes of attending civic, social, religious functions, recreational events or entertainment performances on a regular or recurring basis including, but not limited to, religious institutions, banquet facilities, funeral homes, theaters, conference centers, stadiums, or indoor or outdoor recreational facilities, but excludes a "cultural facility" as defined by this chapter. A gathering of less than twenty five (25) persons shall not be considered a place of assembly provided the gathering is accessory and incidental to the principal use.
<b>CIVIC BUILDING</b> : Buildings of, relating to, or belonging to a city or citizenship; municipal or civil including, but not limited to, city hall, post office, public library, public schools and public recreation centers.
<b>CULTURAL FACILITY</b> : An institution or the use of land for the display, preservation, or exhibition of art, scientific, cultural, or historical materials including, but not limited to, museums, libraries or art galleries.

**Table 4: Design Review Standards for all projects** 

	Design Review Requirements				
	IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and Staff Comments	
$\boxtimes$			17.96.060(A)(1)	The applicant shall be responsible for all costs associated with providing a	
			Streets	connection from an existing city street to their development.	
			Staff Comments	The property is located on Block 89 of Ketchum Townsite between Fifth and Fourth	
				Streets and Walnut and Spruce Avenues. This standard has been met.	
$\boxtimes$			17.96.060(A)(2)	All street designs shall be approved by the City Engineer.	
			Streets		
			Staff Comments	The applicant has proposed raising the grade and improving the north side of Fourth	
				Street. The Streets Department has reviewed and approved the preliminary design. Final	
				design of the street and sidewalk improvements shall be reviewed and approved by the	
				Public Works Department prior to issuance of a building permit for the project.	
$\boxtimes$			17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall	
				install sidewalks as required by the Public Works Department.	
			Staff Comments	The applicant has proposed replacing the existing sidewalk, curb, and gutter along	
				Walnut Avenue, Fourth Street, and Spruce Avenue.	
$\boxtimes$			17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City	
				Engineer may reduce or increase the sidewalk width and design standard	
				requirements at their discretion.	
			Staff Comments	The proposed sidewalk design requires a Sidewalk Easement Agreement to be signed	
				and recorded prior to issuance of a Certificate of Completion for the project.	
		$\boxtimes$	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met:	
				a. The project comprises an addition of less than 250 square feet of	
				conditioned space.	
				b. The City Engineer finds that sidewalks are not necessary because of existing	
				geographic limitations, pedestrian traffic on the street does not warrant a	
				sidewalk, or if a sidewalk would not be beneficial to the general welfare	
				and safety of the public.	
			Staff Comments	N/A.	
$\boxtimes$			17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the	
				subject property line(s) adjacent to any public street or private street.	
			Staff Comments	The length of the sidewalk complies with this requirement but the proposed design	
				requires a Sidewalk Easement Agreement.	

$\boxtimes$			17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to
				provide safe pedestrian access to and around a building.
			Staff Comments	The proposed sidewalks enhance pedestrian connectivity. A Sidewalk Easement
				Agreement is required in order to ensure safe passage of pedestrian and bicycle traffic.
				The siting and species of the proposed street trees must be reviewed and approved by
				the Public Works Department and the City Arborist prior to issuance of a building
				permit for the project
		$\boxtimes$	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above
				described improvements, which contributions must be segregated by the City and
				not used for any purpose other than the provision of these improvements. The
				contribution amount shall be one hundred ten percent (110%) of the estimated costs
				of concrete sidewalk and drainage improvements provided by a qualified contractor,
				plus associated engineering costs, as approved by the City Engineer. Any approved
				in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			Staff Comments	N/A, Staff does not recommend a voluntary cash contribution in-lieu of improvements
				for this project.
$\boxtimes$		П	17.96.060(C)(1)	All storm water shall be retained on site.
			Staff Comments	The applicant has satisfied this requirement. All storm water shall be retained on site
			17.96.060(C)(2)	The applicant has satisfied this requirement. All storm water shall be retained on site.
$\boxtimes$			17.90.000(C)(2)	Drainage improvements constructed shall be equal to the length of the subject
			Staff Comments	property lines adjacent to any public street or private street.
			Stujj Comments	See above Staff comment for Ketchum City Code §17.96.060(C)(1). All drainage
			47.00.000(6)(2)	improvements meet this requirement.
		$\boxtimes$	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary,
				depending on the unique characteristics of a site.
			Staff Comments	Additional drainage improvements are not recommended at this time.
$\boxtimes$			17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			Staff Comments	See above Staff comment for Ketchum City Code §17.96.060(C)(1). The proposed
				drainage facilities satisfy this requirement. The drainage plan and drywell
				specifications shall be reviewed and approved by the Public Works Department prior to
				issuance of a building permit for the project.
$\boxtimes$			17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the
				sole expense of the applicant.
			Staff Comments	The applicant is aware of this requirement and the plans show all utility locations. See
				Table 1 for Staff comment from the Utilities Department.
$\boxtimes$			17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines
				within the development site shall be concealed from public view.
			Staff Comments	All utilities shall be located underground and concealed from public view. See Table 1
				for Staff comment from the Utilities Department.
$\boxtimes$			17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and
				install two (2") inch SDR11 fiber optical conduit. The placement and construction of
				the fiber optical conduit shall be done in accordance with city of Ketchum standards
				and at the discretion of the City Engineer.
			Staff Comments	The applicant is aware of this requirement and will comply with these standards.
$\boxtimes$			17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the
		—		townscape, surrounding neighborhoods and adjoining structures.
			Staff Comments	Exterior materials will match the existing structure and include wood siding, board
				formed concrete, wood columns, and windows with curtain wall glazing.
		$\boxtimes$	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where
		EN EN		applicable. A significant landmark is one which gives historical and/or cultural
				importance to the neighborhood and/or community.
			Staff Comments	N/A. There are no identified landmarks on the property.
		$\square$	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design
				and use similar material and finishes of the building being added to.
			Staff Comments	N/A.
	1	1		1970

X		17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
		Staff Comments	The project enhances the entryways to the main library as well as the children's library.
		47.00.000(7)(0)	Unobstructed pedestrian access is provided to and from the building.
$\boxtimes$		17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
		Staff Comments	The facades incorporate horizontal panel siding, windows, board formed concrete, and
			wood columns to provide undulation and relief and to reduce the appearance of bulk
			and flatness. The landscape design including the plazas and gardens will provide
			variation and visual interest.
$\boxtimes$		17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
		Staff Comments	The proposed materials, colors, and signing of the project satisfy this requirement. The
			proposed materials for the expansion and renovation project match the existing
			exterior of the Community Library.
X		17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall
			match or complement the principal building.
		Staff Comments	The landscape features including the plantings, gardens, plazas, and site walls
			complement the library and will provide the community with unique outdoor spaces to
			enjoy.
$\boxtimes$		17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk
			and flatness.
		Staff Comments	The proposed elevation views provided by the applicant show that all building walls
		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	provide undulation and relief, serving to reduce the appearance of bulk and flatness at
			all façades. The applicant is proposing a variation in architectural features along all
			façades, which serves to provide depth and reduce the appearance of bulk and
			flatness.
$\boxtimes$		17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
		Staff Comments	The main library is oriented towards Spruce Avenue and the children's library is
		Stuff comments	oriented towards Walnut Avenue.
	<del>                                     </del>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and
$\boxtimes$		17.50.000(1)(7)	located off alleys.
		Staff Comments	Sheet A2.1 of the submittal indicates that the dumpster will be screened with a metal
			and wood enclosure.
		17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or
$\boxtimes$		27.50.000(1.7(0)	snow to slide on areas where pedestrians gather and circulate or onto adjacent
			properties.
		Staff Comments	• •
		Stajj comments	The applicant shall install snow retention devices on the roof as necessary to prevent
<u> </u>			
		17.96.060(G)(1)	snow from sliding on areas where pedestrians gather.
$\boxtimes$		17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing
			Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
		17.96.060(G)(1)  Staff Comments	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks
		Staff Comments	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.
			Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across
		Staff Comments	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel
		Staff Comments 17.96.060(G)(2)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
		Staff Comments  17.96.060(G)(2)  Staff Comments	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.  N/A
		Staff Comments 17.96.060(G)(2)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.  N/A  Traffic shall flow safely within the project and onto adjacent streets. Traffic includes
		Staff Comments  17.96.060(G)(2)  Staff Comments	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.  N/A  Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to
		Staff Comments  17.96.060(G)(2)  Staff Comments  17.96.060(G)(3)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.  N/A  Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
		Staff Comments  17.96.060(G)(2)  Staff Comments	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.  N/A  Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.  The Community Library is accessed from Spruce Avenue and traffic flows safely into
		Staff Comments  17.96.060(G)(2)  Staff Comments  17.96.060(G)(3)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.  N/A  Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.  The Community Library is accessed from Spruce Avenue and traffic flows safely into and out of the parking lot The City requires a Sidewalk Easement Agreement in order
		Staff Comments  17.96.060(G)(2)  Staff Comments  17.96.060(G)(3)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.  N/A  Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.  The Community Library is accessed from Spruce Avenue and traffic flows safely into and out of the parking lot The City requires a Sidewalk Easement Agreement in order to ensure safe passage of pedestrian and bicycle traffic to be signed and recorded prior
		Staff Comments  17.96.060(G)(2)  Staff Comments  17.96.060(G)(3)  Staff Comments	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.  N/A  Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.  The Community Library is accessed from Spruce Avenue and traffic flows safely into and out of the parking lot The City requires a Sidewalk Easement Agreement in order
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		Staff Comments  17.96.060(G)(2)  Staff Comments  17.96.060(G)(3)  Staff Comments	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.  The existing pedestrian and bicycle access connects with adjacent, existing sidewalks and pathways.  Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.  N/A  Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.  The Community Library is accessed from Spruce Avenue and traffic flows safely into and out of the parking lot The City requires a Sidewalk Easement Agreement in order to ensure safe passage of pedestrian and bicycle traffic to be signed and recorded prior to issuance of a Certificate of Completion for the project.  Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line

	1	1	S. 55 S.	
			Staff Comments	The applicant has proposed maintaining the existing curb cut along Spruce Avenue.
				The Public Works Department has reviewed and approved the entrance to the parking
				lot.
$\boxtimes$			17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage
				trucks and similar service vehicles to all necessary locations within the proposed
				project.
			Staff Comments	Emergency and service vehicles can access the site 4 <sup>th</sup> St, 5 <sup>th</sup> St, Walnut Ave, and
				Spruce Ave, providing unobstructed access for emergency vehicles, snowplows, and
				garbage trucks.
$\boxtimes$			17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved
23	_			parking and pedestrian circulation areas.
			Staff Comments	The applicant has provided snow storage on-site, a snowmelt system, as well as
				hauling snow off site in order to satisfy this requirement. The applicant has provided
				4,000 sq ft of snowmelt areas and 925 sq ft of snow storage, which is 50% of the total
				pedestrian circulation areas. Snow from the 6,000 sq ft parking lot shall be hauled off
				site.
			17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			Staff Comments	The applicant has provided snow storage on-site. The Discovery Garden, plaza adjacent
			Stajj comments	
				to the children's library, Hemingway Veranda, Contemplative Rock Garden, and Spin's
			17.06.060(11)(2)	Garden will be utilized for snow storage.
$\boxtimes$			17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet
			C1 . W C	and shall be a minimum of twenty five (25) square feet.
			Staff Comments	The proposed snow storage areas meet this requirement.
$\boxtimes$			17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be
				allowed.
			Staff Comments	The applicant has provided a snow melt system at the entrances to both the children's
				library and the main library as well as the sidewalk adjacent to the parking lot and the
				entry plaza along Spruce Avenue. Snow from the parking lot will be hauled off-site.
$\boxtimes$			17.96.060(I)(1)	Landscaping is required for all projects.
			Staff Comments	The landscape plan is provided on Sheet L3.0 and L3.1 of the submittal
			17.96.060(I)(2)	
$\boxtimes$			17.30.000(1)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a
				site's microclimate, soil conditions, orientation and aspect, and shall serve to
			Staff Community	enhance and complement the neighborhood and townscape.
			Staff Comments	The City Arborist has approved the materials and vegetation types. The species and
				siting of the proposed street trees along Fourth Street shall be reviewed and approved
				by the City Arborist prior to issuance of a building permit for the project.
$\boxtimes$			17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are
				recommended but not required.
			Staff Comments	The proposed landscaping includes evergreen and deciduous trees, shrubs, ornamental
				grasses, fescue sod lawn, and perennial planting beds. See above Staff comment for
				Ketchum City Code §17.96.060(I)(1).
$\boxtimes$			17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not
				limited to, structures, streets and parking lots. The development of landscaped
				public courtyards, including trees and shrubs where appropriate, shall be
				encouraged.
			Staff Comments	The landscaping vegetation, site walls, plazas, and gardens provide a buffer between
				the library and adjacent land uses. The applicant has proposed plazas along $4^{th}$ St, a
				plaza at the main library entrance, a patio, discovery garden, and a contemplative rock
				garden.
$\boxtimes$			17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities
				may include, but are not limited to, benches and other seating, kiosks, bus shelters,
				trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive
				approval from the Public Works Department prior to design review approval from
				the Commission.
				the Commission.

	Staff Comments	The applicant has proposed benches, an interactive sculpture, a hydration station, and
		an information post.

#### **Table 5: Design Review Standards for Community Core Projects**

#### IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects

In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core district. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the

	arciiii	ecture	ioi iiew developi	ment, while maintaining the unique character of existing building stock found in the Community Core.
Yes	No	N/A	City Code	City Standards and Staff Comments
$\boxtimes$			17.96.070 A(1)	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
			Staff Comments	The siting and species of the proposed street trees must be reviewed and approved by the Public Works Department and the City Arborist prior to issuance of a building permit for the project. All street improvements will be reviewed by the Public Works Department prior to issuance of a building permit for the project.
$\boxtimes$			17.96.070(A)(2) Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.
			Staff Comments	The siting and species of the proposed street trees along 4 <sup>th</sup> St shall be reviewed and approved by the Public Works Department and City Arborist prior to issuance of a building permit for the project. Tree grates must be reviewed and approved by the City Arborist prior to installation.
			17.96.070(A)(3)	Due to site constraints, the requirements if this subsection 17.96.070. (A) may be modified by the Public Works Department.
			Staff Comments	N/A as the Public Works Department has not waived the requirements of §17.96.070(A).
			17.96.070 (B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
			Staff Comments	All building facades have been designed to include both solid surfaces and window/door openings intended to avoid the creation of blank walls. Similar architectural elements used to create uniformity include gabled roofs, vertical siding, and windows with curtain wall glazing.
			17.96.070 (B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			Staff Comments	Windows and doors into the main entrances of the main and children's library are proposed. A recessed shade garden, perennial beds, ornamental grasses, shrubs, and a discovery garden are incorporated into the project design.
$\boxtimes$			17.96.070 (B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			Staff Comments	The design of the facades fronting Walnut and Spruce Avenues do not obscure views into windows.
$\boxtimes$			17.96.070 (B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			Staff Comments	The applicant has proposed a pitched roof, which is compatible with the existing roof and the overall style and character of the structure.
$\boxtimes$			17.96.070 (B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
$\boxtimes$			Staff Comments 17.96.070 (B)(6)	Snow retention devices, gutters, and downspouts shall be installed on all sloped roofs.  Roof overhangs shall not extend more than three (3') feet over a public sidewalk.
				Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.

		Staff Comments	No roof overhangs over a public sidewalk are proposed.
	$\boxtimes$	17.96.070 (B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or
			temporary walls, windows, window screens, or plastic or fabric materials.
		Staff Comments	N/A. Front porches and stoops located on the ground floor are not proposed at this
			time. The plazas adjacent to entryway are unenclosed.
$\boxtimes$		17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking
			garages or to the rear of buildings. Trash disposal areas shall not be located within
			the public right of way and shall be screened from public views.
		Staff Comments	The plans indicate that the dumpster will be screened from public view.
X		17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully
			screened from public view. Screening shall be compatible with the overall building
		Staff Comments	design.
		Stujj Comments	All roof and ground mounted mechanical and electrical equipment shall be fully
			screened from public view. Roof mounted mechanical equipment will not exceed ten- feet (10') over the maximum building height and must be set back a minimum of ten-
			feet (10) from property lines. The final screening, location, and height of all ground
			and roof mounted mechanical equipment shall be approved upon final inspection and
			prior to the issuance of a building permit.
$\boxtimes$		17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a
			new tree. Replacement trees may occur on or off site.
		Staff Comments	Existing trees to be removed to accommodate the addition and renovation project are
			shown on Sheet L-1.1 of the design review submittal. Replacement trees include
			Subalpine Fir, Lodgepole Pine, Limber Pine, Mugo Tannenbaum Pine, Ponderosa Pine,
			Autumn Blaze Maple, European White Birch, Russian Hawthorne, and Flowering
			Crabapples. The siting of the proposed replacement trees is indicated on Sheet L-3.0 of
			the design review submittal.
$\boxtimes$		17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be
			placed within tree wells that are covered by tree grates.
		Staff Comments	The City Arborist must review and approve the proposed siting and species of the
			street trees proposed along Fourth Street as well as the decorative tree grates prior to
	 		issuance of a building permit for the project.
$\boxtimes$		17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
		Staff Comments	The City Arborists has approved the proposed replacement trees. The proposed street
			trees along 4 <sup>th</sup> St shall be reviewed and approved by the City Arborist prior to issuance
		17.96.070(E)(1)	of a building permit for the project.
$\boxtimes$		17.30.070(L)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened
		Staff Comments	from the street.  The subject Block 89 is not located adjacent to an alley. The applicant has proposed
		Stujj comments	replacing the existing wood retaining structure adjacent to the parking lot along Fifth
			Street and screening with planting beds, shrubs, and Mugo Pine trees.
$\boxtimes$		17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree
2 3			per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters,
			tree wells and/or diamond shaped planter boxes located between parking rows.
			Planter boxes shall be designed so as not to impair vision or site distance of the
			traveling public.
		Staff Comments	The applicant has proposed installing 10 Mugo Pine trees adjacent to the parking lot.
$\boxtimes$		17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and
			planter boxes. Tree grates or landscaping may be used in tree wells located within
			pedestrian walkways.
		Staff Comments	All on-site ground cover and low lying shrubs shall be planted within planters and
			planter boxes, in conformance with this standard. The species and siting of the street
			trees along 4 <sup>th</sup> St as well as the decorative grates shall be reviewed and approved by
			the City Arborist prior to issuance of a building permit for the project.
$\boxtimes$		17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided
			for every four (4) parking spaces as required by the proposed use. At a minimum,
			one (1) bicycle rack shall be required per development.

			Staff Comments	The applicant is proposing the installation of five bike racks. The bike racks are located at the main library entrance adjacent to Spruce Avenue, at the corner of Fourth Street and Walnut Avenue, and adjacent to the parking lot.
section results in a fractional number, a fraction		17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.	
			Staff Comments	See Staff comment above. The fraction of the calculation is not equal to or greater than one-half.
mounted ADA parl unobstru		17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.	
			Staff Comments	The bicycle racks are located no less than fifty-feet (50') from entrance of the building.  The bike racks will be visible from the front entrance of the proposed building.

#### STAFF RECOMMENDATION

Staff recommends approval of the Community Library Renovation & Expansion project design review application, subject to conditions 1-14 listed below.

#### **COMMISSION OPTIONS**

- Move to continue review of the design review application for the Community Library Renovation & Expansion project to a date certain.
- Move to deny the design review application for the Community Library Renovation & Expansion project and draft findings supporting denial.

#### RECOMMENDED CONDITIONS

- 1. All departmental conditions as described in Tables 2, 3, 4, and 5;
- 2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
- 3. All building and fire code requirements as dictated by 2012 family of international codes shall apply to all construction onsite;
- 4. Per Title 17, Section 17.96.090: TERM OF APPROVAL: The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations;
- 5. All Design Review elements shall be completed prior to final inspection/occupancy;
- 6. Any work in the right-of-way will require a right-of-way encroachment permit, reviewed and approved by the City before installation;
- 7. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and approved prior the issuance of a Certificate of Occupancy;
- 8. Prior to the issuance of a building permit, the applicant shall verify that all proposed mechanical equipment affixed to the roof of the proposed building is no greater than ten feet in height (10'), and setback ten feet (10') from the property line and fully screened from public view;
- 9. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a building permit is submitted for the project;
- 10. All utilities standards shall be met prior to the issuance of a building permit;
- 11. Specifications for the relocated fire hydrant at the corner of 4<sup>th</sup> Street and Walnut Avenue shall be reviewed and approved by the Fire Code Official prior to issuance of a building permit for the project;

- 12. The siting and species of the proposed street trees on 4<sup>th</sup> Street as well as the proposed decorative tree grates shall be reviewed and approved by the Public Works Department and City Arborist prior to issuance of a building permit for the project;
- 13. A sidewalk easement agreement between the City of Ketchum and the property owner shall be signed and recorded prior to issuance of a Certificate of Completion for the project; and
- 14. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

#### **ATTACHMENTS:**

- A. Application Form
- B. Submittal Drawings
- C. Staff Report, March 27<sup>th</sup>, 2018
- D. Memorandum, March 27<sup>th</sup>, 2018
- E. Public Comment

#### ATTACHMENT A. APPLICATION FORM



#### City of Ketchum Planning & Building



OFFICIAL U	JSE ONLY
File Run &r:-C	OB
Date Receiva: -	1-18
By: mf	7
Pre Application I	ee Paid:
Design Review	159
Approved Date:	
Denied Date:	
By:	
ADRE: Yes □	

#### APPLICANT INFORMATION Project Name: Renovation and Expansion of the Community Library Phone: (208) 726-3493 Mailing Address: PO Box 2168 Ketchum ID 83340 Owner: Community Library Association Email: jdavidson@comlib.org Architect/Representative: Humphries Poli Architects Phone: (303) 607-0040 Mailing Address: 1655 Grant Street Denver CO 80203 Email: DHumphries@HPARCH.COM Architect License Number: AR-985762 Engineer of Record: Benchmark Assoicaites PA Phone: (208) 726-951 Mailing Address: PO Box 733 Ketchum ID 83340 Email: svgeotech@gmail.com Engineer License Number: 9392 All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer. PROJECT INFORMATION Legal Land Description: Lot 1B, Block 89 of KETCHUM TOWNSITE BLOCK 89 Street Address: 415 Spruce Street Ketchum ID 83340 RPK 0000089001B Lot Area (Square Feet): 54,450 Zoning District: CC Overlay District: □Floodplain ☐ Avalanche ☐ Mountain ■Addition **■**Remodel □ Other Type of Construction: □New Number of Residential Units: Anticipated Use: Library **TOTAL FLOOR AREA** Existing Proposed Sq. Ft. 3,856 Sq. Ft. Basements 3,928 1st Floor Sq. Ft. 21,719 Sq. Ft. 23.834 2<sup>nd</sup> Floor Sq. Ft. Sq. Ft. 3rd Floor Sq. Ft. Sq. Ft. Sq. Ft. |881 Sq. Ft. Mezzanine 881 Sq. Ft. 26,456 Sq. Ft. Total 28,643 **FLOOR AREA RATIO** General Residential-High: Community Core: .53 Tourist: **BUILDING COVERAGE/OPEN SPACE** Percent of Building Coverage: .44 DIMENSIONAL STANDARDS/PROPOSED SETBACKS Front: greater than 5' average Side: N/C Side: N/C Rear: N/C Building Height: less than 30' OFF STREET PARKING Parking Spaces Provided: 17 including 2 ADA % Curb Cut: Sq. Ft.

Ketchum Spring Water

WATER SYSTEM

■ Municipal Service



The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

February 1, 2018
Signature of Owner/Representative

Date

Page 2 of 2

#### ATTACHMENT B. SUBMITTAL DRAWINGS

### RENOVATION & EXPANSION TO

# THE COMMUNITY LIBRARY

415 Spruce Ave. Ketchum, ID 83340

#### **SHEET INDEX**

_	
G-1.0	COVER SHEET
C-1.0	EXISTING CONDITIONS SURVEY
C-1.1	GRADING, UTILITIES, & DRAINAGE FOR RIGHT-OF-WAYS
L-1.0	SITE PLAN
L-1.1	SITE PLAN
L-2.0	GRADING PLAN
L-3.0	LANDSCAPE PLAN
L-3.1	LANDSCAPE MATERIALS
L-3.2	LANDSCAPE LIGHTING PLAN
A-1.0	MAIN LEVEL FLOOR PLAN
A-1.1	LOWER LEVEL FLOOR PLAN
A-1.2	ROOF PLAN
A-2.0	ARCHITECTURAL BUILDING ELEVATIONS
A-2.1	ARCHITECTURAL BUILDING ELEVATIONS

DESIGN REVIEW FEBRUARY 1, 2018 OWNER

THE COMMUNITY LIBRARY ASSOC. 415 SPRUCE AVENUE NORTH, P.O. BOX 2168 KETCHUM, IDAHO 83340 p 208.726.7355 e jdavidson@comlib.org

o ARCHII

HUMPHRIES POLI ARCHITECTS
1655 GRANT STREET
DENVER. COLORADO 80203
p 303.607.0040 e dhumphries@hparch.com

CONSTRUCTION MANAGER
 MORLEY GOLDEN
 GOLDEN EDGE ENTERPRISES
 PO BOX 286
 SUN VALLEY, IDAHO 83353
 p 208.720.0956 e mgolden@mgolden.com

GENERAL CONTRACTOR
ELIAS CONSTRUCTION, INC.
PO BOX 6272
KETCHUM, ID 83340
p 208.725.5400 e jblamires@eliasconstruction.com

LANDSCAPE ARCHITECT

CLEMENS ASSOCIATES LLC
110 5TH STREET WEST
KETCHUM, ID 83340
p 208.726-5331 e Rob@clemensassociates.com

BENCHMARK ASSOCIATES P.A.
100 BELL DRIVE
KETCHUM, ID 83340
p 208.726.9512

STRUCTURAL ENGINEER

FROST STRUCTURAL ENGINEERING
1020 LINCOLN ROAD
IDAHO FALLS, ID 83401
p 208.227.8404 e markell.bateman@frost-structural.com



All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law, statutory and other reserved rights, including copyright thereto.



THE COMMUNITY
LIBRARY
415 Spruce Ave.

Ketchum, ID 83340

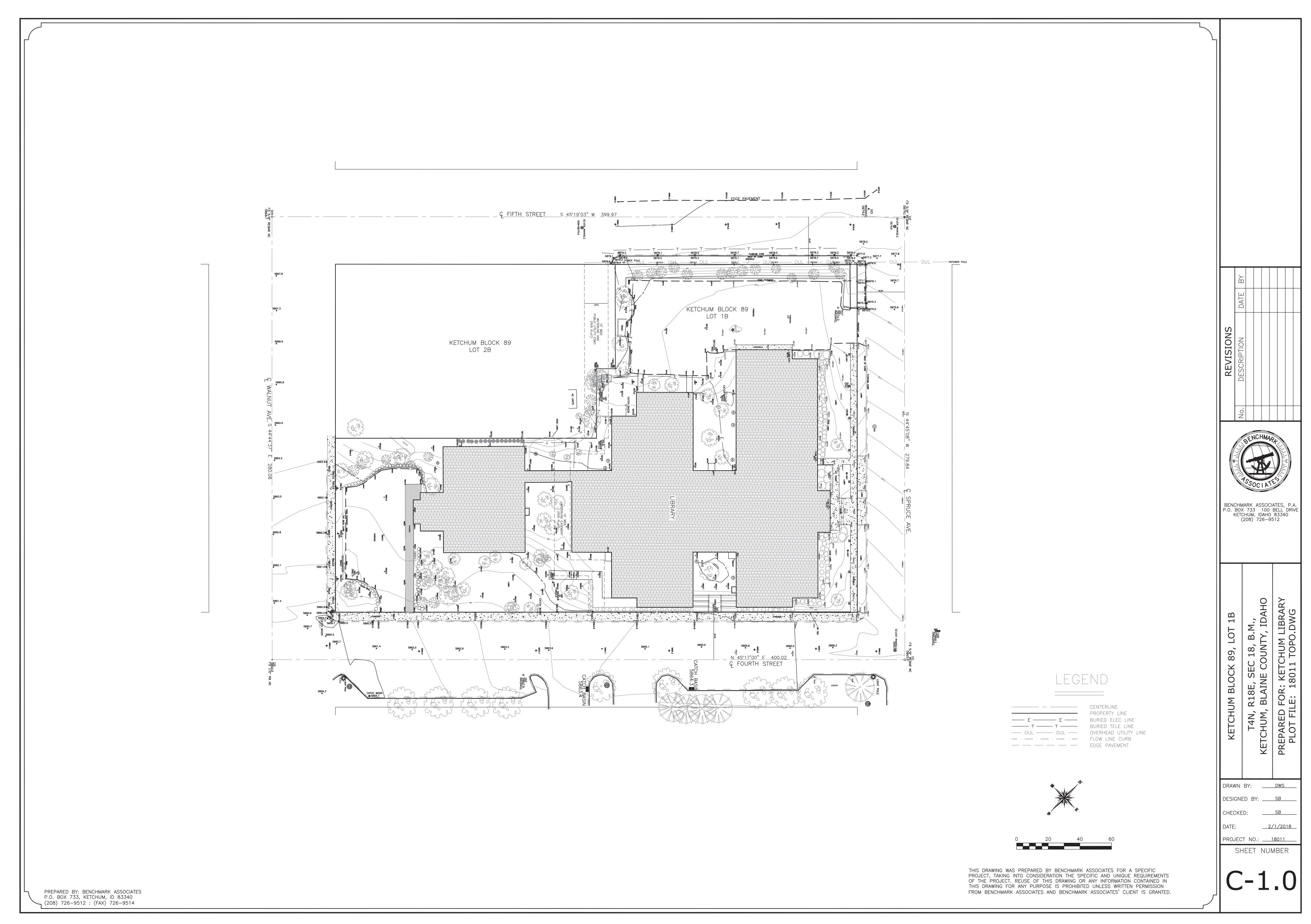
DESIGN REVIEW
FEBRUARY 1, 2018

PROJECT PRINCIPAL IN PROJECT MANAGER

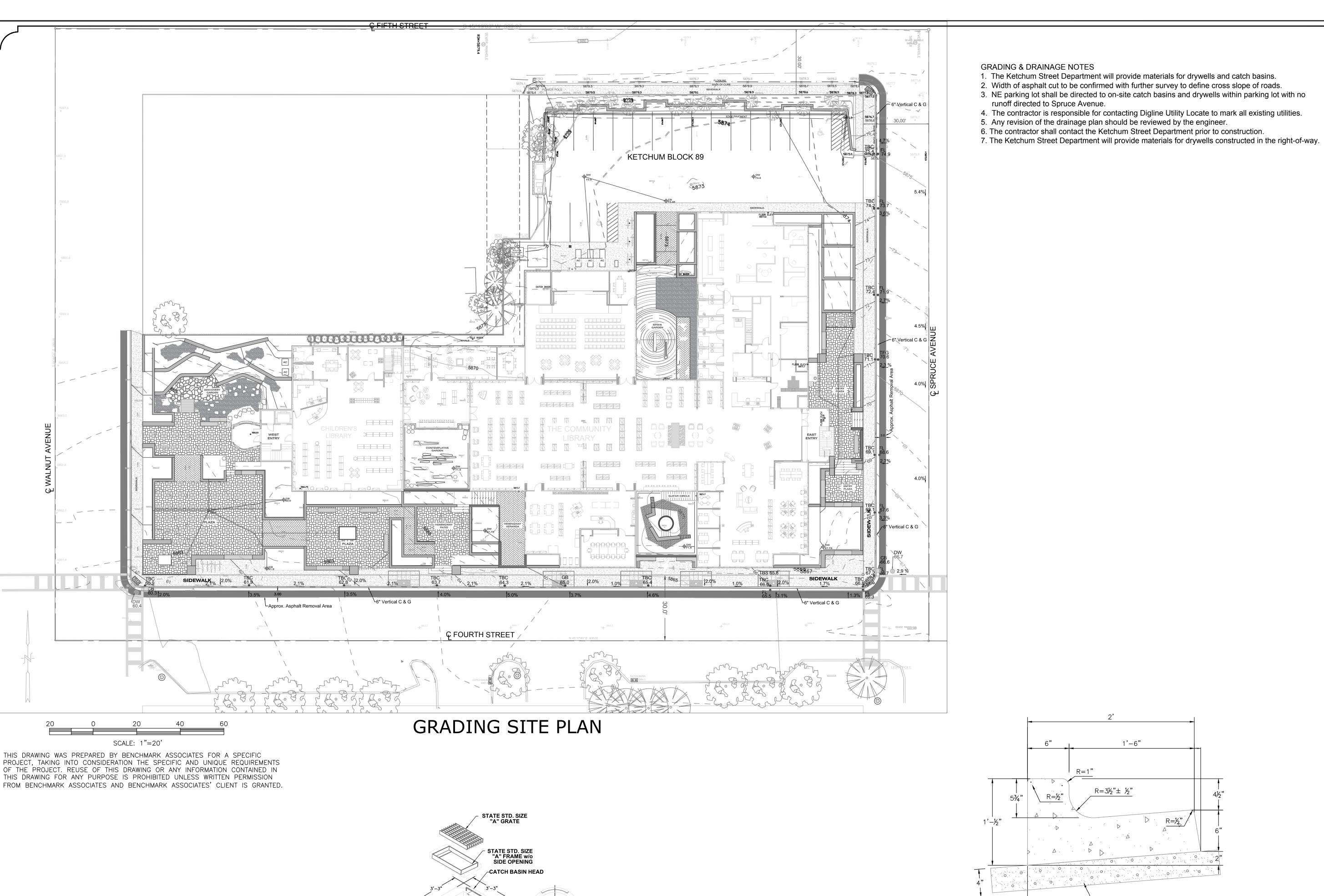
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G:\BMA\K\ketchum village\block 89\Lot 1A (Library)\18011 TOPO\18011 TOPO.dwg, 2/1/2018 9:26:30 AM



20" DIA→ TYP

**PLAN VIEW** 

SIDE VIEW

1) FINISH GRADE TO SLOPE TOWARDS GRATE AT 1.5% MIN. - 3.0% MAX.

30" CATCH BASIN TYPICAL

KNOCKOUTS -

C1.1 SCALE: NONE

D&L FRAME AND GRATE C-2670 OR AN APPROVED PRODUCT. SET 1/4" BELOW FINISHED GRADE

TOP OF GRATE \_

1 ALL PRODUCTS AS NOTED OR APPROVED SUBSTITUTION.

DRAINAGE GEOTEXTILE TO BE 4.5 OZ NON-WOVEN FILTER FABRIC (CONTECH C-NW45 OR EQUAL)

TYPICAL DRYWELL DETAIL

C1.1/ SCALE: NONE

PREPARED BY: BENCHMARK ASSOCIATES P.O. BOX 733, KETCHUM, ID 83340 (208) 726-9512 : (FAX) 726-9514

DRAINAGE GEOTEXTILE PLACED ON TOP OF, ON BOTTOM OF, AND ON ALL SIDES OF OPEN GRADED GRAVEL

" WASHED ROCK

runoff directed to Spruce Avenue.

(A) GRADE AND ALIGNMENT TO BE ESTABLISHED OR APPROVED BY THE ENGINEER AND THE PUBLIC AGENCY HAVING JURISDICTION. B BASE: 4-INCH COMPACTED DEPTH OF 3/4-INCH MINUS CRUSHED AGGREGATE BASE MATERIAL, PLACE AS SPECIFIED AND PAID UNDER ISPWC SECTION-802; COMPACTED TO EXCEED 95% OF STANDARD PROCTOR. (C) 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.

A LOCATION GRADE AND WIDTH TO BE ESTABLISHED OR APPROVED BY THE OWNER. (B) BASE TO BE COMPACTED TO EXCEED 95% OF STANDARD DENSITY.

© SLOPE SIDEWALK TOWARD THE STREET NOT TO EXCEED 1/4" PER FOOT (0.02 FT/FT) UNLESS OTHERWISE SPECIFIED BY THE OWNER. (D) SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING. (E) 1/2-INCH TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND

2" OF 3/4" MINUS CRUSHED BASE

MATERIAL AS PER SECTION-800

WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS, PLACE 1/2-INCH EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH. (F) MATERIALS AND CONSTRUCTION ACCORDING TO DIVISION 700 AND AS FOLLOWS:

6" VERTICAL CURB\_

SPRUCE AVENUE 5.5' MIN. 4TH STREET E. 5.5' MIN. 3 CONCRETE SIDEWALK DETAIL

(D) CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/

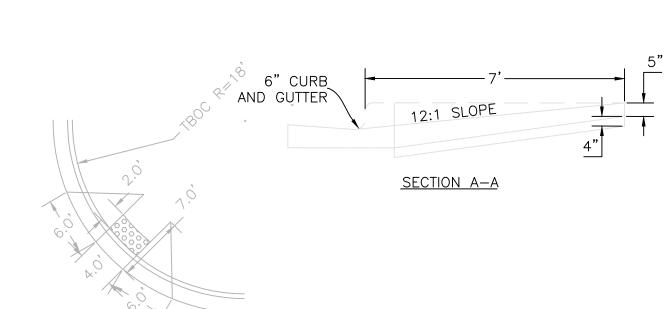
(G) SECURE RIGHT-OF-WAY PERMIT BEFORE BEGINNING CONSTRUCTION IN PUBLIC RIGHT-OF-WAY. (H) STANDARD CURB TO BE USED ON:

COLLECTOR AND ARTERIAL STREETS, UNLESS OTHERWISE INDICATED.
ALL RADII PLUS 5-FEET EACH END WITH 2-FEET TRANSITION TO ROLL CURB. TO MATCH EXISTING CURBS. 4: SEE SD-709 FOR CURB CONSTRUCTION WHEN SIDEWALK IS INCLUDED.

(E) MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPWC SPECIFICATIONS.

(F) BACKFILL AS PER ISPWC SECTION-706.





(A) ALL RAMP SURFACES TO BE 12 TO 1 SLOPE TO CONFORM TO ADA REQUIREMENTS.

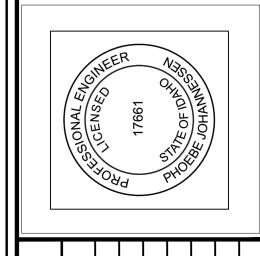
(B) DETECTABLE WARNINGS SHALL BE 24" IN THE DIRECTION OF TRAVEL AND EXTENT THE FULL WIDTH OF THE CURB RAMP. IANDING OR BLEND TRANSITION.

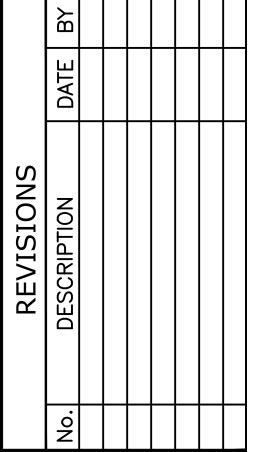
© DETECTABLE WARNINGS SHALL HAVE A DIAMETER OF 50% TO 65% OF THE BASE DIAMETER OF DOME.

D DETECTABLE WARNING DOMES SHALL BE PRE-MANUFACTURED UNITS INTEGRALLY CAST INTO CONCRETE RAMP TO ACHIEVE THE TRUNCATED DOME DIMENSIONS AND SPACING SHOWN. SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. METHODS OF CONSTRUCTION AND COLORATION MUST BE APPROVED BY THE OWNER PRIOR TO

5 \ PEDESTRIAN RAMP WITH DETECTABLE WARNING PADS C1.1/ SCALE: NONE

PRELIMINARY ONLY, NOT FOR CONSTRUCTION DESIGN REVIEW SUBMITTAL 03/21/2018





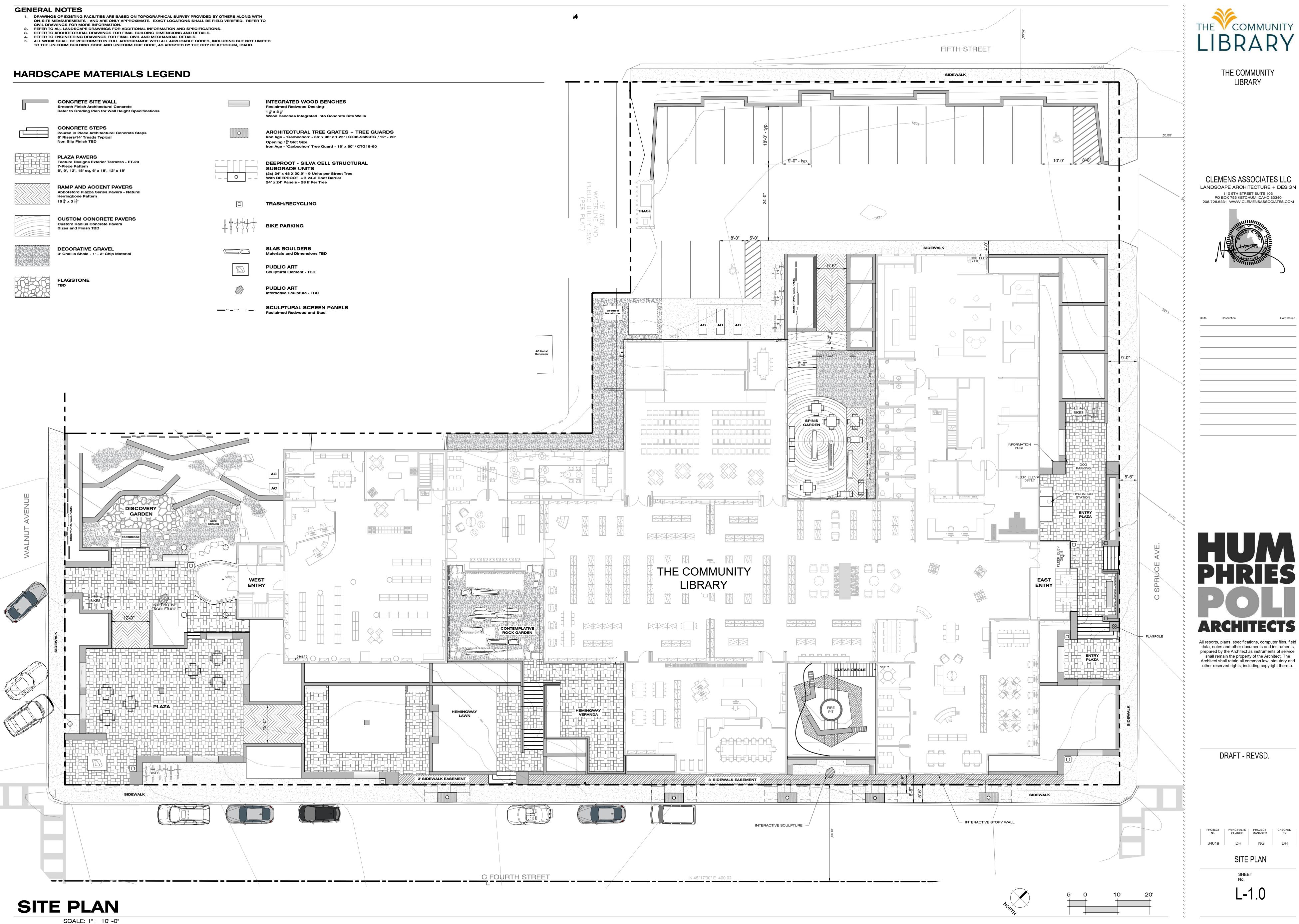


BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 100 BELL DRIVE KETCHUM, IDAHO 83340 (208) 726-9512 (FAX) 726-9514 www.benchmark-associates.com mail@bma5b.com

DRAWN BY: DESIGNED BY: PLJ CHECKED: 3-21-18

SHEET NUMBER

PROJECT NO.: <u>17149</u>



LIBRARY THE COMMUNITY LIBRARY

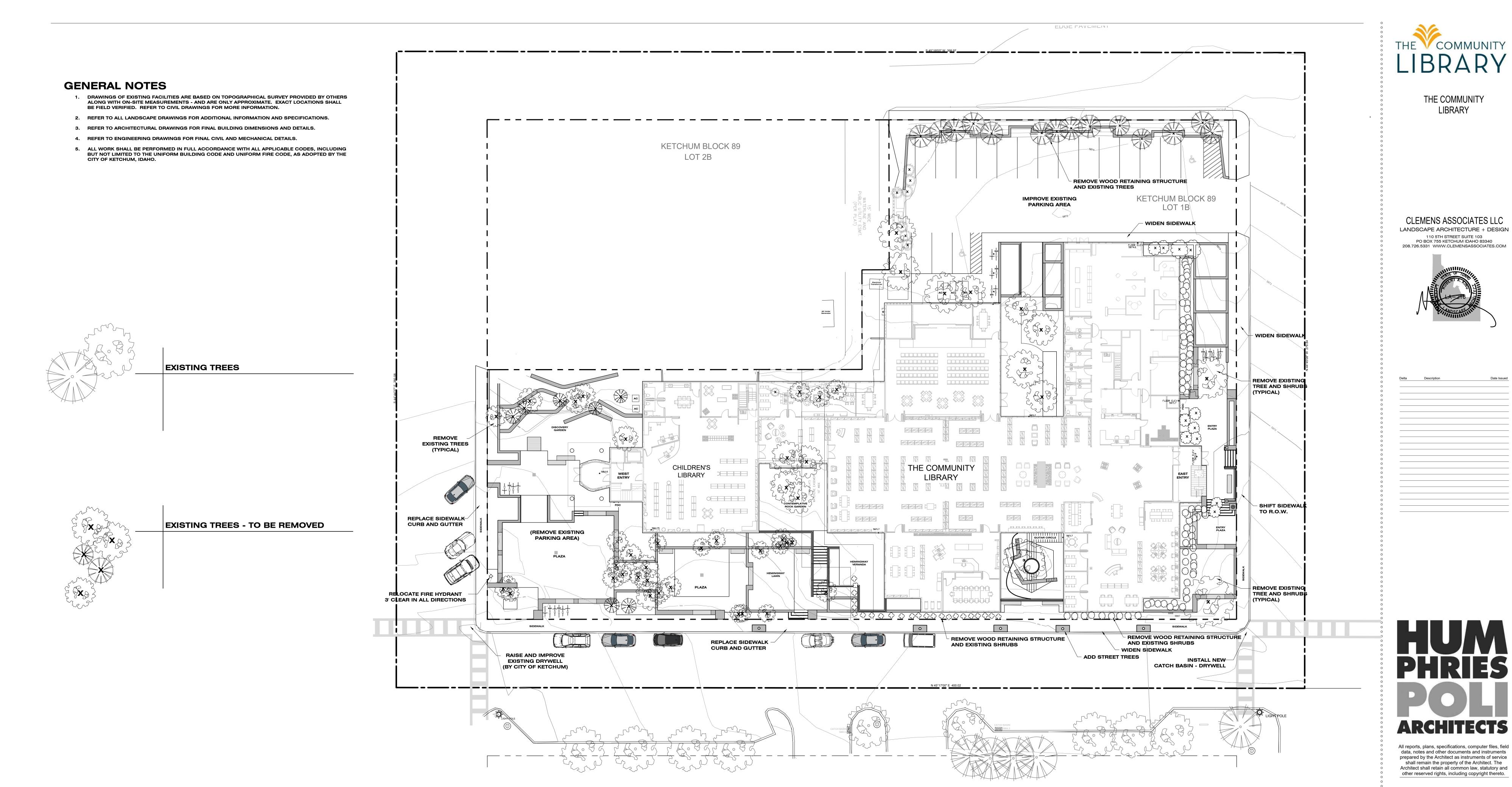
CLEMENS ASSOCIATES LLC LANDSCAPE ARCHITECTURE + DESIGN 110 5TH STREET SUITE 103 PO BOX 755 KETCHUM IDAHO 83340 208.726.5331 WWW.CLEMENSASSOCIATES.COM



All reports, plans, specifications, computer files, field

DRAFT - REVSD.

SITE PLAN



## RIGHT OF WAY SITE IMPROVEMENTS

4) RELOCATE EXISTING FIRE HYDRANT.

WALNUT AVENUE	FOURTH STREET	SPRUCE AVENUE	FIFTH STREET
1) REPLACE EXISTING SIDEWALK, CURB AND GUTTER.	1) REMOVE EXISTING PARKING AREA AND CURB CUT AT CHILDREN'S LIBRARY.	1) REPLACE EXISTING SIDEWALK, CURB AND GUTTER.	1) MAINTAIN EXISTING SIDEWALK, CURB AND GUTTER.
2) REMOVE EXISTING PARKING AREA AT CHILDREN'S LIBRARY.	2) REPLACE EXISTING SIDEWALK, CURB AND GUTTER.	2) SHIFT SIDEWALK TO R.O.W., AND WIDEN NORTH END.	2) IMPROVE / REPLACE SIDEWALK AT CORNER OF SPRUCE AVENUE.
3) PROVIDE PEDESTRIAN ACCESS FROM SIDEWALK TO NEW CHILDREN'S LIBRARY ENTRY.	3) WIDEN SIDEWALK AND INSTALL STREET TREES.	3) IMPROVE PARKING AREA AND CURB CUT ON NORTH END.	3) REMOVE EXISTING TREES BETWEEN SIDEWALK AND PARKING AREA

4) INSTALL NEW DRY WELL AT CORNER OF SPRUCE AVENUE.

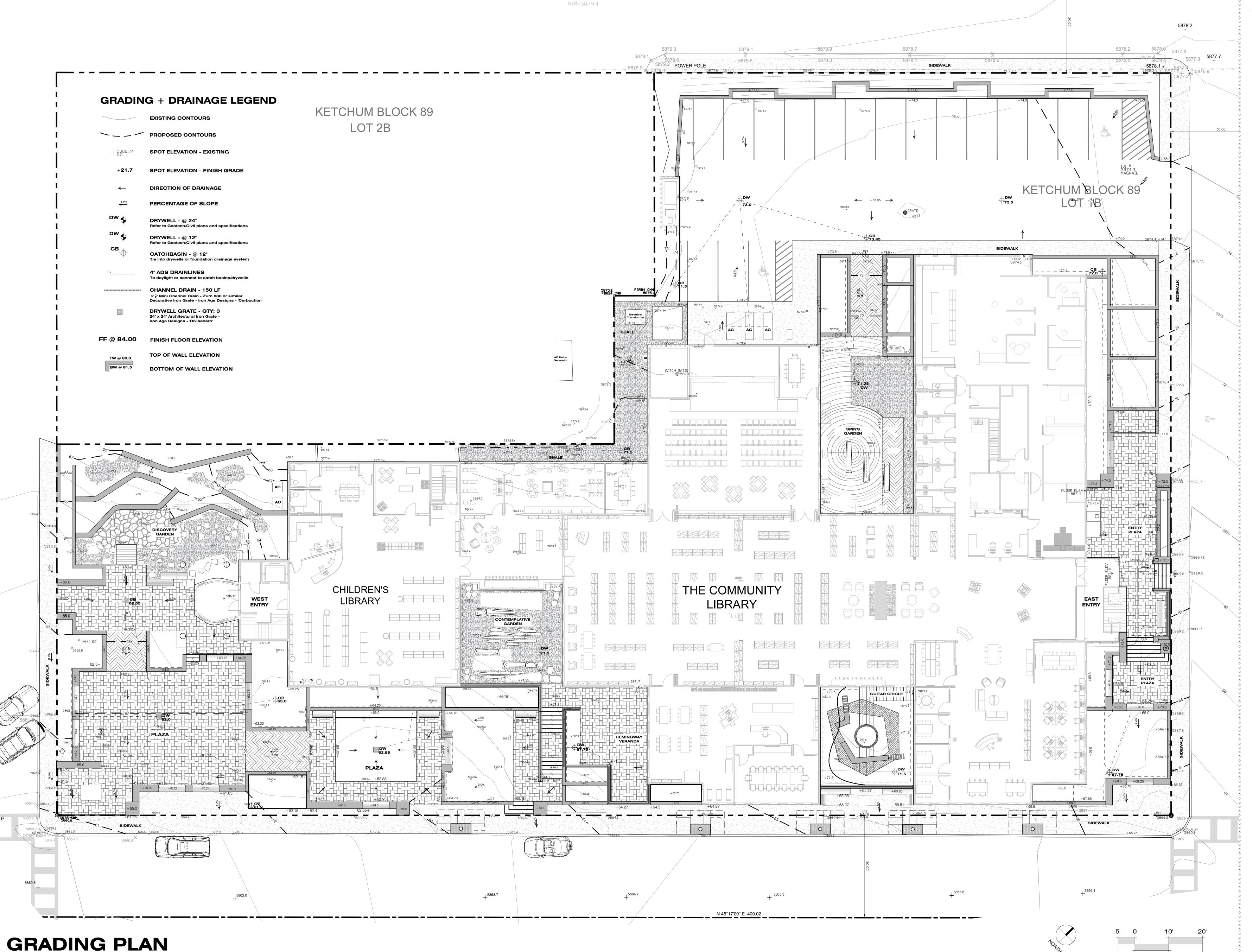
4) INSTALL NEW DRY WELL AT CORNER OF FOURTH STREET.

DRAFT - REVSD.

LIBRARY

SITE PLAN

5) RAISE AND IMPROVE EXISTING DRYWELL ON CORNER OF FOURTH STREET (BY CITY OF KETCHUM)





THE COMMUNITY LIBRARY

CLEMENS ASSOCIATES LLC
LANDSCAPE ARCHITECTURE + DESIGN
110 5TH STREET SUITE 103
PO BOX 755 KETCHUM IDAHO 83340



HUMA PHRIES POLL ARCHITECTS

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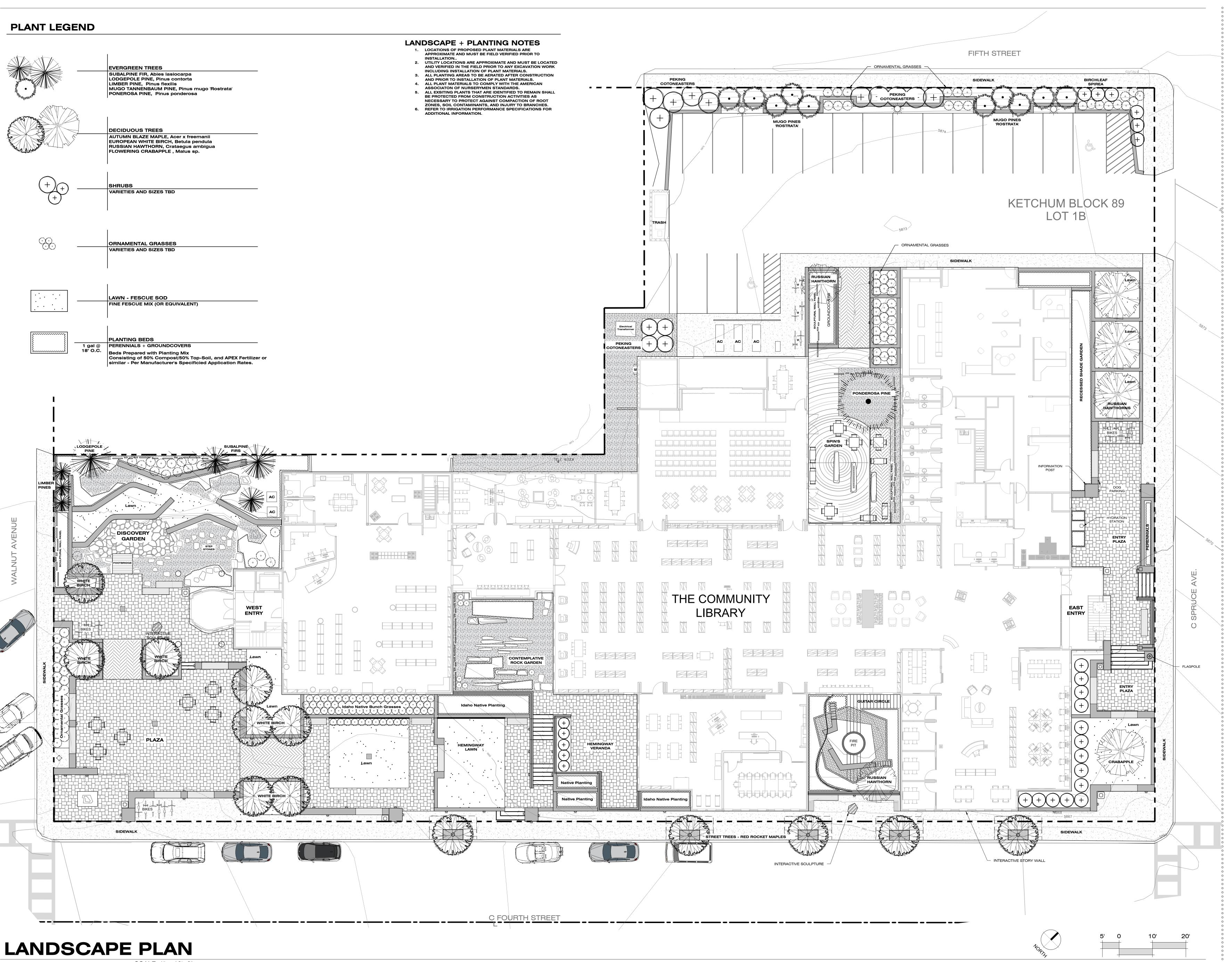
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34019 DH NG DH

GRADING PLAN

L-2.0



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LANDSCAPE PLAN

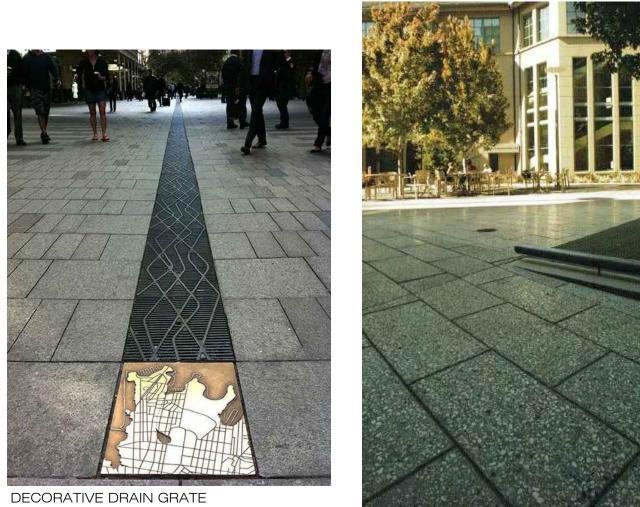
SHEET No.

L-3.0



ARCHITECTURAL CONCRETE SITE WALLS





















KETCHUM BLOCK 89

LOT 2B

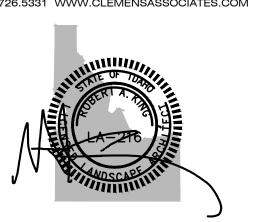
STONE SLAB BENCHES —

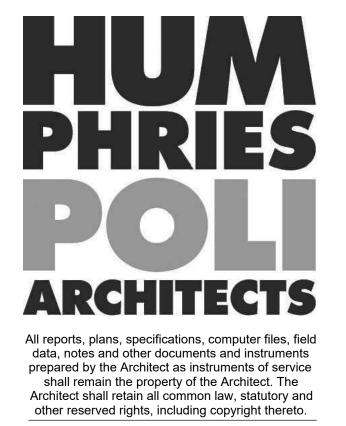






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**DESIGN REVIEW** 

LANDSCAPE MATERIALS

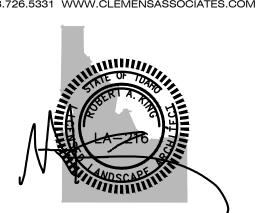


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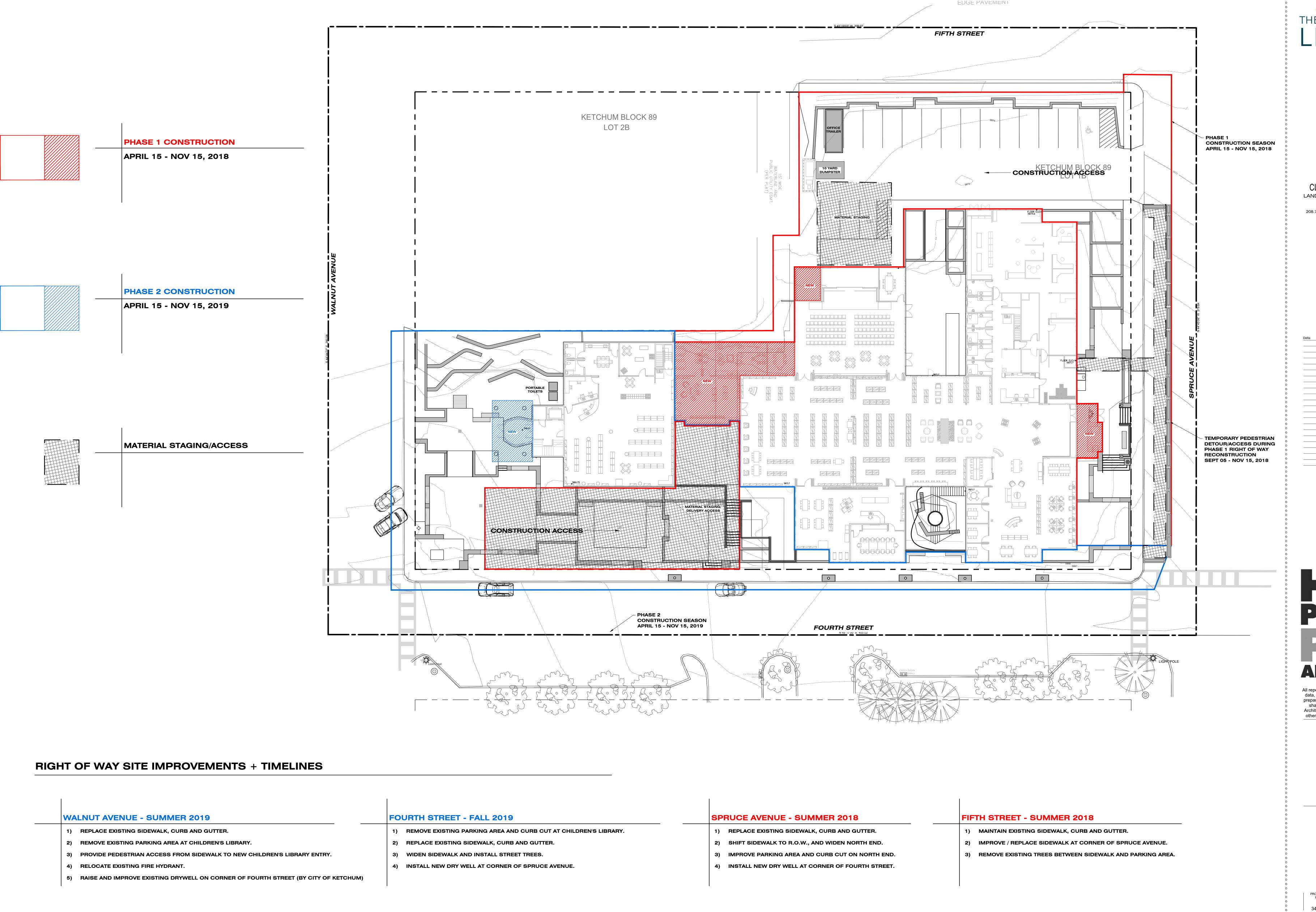
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LANDSCAPE LIGHTING PLAN

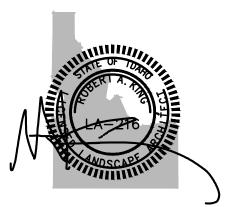
L-3.2



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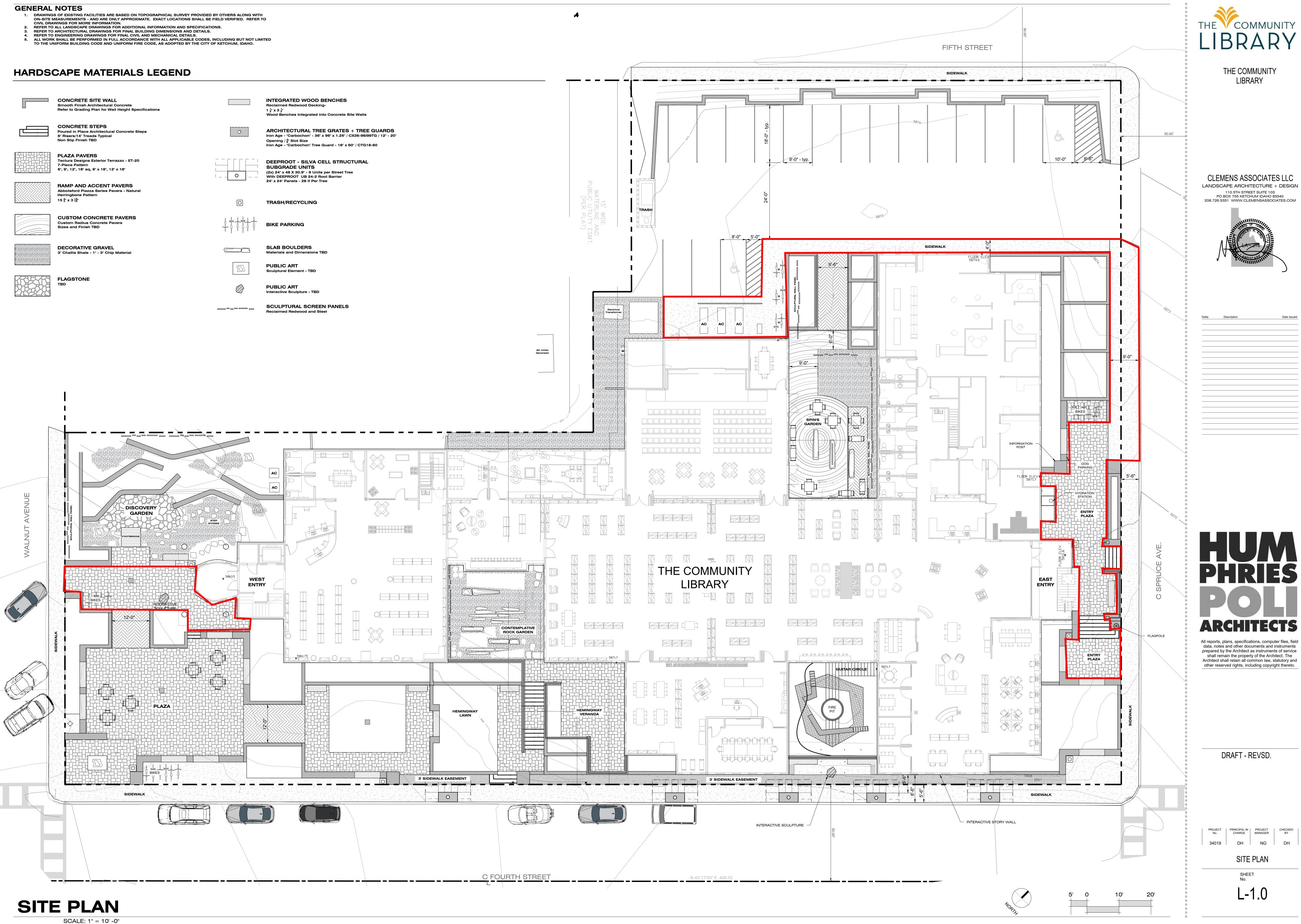


PHRIES

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CONSTRUCTION MGMT. PLAN

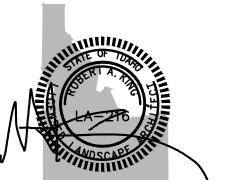


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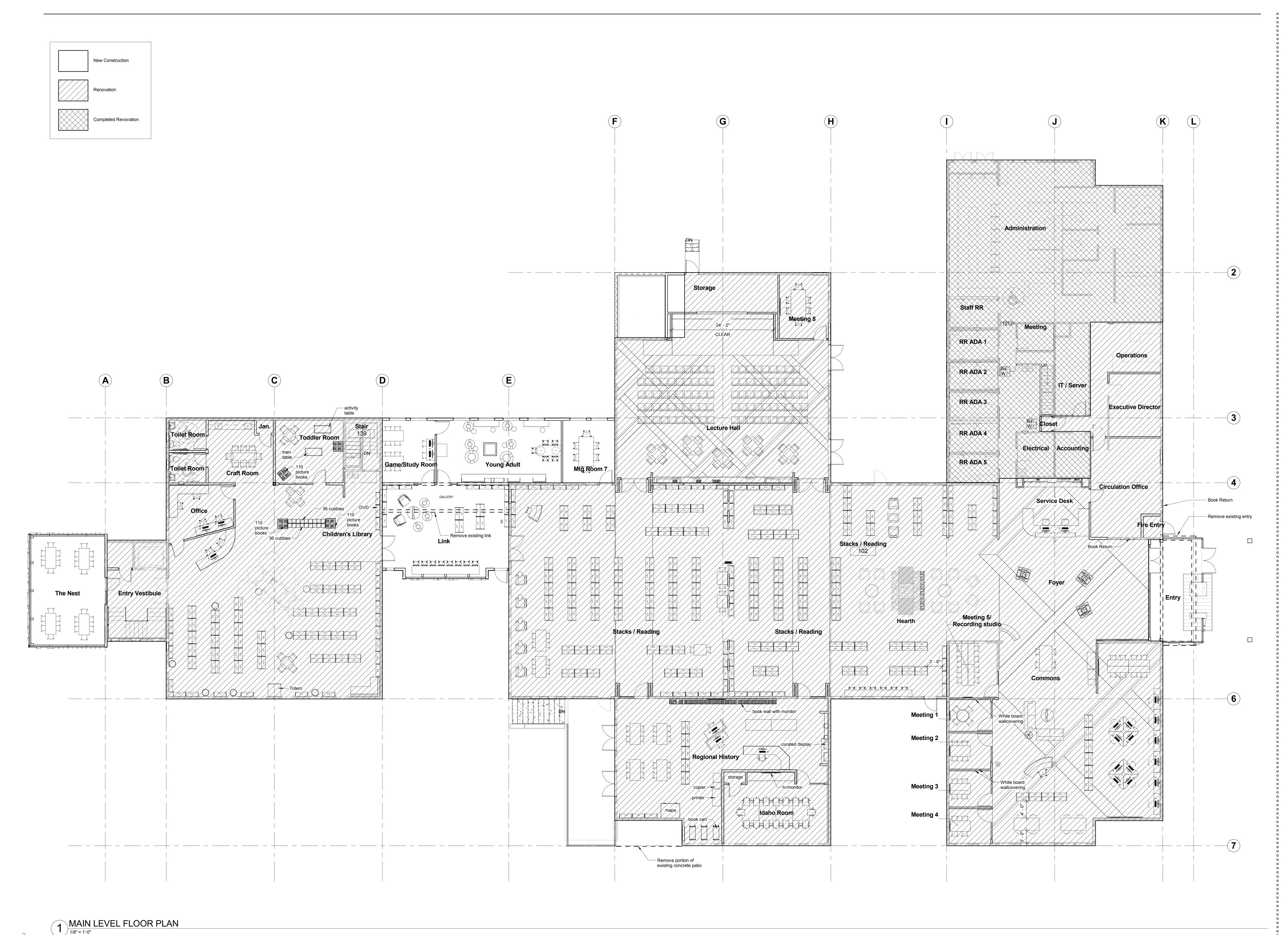
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SITE PLAN





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MAIN FLOOR PLAN

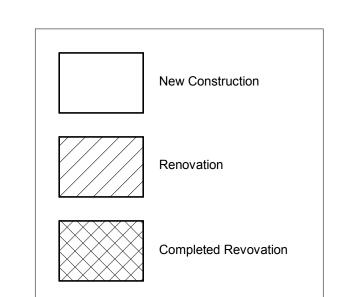
DESIGN REVIEW
FEBRUARY 1, 2018

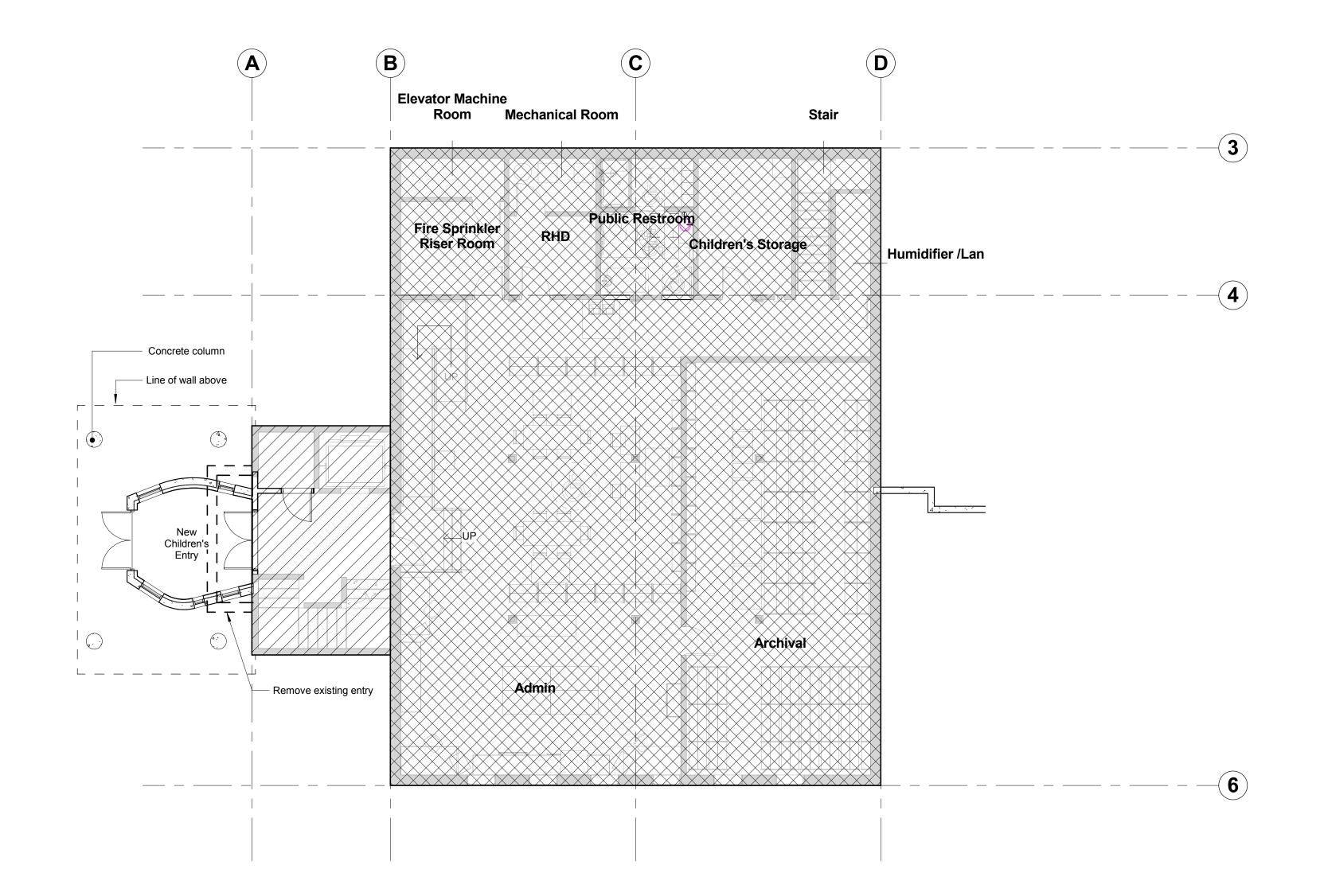
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CONSTRUCTION

SHEET No.





1 LOWER LEVEL FLOOR PLAN

1/8" = 1'-0"





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LOWER LEVEL FLOOR PLAN

DESIGN REVIEW
FEBRUARY 1, 2018

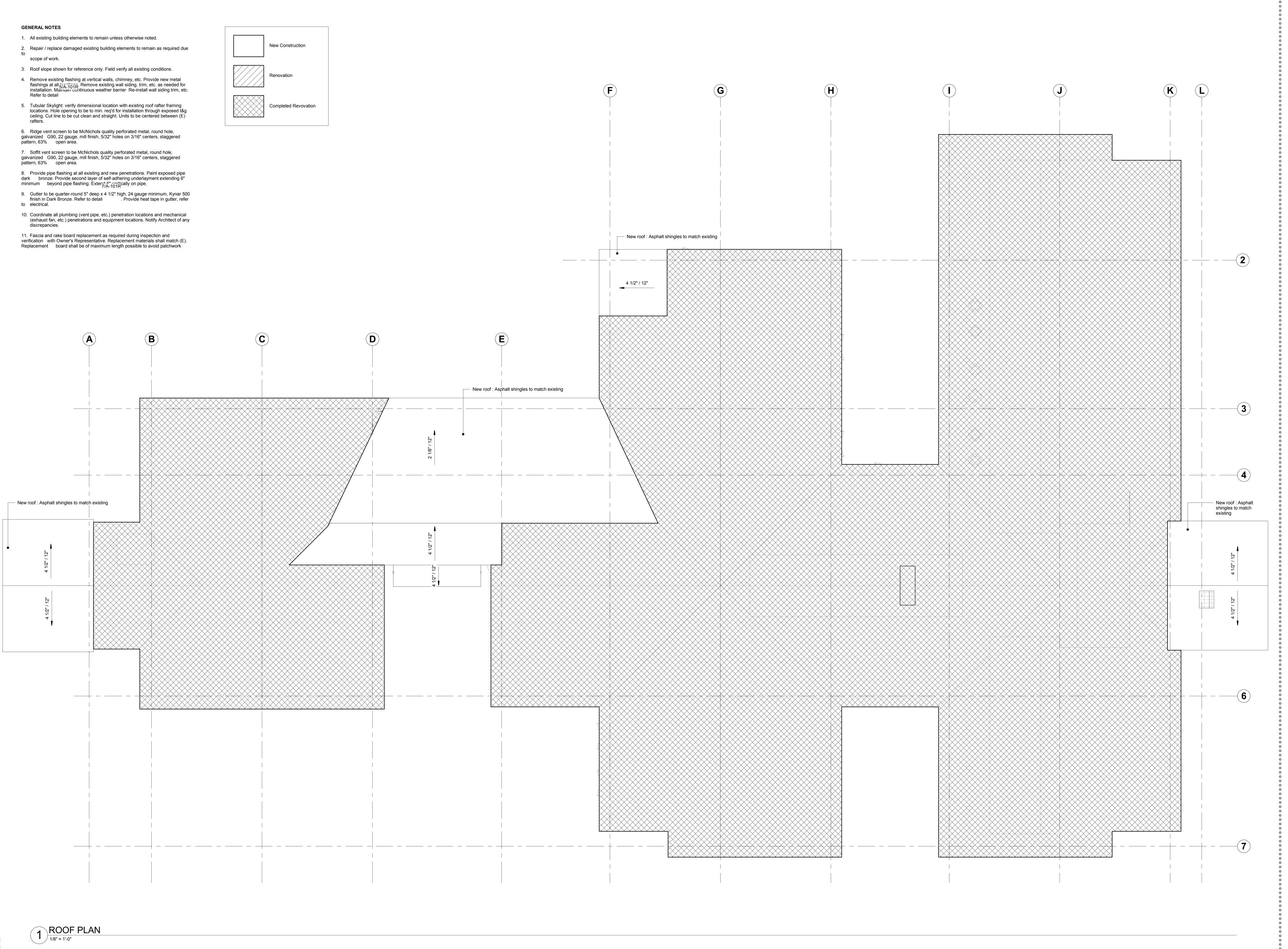
PROJECT | PRINCIPAL IN CHARGE | PROJECT MANAGER | PROJECT BY

37014 | DH | NG | DH

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CONSTRUCTION

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**ROOF PLAN** 

DESIGN REVIEW
FEBRUARY 1, 2018

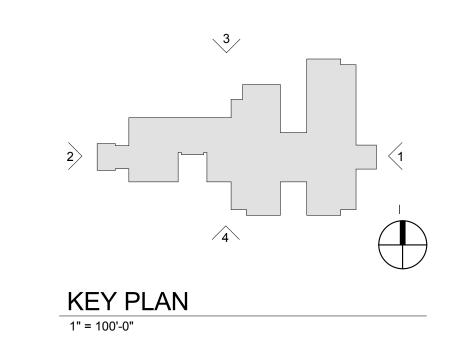
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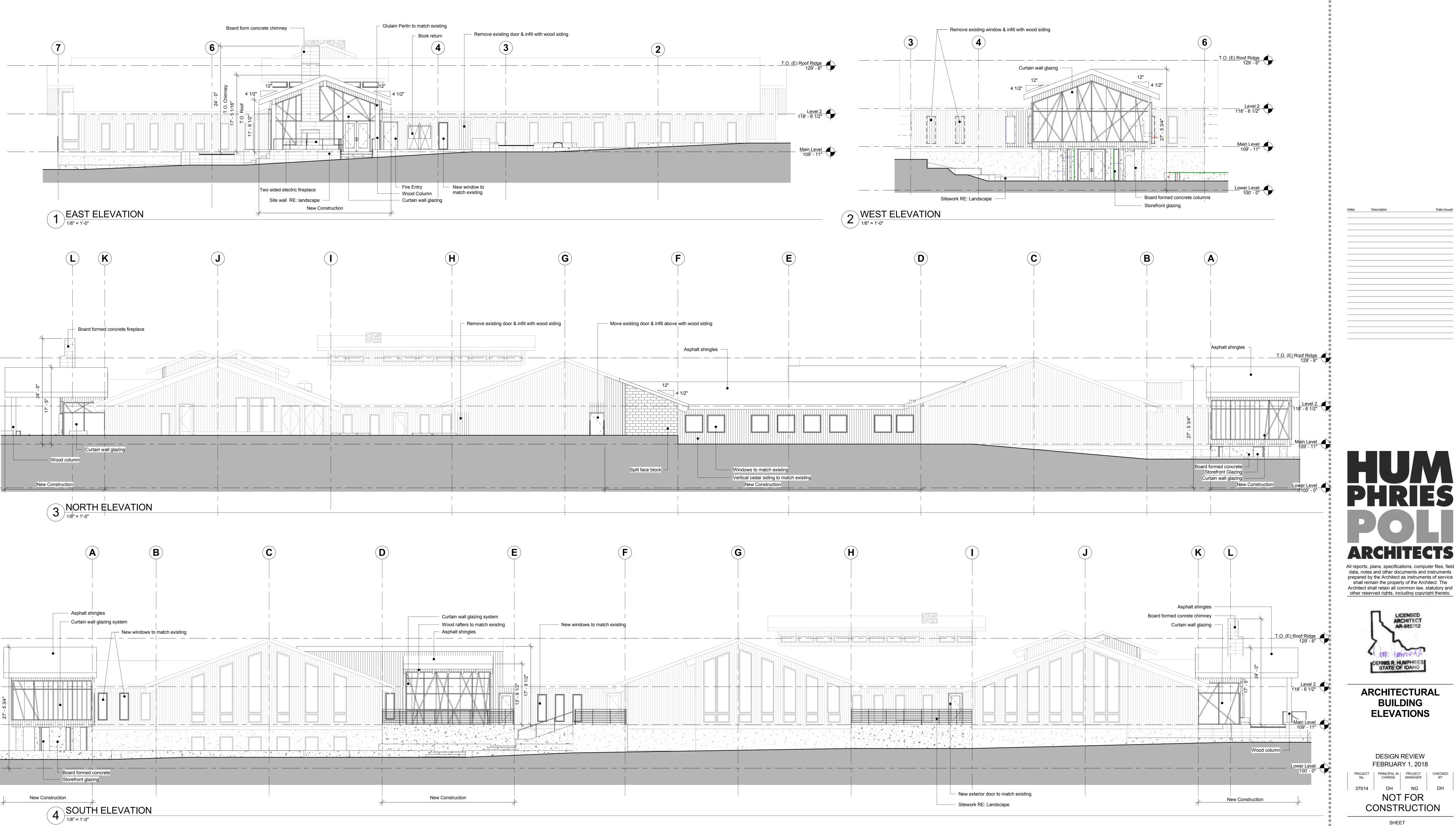
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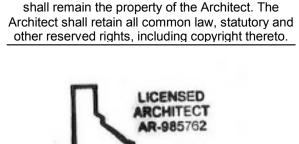
A-1.2









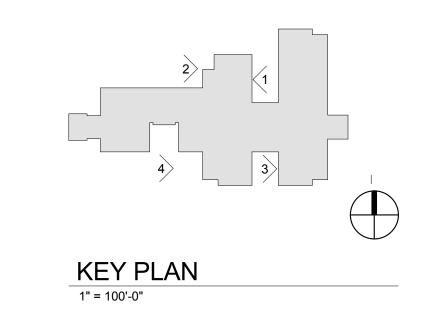


DENNIS R. HUMPHRIES STATE OF IDAHO **ARCHITECTURAL** 

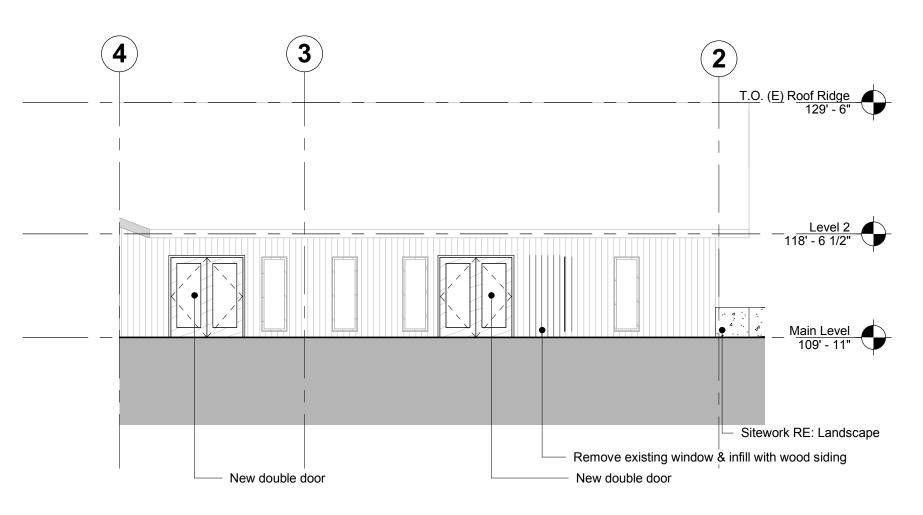
BUILDING **ELEVATIONS** 

**DESIGN REVIEW** FEBRUARY 1, 2018 PROJECT PRINCIPAL IN PROJECT CHECKED
No. CHARGE MANAGER BY DH NG DH NOT FOR CONSTRUCTION

> SHEET No. A-2.0

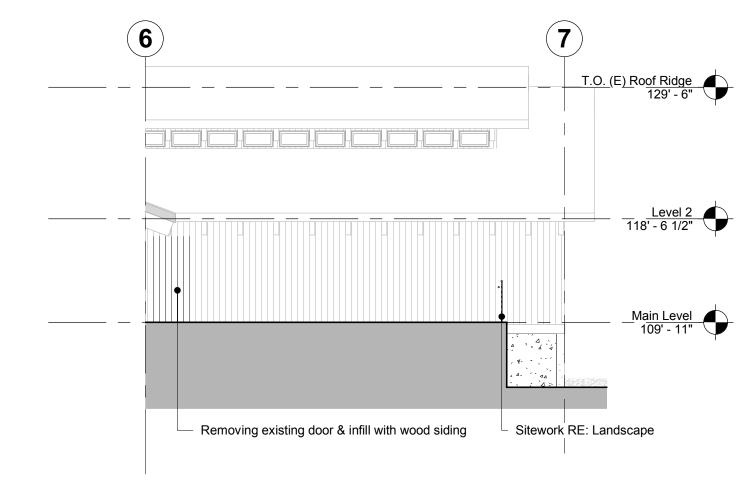






1 EAST ELEVATION @ LECTURE HALL

1/8" = 1'-0"



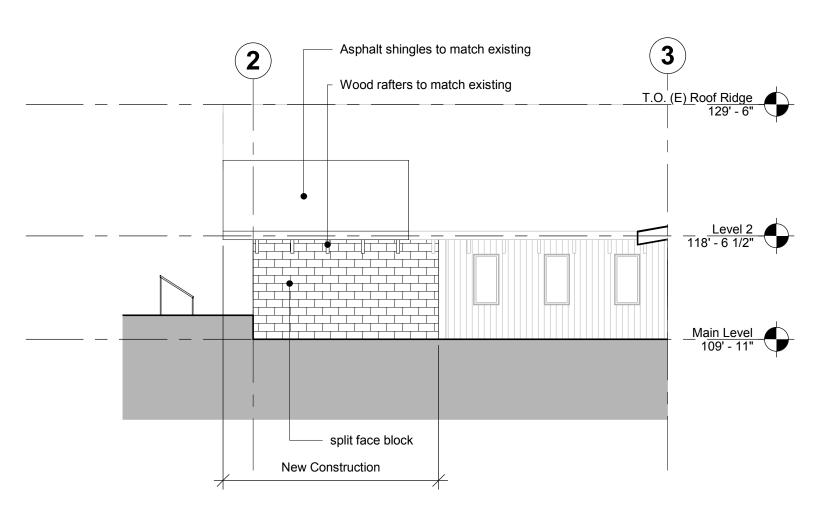
3 WEST ELEVATION @ GUITAR CIRCLE

- 1x10 Wood Trim

Metal and wood

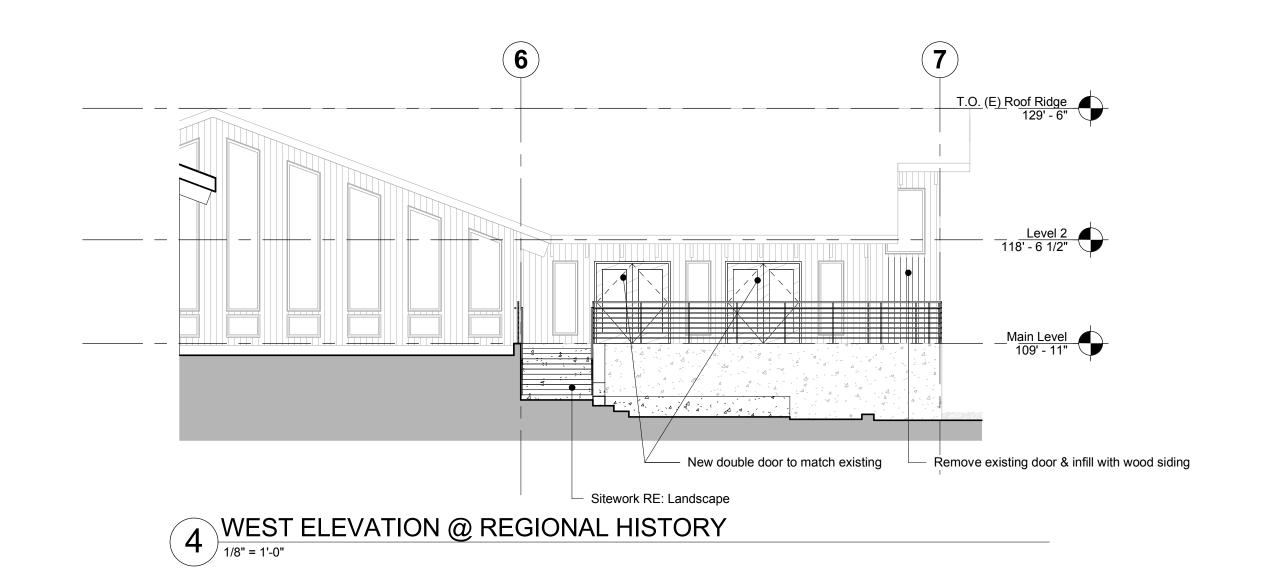
trash enclosure doors

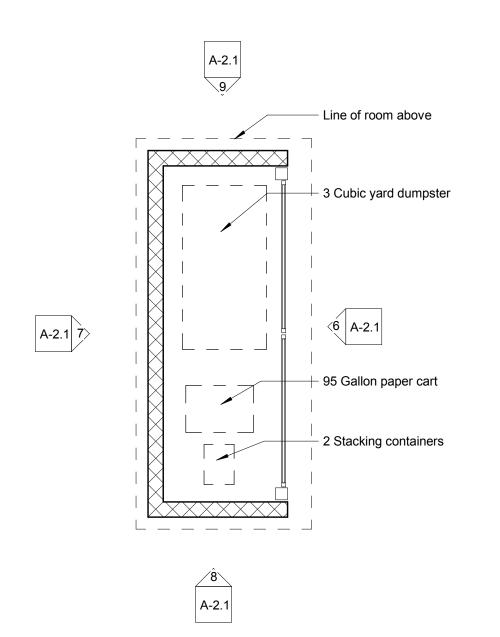
Split face block -



WEST ELEVATION @ LECTURE HALL

1/8" = 1'-0"

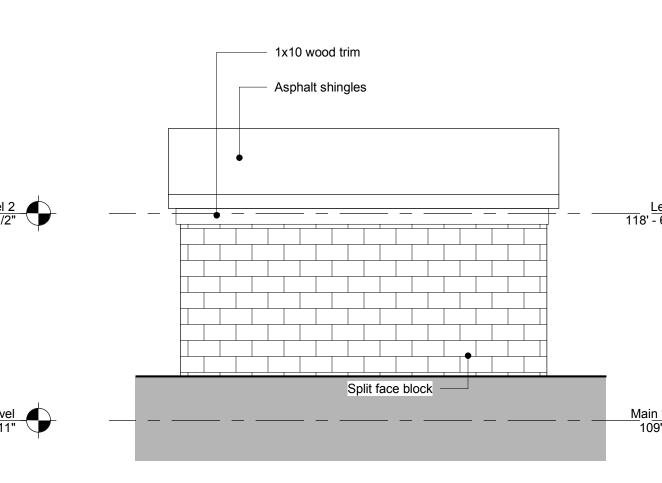


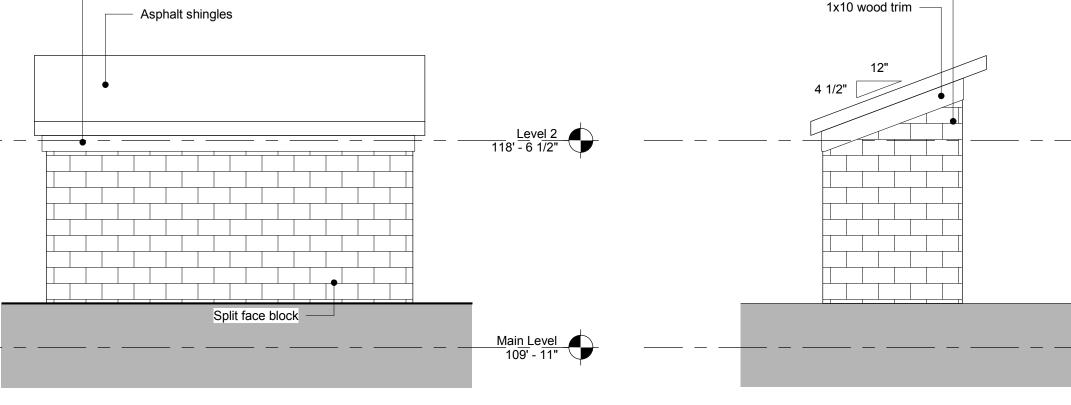


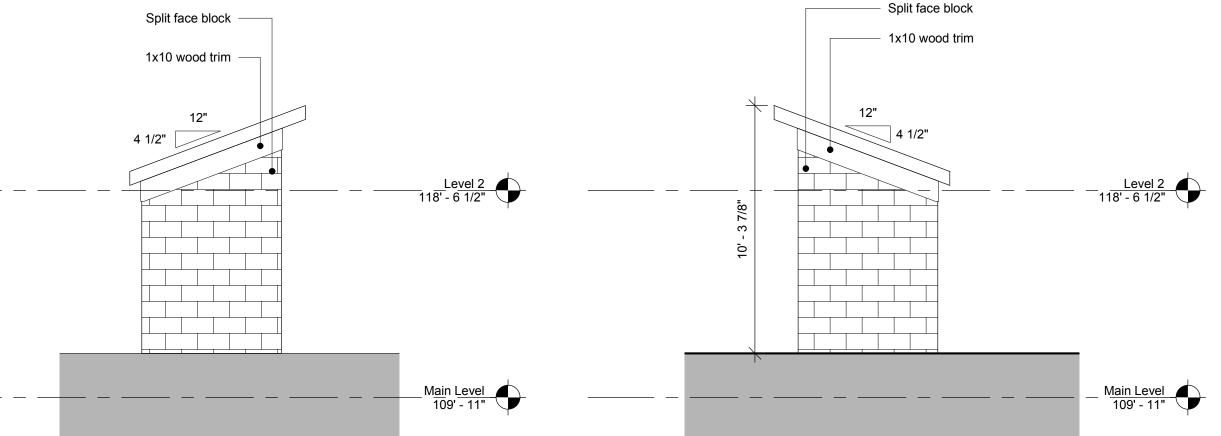
TRASH ENCLOSURE PLAN

1/4" = 1'-0"









9 TRASH ENCLOSURE NORTH ELEVATION

1/4" = 1'-0"



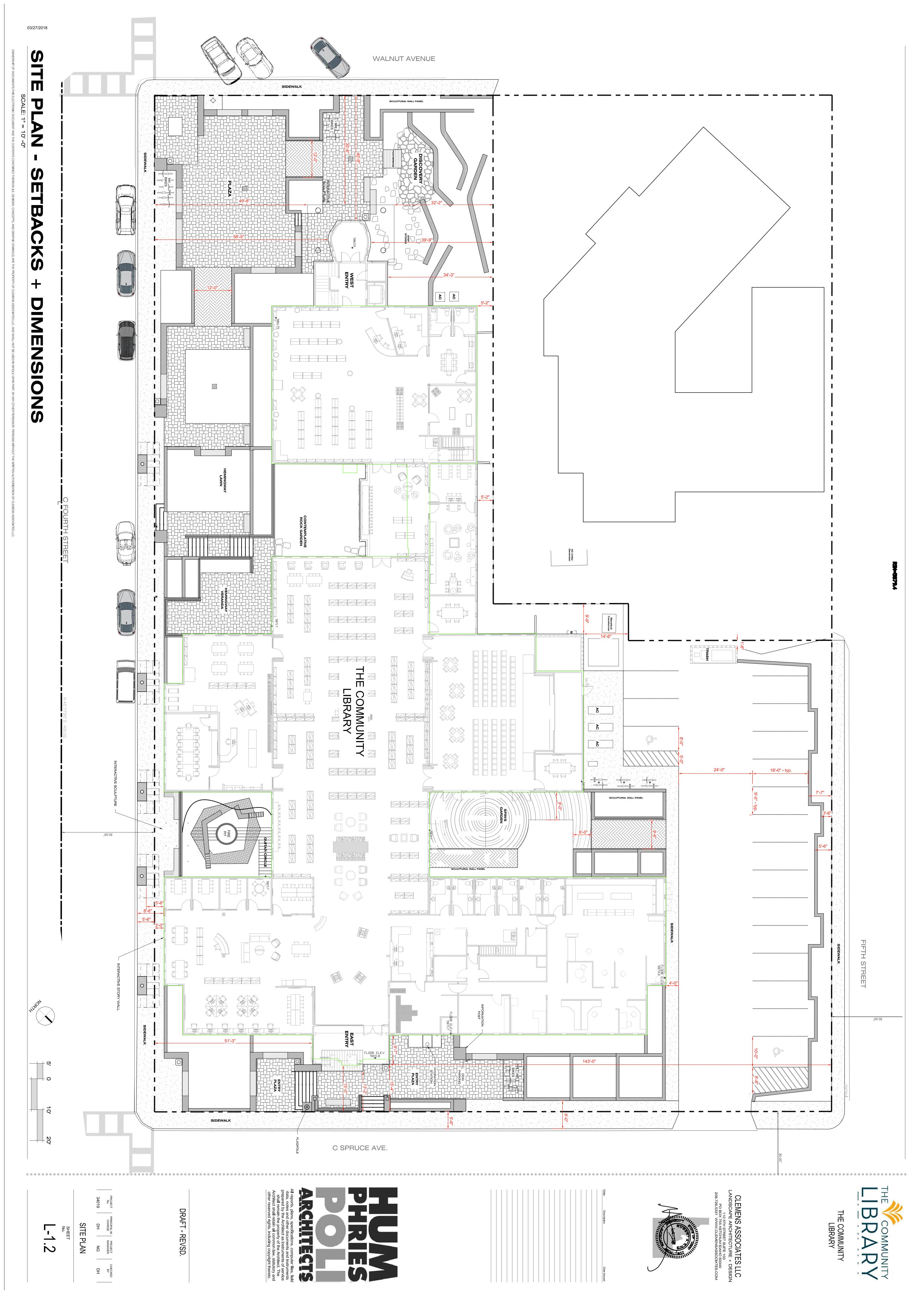
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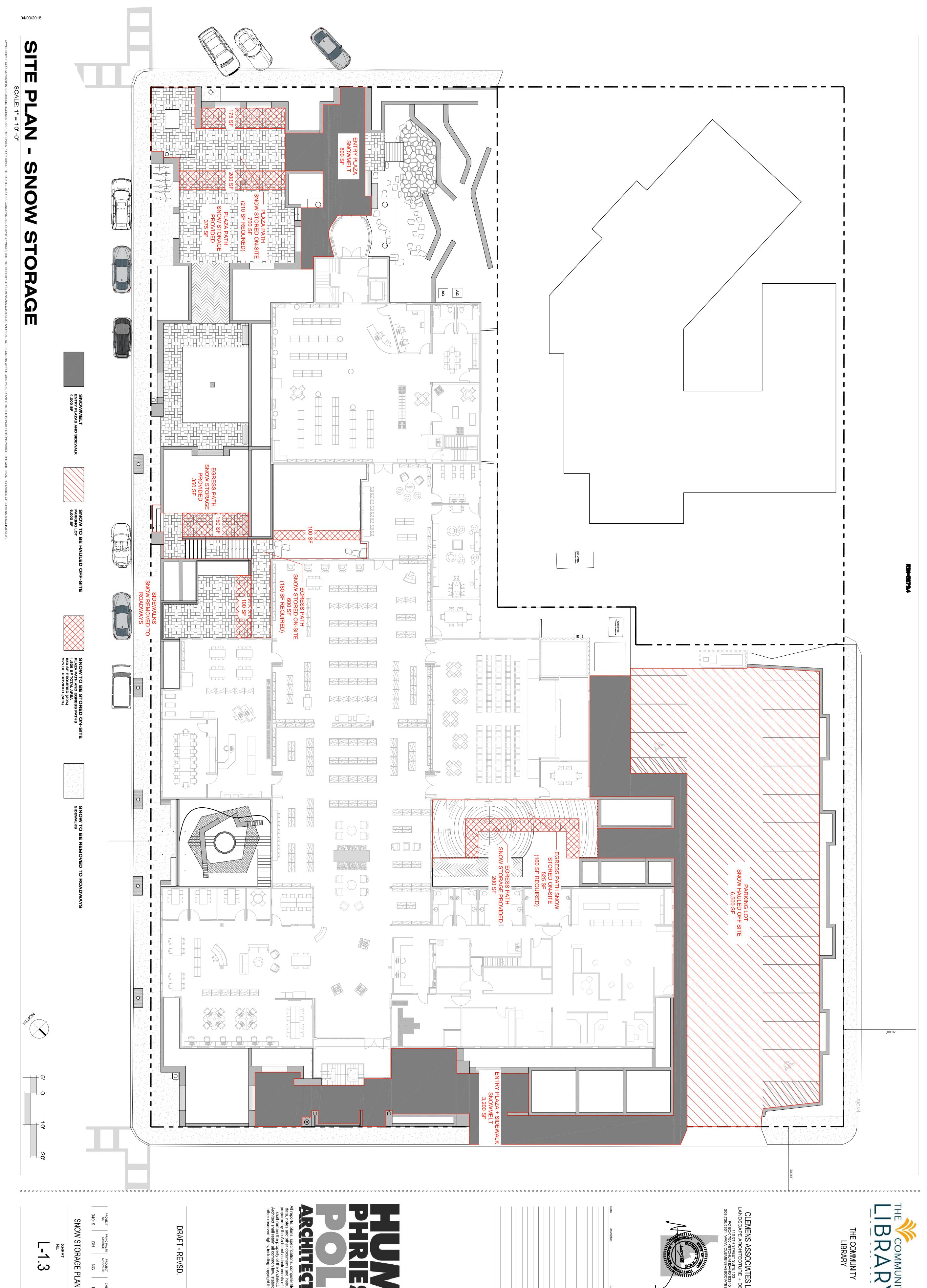


**ARCHITECTURAL BUILDING ELEVATIONS** 

**DESIGN REVIEW** NOT FOR CONSTRUCTION

A-2.1





### ATTACHMENT C. STAFF REPORT, MARCH 27<sup>th</sup>, 2018



# STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION SPECIAL MEETING OF MARCH 27<sup>th</sup>, 2018

**PROJECT:** Community Library Renovation & Expansion

**FILE NUMBER:** #18-008

**OWNERS:** Community Library Association

**REPRESENTATIVE:** Humphries Poli Architects

**REQUEST:** Design Review approval for renovations, exterior alterations, and a 2,187 sq ft addition

to the Community Library.

**LOCATION:** 415 N. Spruce Avenue

(Lot 1B, Block 89, Ketchum Townsite)

**NOTICE:** Notice was mailed to adjacent property owners on March 14<sup>th</sup>, 2018.

**ZONING:** Community Core Urban Residential Sub-district (CC-C)

**REVIEWER:** Abby Rivin, Associate Planner

### **BACKGROUND:**

The applicant has requested Design Review approval for renovations, exterior alterations, and an addition to the Community Library, which is located on Lot 1B of Block 89, Ketchum Townsite. The subject lot is 53,598 sq ft and is located within the Urban Residential Sub-district of the Community Core (CC-C). The applicant is the Community Library Association, represented by Humphries Poli Architects. Exterior alterations include modifications to the entrances of the main library and children's library as well as new landscaping, which incorporates plazas, a discovery garden, fire pit, and a rock garden. The new addition will accommodate a young adult area, meeting room, game/study area, and an expanded connection between the main library and the children's library. Public improvements include replacing the existing sidewalk, curb, and gutter on Walnut Avenue, Fourth Street, and Spruce Avenue.

#### **ANALYSIS:**

Staff recommends the Planning and Zoning Commission review the application, hear testimony from the public, and continue review of the Community Library Renovation and Expansion project to a date certain. In order for Staff to recommend approval of the project, the applicant must address the following action items:

• In order to approve the proposed siting of the proposed street trees on 4<sup>th</sup> Street, the Planning & Building Department requires a Sidewalk Easement Agreement in order to ensure safe passage of pedestrian and bicycle traffic. The street trees and easement agreement must be reviewed and approved by the Public Works Department and the City Arborist.

- The siting and design of the relocated fire hydrant at the corner of 4<sup>th</sup> Street and Walnut must be submitted to the Planning & Building Department to be reviewed and approved by the Fire Code Official.
- The applicant must provide calculations for snow storage. Ketchum City Code §17.96.060(G)(5) requires that snow storage areas shall not be less than 30% of the improved parking and pedestrian circulation areas.

### **COMPREHENSIVE PLAN ANALYSIS:**

The Community Library Renovations and Expansion project is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

**Table 1. Comprehensive Plan Analysis** 

Table 1. Comprenensive Plan Analysis				
SUPPORTING	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN			
SECTION				
	Future Land Use			
Public/Quasi-Public	The Public/Quasi-Public category includes uses related to community services, such as schools, libraries, community centers and gardens, arts/culture, hospitals, government, utilities, cemeteries and places of worship.			
	Community Design and Neighborhoods			
Policy CD-1.1	Each neighborhood or district should include a mix of design elements that will reinforce its			
Unique Design	unique design quality.			
Elements for				
Identifiable				
Neighborhoods				
D. II. OD 4.2				
Policy CD-1.3	Infill and redevelopment projects should be contextually appropriate to the neighborhood and			
Compatible Infill and	development in which they will occur. Context refers to the natural and manmade features			
Redevelopment	adjoining a development site; it does not imply a certain style.			
Projects	Dayle Barretion and Onen Succe			
Delian OC 4 4 Dublia	Parks, Recreation, and Open Space			
Policy OS-1.4 Public	Support improvements to public streets, parking lots, and plazas that provide spaces for street			
Plaza Space	fairs, festivals and other gatherings.			
Policy OS-1.5 Public	Promote the development of public gathering spaces throughout the City as part of public and			
Gathering Spaces private development.				
Policy ART-1.1	Arts and Culture  Encourage the development of accessible cultural facilities (indoor and outdoor) and programs			
Diverse Range of	that will provide a diverse range of performing and visual arts activities.			
Cultural Facilities	that will provide a diverse range of performing and visual arts activities.			
and Programs				
and Programs	High Performing Community			
Policy HI-2.1	Coordinate with the community's school district, private schools, regional and statewide			
Learning Community	continuing education institutions, library, hospital, and others to allow growth and learning in			
Learning community	the community. Also recognize and encourage more of the many informal learning			
	opportunities that are sponsored by a wide range of organizations.			
	Mobility			
Policy M-1.3	Encourage compact development, mixed uses, and additional housing density in the			
Compact	downtown and in high-activity areas. This will increase opportunities for walking, bicycling and			
Development and	transit ridership and reduce vehicle traps.			
Housing Downtown	The state of the s			
and in Activity				
Centers				

**Table 2. Requirements for All Applications** 

Yes No N,	N/A City Code	City Standards and Staff Comments  Complete Application
	□ <b>17.96.040</b>	complete Application
		The applicant must provide a detailed plan and sidewalk easement agreement for the proposed street trees as well as specifications for the relocated fire hydrant.
	Police Departn	
	Fire Department and Street and Walk It is the General H1125 requirement of Building Personal Human Harmon H	nt: must provide specifications for the relocated fire hydrant at the intersection of Fourth must provide specifications for the relocated fire hydrant at the intersection of Fourth must Avenue to be reviewed and approved by the Fire Code Official.  all Contractor's responsibility to understand and adhere to all Fire Protection Ordinance ments in addition to any and all other City of Ketchum requirements in effect at the time mit issuance. Failure to comply with all local ordinances and codes may result in project as well as criminal penalties.  ect shall meet all 2012 International Fire Code requirements in addition to specific City ree Ordinances.  ess numbers shall be placed in such a position to be plainly visible and legible from the he property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with and and be positioned a minimum of forty-eight (48) inches above final grade.  It and material storage during construction shall not restrict or obstruct public streets or building. A minimum twenty-foot travel lane for emergency vehicle access shall be an and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire be maintained clear and unobstructed at all times.  Iquired fire sprinkler system shall be modified by a licensed fire sprinkler contractor to meet uirements of NFPA 13. All areas are required to be covered with fire sprinklers. Relocation ment Sprinkler Connections" shall be approved prior to construction.  Iducation for the fire hydrant at Fourth Street and Walnut Avenue will have to be approved action.  The keys, for emergency fire department access, shall be provided and installed in the ox.  If the department permit required installations shall be scheduled at least 48 hours in the requirements of NFPA 72 and Ketchum Ordinance #1125.  For coded site map of this project shall be provided on paper and electronically to the fire his site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser attent connections, alarm

	I		
			Streets Department:
			<ul> <li>The construction management plan shall be revised to show specifications and a scaled drawing for the barricades to be placed within the right-of-way. Temporary traffic control signs must be installed to direct motorized, bicycle, and pedestrian traffic.</li> </ul>
	$\boxtimes$		<ul> <li>The project requires review and approval of a Temporary Use of Right-of-Way Permit.</li> <li>The maximum sidewalk cross slope is 2% and the recommended slope is 1.75%. Building</li> </ul>
			<ul> <li>Permit plans shall provide specifications for the ADA compliant ramps at the sidewalk corners.</li> <li>The proposed curb on Fourth Street should match the design of the existing curb west of</li> </ul>
			Walnut Avenue (valley gutter) or a 6" rolled curb. The applicant has submitted revised 6" vertical curb to be reviewed and approved by the Streets Department prior to issuance of a building permit for the project.
			Utilities:
			<ul> <li>All drywells and non-potable water lines must maintain legal separation from potable water lines.</li> </ul>
			The proposed plans for fire riser room, which is where the water meter for the main library is sited, shall be reviewed and approved by the Utilities Department.
			<ul> <li>During the relocation of the fire hydrant, the Children's Library will be without water as well as the fire suppression system.</li> </ul>
			Parks/Arborist:
			In order to approve the proposed siting of the street trees on 4th Street, the Planning &
	$\boxtimes$		Building Department requires a Sidewalk Easement Agreement in order to ensure safe
			passage of pedestrian and bicycle traffic. The street trees and easement agreement must be reviewed and approved by the City Arborist.
			ADA Consultant:
			The following specifications and action items must be addressed by the applicant prior to issuance of a building permit for the project:
			<ul> <li>Parking: The accessible parking requires curb cuts for the access aisle as well as slope and elevations indicated at 2% or less in all directions.</li> </ul>
			<ul> <li>Entrances: At the Spruce entrance, the existing ramp is not noted on the submittal drawings.</li> <li>Will the existing ramp be modified with this proposal? If modifications are proposed, confirm an accessible path to the entry landing as well as the proposed slope. What is the accessible route of travel at the Walnut Avenue entrance? Will accessible parking on Walnut Avenue be</li> </ul>
			provided to access the Children's Library?
$\boxtimes$			<ul> <li>Sidewalk: Confirm a consistent flow of traffic with a 36" minimum width for one direction as well as an unobstructed passageway.</li> </ul>
			Stone Slab Benches: Confirm accessible wheelchair access and a 36" x 48" space adjacent to the end of each bench.
			Hemingway Patio: Stairs are noted adjacent to the patio. Will a wheelchair accessible access be provided?
			Ramp: Provide the elevation of the ramp landing as well as the dimensions (5' x 5' minimum) and confirm handrails.
			<ul> <li>Fire Pit: Confirm accessible pathway to access the fire pit for wheelchair or mobility device users.</li> </ul>
			<ul> <li>Restrooms: Provide room dimensions and confirm that the transfer area is free from protruding objects.</li> </ul>
$\boxtimes$			Building:
			The building must meet 2012 International Building Code.
$\boxtimes$			Planning and Zoning: Comments are denoted throughout the Staff Report.
1	1	1	Comments are denoted unroughout the stajj neport.

### **Table 3: Zoning Standard Analysis**

Compliance with Zoning Standards			
Compliant	Standards and Staff Comments		

Yes	No	N/A	Guideline	City Standards and Staff Comm	nents																		
$\boxtimes$			17.12.040	Minimum Lot Area																			
			Staff Comments	Required: 5,500 square feet mi																			
				<b>Existing</b> : 53,598 square feet exi	• .																		
			17.124.040	(Application Form indi		ea is 54,450 sq ft)																	
$\boxtimes$			Staff Comments	Floor Area Ratios and Commun		ial Sub district (CC C)																	
			Stujj comments	Permitted in Community Core Permitted Gross FAR: 1.0	Orban Resident	iai Sub-district (CC-C)																	
				remitted Gross FAN. 1.0																			
				Proposed:																			
				Total Flo	oor Area																		
					Proposed (sq	Existing (sq																	
					ft)	ft)																	
				Lower Level	3,928	3,856																	
				Main Floor	23,834	21,719																	
				Mezzanine	881	881																	
				Total Floor Area	28,643	26,456																	
					-,-	-,																	
				Proposed FAR																			
				FAR: 28,643 sq ft gross floor are	ea/53,598 sq ft	lot area=.53 FAR																	
$\boxtimes$			17.12.030	Minimum Building Setbacks																			
			Staff Comments	Required:																			
				Front Main Library (Spruce Stre																			
				Front Children's Library (Walnu Side (Fourth Street): 0'	t Avej: 5 avera <u>c</u>	je																	
				Side (Fifth Street): 0'																			
				Cantilevered decks and overhar	ngs: 0′																		
				Proposed:	.) =/																		
													Front Main Library (Spruce Stre Front Children's Library (Walnu	, -									
				Side (Fourth Street): N/C	l Avej. N/C																		
				Side (Fifth Street): N/C																			
$\boxtimes$			17.12.030	Building Height																			
			Staff Comments	Maximum Permitted: 42'																			
				Proposed: 30'																			
		$\boxtimes$	$\boxtimes$	$\boxtimes$															17.125.030.H Staff Comments	Curb Cut			
																				Stujj Comments	Required:	tage of any street	et frontage can be devoted to access to
										off street parking.	age of any stree	trifformage can be devoted to decess to											
				Proposed: 12%																			
$\boxtimes$			17.125.40	Parking Spaces																			
			Staff Comments	§17.125.020(A)(2). Any existing																			
						quired only to serve the enlarged or																	
				expanded area, not the entire b		landation of																	
				17.125.040 Off Street Parking	ana Loaaing Cai	iculations:																	
				Non-residential, in zonina disti	ricts other than	<b>LI-1, LI-2, and LI-3:</b> 1 parking space per																	
				1,000 gross square feet.		, , , , , , , , , , , , , , , , , , , ,																	
					-	ic Building." A "Place of Assembly" is																	
						where persons gather for the purposes																	
					has defined add	ditions to the Community Library as an																	
				assembly use.																			
		L	<u> </u>	1																			

				C. Exceptions: e. The first five thousand five hundred (5,500) gross square feet for new assembly uses.  Required: The proposed new addition of 2,187 sq ft is exempt as it is less than 5,500 sq ft.  Proposed: 17 parking spaces, including 2 ADA parking spaces. 6 existing spaces are proposed to be removed from the existing Children's Library parking lot.		
$\boxtimes$			17.18.130 & 17.18.20	Zoning Matrix		
					Staff Comments	17.18.130: Community Core District  A. Purpose: The purpose of the CC community core district is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum's historical and geographic context while providing diversity.  Compatible mixed uses including retail, office, residential and cultural uses are encouraged.  Commercial uses are concentrated in the CC district which is consistent with the city's comprehensive plan and the downtown master plan.
				17.08.020 – Definitions  ASSEMBLY, PLACE OF: The use of land for a meeting place where persons gather together for purposes of attending civic, social, religious functions, recreational events or entertainment performances on a regular or recurring basis including, but not limited to, religious institutions, banquet facilities, funeral homes, theaters, conference centers, stadiums, or indoor or outdoor recreational facilities, but excludes a "cultural facility" as defined by this chapter. A gathering of less than twenty five (25) persons shall not be considered a place of assembly provided the gathering is accessory and incidental to the principal use.		
				<b>CIVIC BUILDING</b> : Buildings of, relating to, or belonging to a city or citizenship; municipal or civil including, but not limited to, city hall, post office, public library, public schools and public recreation centers.		
				<b>CULTURAL FACILITY</b> : An institution or the use of land for the display, preservation, or exhibition of art, scientific, cultural, or historical materials including, but not limited to, museums, libraries or art galleries.		

**Table 4: Design Review Standards for all projects** 

	Design Review Requirements				
				IMPROVEMENTS AND STANDARDS: 17.96.060	
Yes	No	N/A	City Code	City Standards and Staff Comments	
$\boxtimes$			17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.	
			Staff Comments	The property is located on Block 89 of Ketchum Townsite between Fifth and Fourth	
				Streets and Walnut and Spruce Avenues. This standard has been met.	
$\boxtimes$			17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.	
			Staff Comments	The applicant has proposed raising the grade and improving the north side of Fourth Street. The Streets Department has reviewed and approved the preliminary design. Final design of the street and sidewalk improvements shall be reviewed and approved by the Public Works Department prior to issuance of a building permit for the project.	
$\boxtimes$			17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.	
			Staff Comments	The applicant has proposed replacing the existing sidewalk, curb, and gutter along Walnut Avenue, Fourth Street, and Spruce Avenue.	

$\boxtimes$		17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City
			Engineer may reduce or increase the sidewalk width and design standard
			requirements at their discretion.
			The proposed sidewalk design requires a Sidewalk Easement Agreement.
	$\boxtimes$	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met:
			a. The project comprises an addition of less than 250 square feet of
			conditioned space.
			b. The City Engineer finds that sidewalks are not necessary because of existing
			geographic limitations, pedestrian traffic on the street does not warrant a
			sidewalk, or if a sidewalk would not be beneficial to the general welfare
			and safety of the public.
			N/A.
		17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the
			subject property line(s) adjacent to any public street or private street.
		Staff Comments	The length of the sidewalk complies with this requirement but the proposed design
			requires a Sidewalk Easement Agreement.
$\boxtimes$		17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or
			future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to
			provide safe pedestrian access to and around a building.
		Staff Comments	The proposed sidewalks enhance pedestrian connectivity. A Sidewalk Easement
			Agreement is required in order to ensure safe passage of pedestrian and bicycle traffic.
			The street trees and easement agreement must be reviewed and approved by the
			Public Works Department and the City Arborist.
	$\boxtimes$	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above
			described improvements, which contributions must be segregated by the City and
			not used for any purpose other than the provision of these improvements. The
			contribution amount shall be one hundred ten percent (110%) of the estimated costs
			of concrete sidewalk and drainage improvements provided by a qualified contractor,
			plus associated engineering costs, as approved by the City Engineer. Any approved
			in-lieu contribution shall be paid before the City issues a certificate of occupancy.
		Staff Comments	N/A, Staff does not recommend a voluntary cash contribution in-lieu of improvements
			for this project.
		17.96.060(C)(1)	All storm water shall be retained on site.
		Staff Comments	The applicant has satisfied this requirement. All storm water shall be retained on site.
П	П	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject
			property lines adjacent to any public street or private street.
		Staff Comments	See above Staff comment for Ketchum City Code §17.96.060(C)(1). All drainage
			improvements meet this requirement.
П	$\boxtimes$	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary,
			depending on the unique characteristics of a site.
		Staff Comments	Additional drainage improvements are not recommended at this time.
П	П		Drainage facilities shall be constructed per City standards.
			See above Staff comment for Ketchum City Code §17.96.060(C)(1).The proposed
			drainage facilities satisfy this requirement. The Public Works Department has reviewed
			the drainage facilities and has no concerns at this time.
$\overline{\Box}$		17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the
Ш			sole expense of the applicant.
		Staff Comments	The applicant is aware of this requirement and the plans show all utility locations. See
		,	Table 1 for Staff comment from the Utilities Department.
		17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines
		Staff Comments	within the development site shall be concealed from public view.
		Staff Comments	All utilities shall be located underground and concealed from public view. See Table 1
		Staff Comments 17.96.060(D)(3)	
			Staff Comments

				the fiber optical conduit shall be done in accordance with city of Ketchum standards
				and at the discretion of the City Engineer.
			Staff Comments	The applicant is aware of this requirement and will comply with these standards.
$\boxtimes$			17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the
				townscape, surrounding neighborhoods and adjoining structures.
			Staff Comments	Exterior materials will match the existing structure and include wood siding, board
			,	formed concrete, wood columns, and windows with curtain wall glazing.
			17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where
		$\boxtimes$		applicable. A significant landmark is one which gives historical and/or cultural
				importance to the neighborhood and/or community.
			Staff Comments	N/A. There are no identified landmarks on the property.
			17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design
		$\boxtimes$		and use similar material and finishes of the building being added to.
			Staff Comments	N/A.
[Z]			17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and
$\boxtimes$			= 1.55.555(1.7(=)	the entryway shall be clearly defined.
			Staff Comments	The project enhances the entryways to the main library as well as the children's library.
				Unobstructed pedestrian access is provided to and from the building.
			17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
$\boxtimes$			Staff Comments	
			Stajj comments	The facades incorporate horizontal panel siding, windows, board formed concrete, and
				wood columns to provide undulation and relief and to reduce the appearance of bulk
				and flatness. The landscape design including the plazas and gardens will provide variation and visual interest.
		_	17.96.060(F)(3)	
$\boxtimes$			Staff Comments	The proposed materials, colors and signing within the project.
			Stajj comments	The proposed materials, colors, and signing of the project satisfy this requirement. The
				proposed materials for the expansion and renovation project match the existing exterior of the Community Library.
<b>N</b>	_		17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall
$\boxtimes$			17.50.000(1)(4)	match or complement the principal building.
			Staff Comments	
			Stay, comments	The landscape features including the plantings, gardens, plazas, and site walls complement the library and will provide the community with unique outdoor spaces to
				enjoy.
	_	_	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk
$\boxtimes$			27.50.000(1,7(5)	and flatness.
			Staff Comments	The proposed elevation views provided by the applicant show that all building walls
				provide undulation and relief, serving to reduce the appearance of bulk and flatness at
				all façades. The applicant is proposing a variation in architectural features along all
				façades, which serves to provide depth and reduce the appearance of bulk and
				flatness.
$\boxtimes$			17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			Staff Comments	The main library is oriented towards Spruce Avenue and the children's library is
				oriented towards Walnut Avenue.
$\nabla$			17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and
$\boxtimes$				located off alleys.
			Staff Comments	Sheet A2.1 of the submittal indicates that the dumpster will be screened with a metal
				and wood trash enclosure.
			17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or
$\boxtimes$				snow to slide on areas where pedestrians gather and circulate or onto adjacent
				properties.
			Staff Comments	The applicant shall install snow retention devices on the roof as necessary to prevent
			Stajj comments	snow from sliding on areas where pedestrians gather.
[Z]	+		17.96.060(G)(1)	
$\boxtimes$			17.50.000(0)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing
			Staff Comments	and anticipated easements and pathways.
			Jujj Comments	The existing pedestrian and bicycle access connects with adjacent, existing sidewalks
				and pathways.

		$\boxtimes$	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel
				lanes within the right of way.
			Staff Comments	Per City Code: 17.08.020, an <b>awning</b> is defined as a covered architectural projection
				that extends from the exterior wall of a building for the purpose of providing shade,
				shelter or aesthetic value to the building facade. The proposed upper-level terrace does
				not fall into this category as it is sited above the enclosed first-floor.
	$\boxtimes$		17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes
		—		vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to
				adequate sight distances and proper signage.
			Staff Comments	The existing parking lot is accessed from Spruce Avenue and traffic flows safely. The
				City requires a Sidewalk Easement Agreement in order to ensure safe passage of
				pedestrian and bicycle traffic.
		$\boxtimes$	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the
				nearest intersection of two or more streets, as measured along the property line
				adjacent to the right of way. Due to site conditions or current/projected traffic levels
			Staff Comments	or speed, the City Engineer may increase the minimum distance requirements.
			Stujj Comments	The applicant has proposed maintaining the existing curb cut along Spruce Avenue.
				The Public Works Department has reviewed and approved the entrance to the parking
	+	<u> </u>	17.06.060/C\(\f\)	lot.
$\boxtimes$			17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage
				trucks and similar service vehicles to all necessary locations within the proposed
			s: "a	project.
			Staff Comments	Emergency and service vehicles can access the site 4 <sup>th</sup> St, 5 <sup>th</sup> St, Walnut Ave, and
				Spruce Ave,, providing unobstructed access for emergency vehicles, snowplows, and
				garbage trucks.
	$\boxtimes$		17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved
				parking and pedestrian circulation areas.
			Staff Comments	The applicant must provide snow storage calculations.
	$\boxtimes$		17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			Staff Comments	The applicant must provide a snow storage area on-site.
	$\boxtimes$		17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet
				and shall be a minimum of twenty five (25) square feet.
			Staff Comments	The proposed snow storage areas must meet this requirement.
		$\boxtimes$	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be
				allowed.
			Staff Comments	N/A
$\boxtimes$			17.96.060(I)(1)	Landscaping is required for all projects.
			Staff Comments	The landscape plan is provided on Sheet L3.0 and L3.1 of the submittal
			17.96.060(I)(2)	
	$\boxtimes$		17.50.000(1)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a
				site's microclimate, soil conditions, orientation and aspect, and shall serve to
			Staff Comments	enhance and complement the neighborhood and townscape.
			Stajj Comments	The City Arborist has approved the materials and vegetation types. See above Staff
				comment for Ketchum City Code §17.96.060(I)(1). The street trees and sidewalk
	<del>  </del>		47.00.000/1/01	easement agreement must be reviewed and approved by the City Arborist.
$\boxtimes$			17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are
			c. # -	recommended but not required.
			Staff Comments	The proposed landscaping includes evergreen and deciduous trees, shrubs, ornamental
				grasses, fescue sod lawn, and perennial planting beds. See above Staff comment for
	1			Ketchum City Code §17.96.060(I)(1).
		1		
$\boxtimes$			17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not
×			17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped
$\boxtimes$			17.96.060(I)(4)	

	Staff Comments	The landscaping vegetation, site walls, plazas, and gardens provide a buffer between the library and adjacent land uses. The applicant has proposed plazas along 4 <sup>th</sup> St, a plaza at the main library entrance, a patio, discovery garden, and a contemplative rock garden.
	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
	Staff Comments	The applicant has proposed benches, an interactive sculpture, a hydration station, and an information post.

### **Table 5: Design Review Standards for Community Core Projects**

### **IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects**

In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core district. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the Community Core.

	Community Core.				
Yes	No	N/A	City Code	City Standards and Staff Comments	
	$\boxtimes$		17.96.070 A(1)	Street trees, street lights, street furnishings, and all other street improvements shall	
				be installed or constructed as determined by the Public Works Department.	
			Staff Comments	The street trees and sidewalk easement agreement must be reviewed and approved by	
				the Public Works Department and the City Arborist.	
	$\boxtimes$		17.96.070(A)(2)	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree	
			Streets	grates.	
			Staff Comments	The City Arborist has not approved the location of the proposed trees on 4 <sup>th</sup> Street or the	
				decorative tree grates.	
		$\boxtimes$	17.96.070(A)(3)	Due to site constraints, the requirements if this subsection 17.96.070. (A) may be	
				modified by the Public Works Department.	
			Staff Comments	N/A as the Public Works Department has not waived the requirements of	
				§17.96.070(A).	
$\boxtimes$			17.96.070 (B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior	
				side property line shall be designed with both solid surfaces and window openings	
				to avoid the creation of blank walls and employ similar architectural elements,	
				materials, and colors as the front façade.	
			Staff Comments	All building facades have been designed to include both solid surfaces and	
				window/door openings intended to avoid the creation of blank walls. Similar	
				architectural elements used to create uniformity include gabled roofs, vertical siding,	
				and windows with curtain wall glazing.	
$\boxtimes$			17.96.070 (B)(2)	For nonresidential portions of buildings, front building facades and facades fronting	
				a pedestrian walkway shall be designed with ground floor storefront windows and	
				doors with clear transparent glass. Landscaping planters shall be incorporated into	
				facades fronting pedestrian walkways.	
			Staff Comments	Windows and doors into the main entrances of the main and children's library are	
				proposed. A recessed shade garden, perennial beds, ornamental grasses, shrubs, and a	
				discovery garden are incorporated into the project design.	
$\boxtimes$			17.96.070 (B)(3)	For nonresidential portions of buildings, front facades shall be designed to not	
			o: "a	obscure views into windows.	
			Staff Comments	The design of the facades fronting Walnut and Spruce Avenues do not obscure views	
				into windows.	
$\boxtimes$			17.96.070 (B)(4)	Roofing forms and materials shall be compatible with the overall style and character	
			a	of the structure. Reflective materials are prohibited.	
			Staff Comments	The applicant has proposed a pitched roof, which is compatible with the existing roof	
				and the overall style and character of the structure.	

$\boxtimes$			17.96.070 (B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips,
				gutters, and downspouts.
			Staff Comments	Snow retention devices, gutters, and downspouts shall be installed on all sloped roofs.
×			17.96.070 (B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk.  Roof overhangs that extend over the public sidewalk shall be approved by the Public
				Works Department.
			Staff Comments	No roof overhangs over a public sidewalk are proposed.
		$\boxtimes$	17.96.070 (B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or
				temporary walls, windows, window screens, or plastic or fabric materials.
			Staff Comments	N/A. Front porches and stoops located on the ground floor are not proposed at this
				time. The plazas adjacent to entryway are unenclosed.
$\boxtimes$			17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking
				garages or to the rear of buildings. Trash disposal areas shall not be located within
				the public right of way and shall be screened from public views.
			Staff Comments	The plans indicate that the dumpster will be screened from public view.
$\boxtimes$			17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully
				screened from public view. Screening shall be compatible with the overall building
			Staff Carray and the	design.
			Staff Comments	All roof and ground mounted mechanical and electrical equipment shall be fully
				screened from public view. Roof mounted mechanical equipment will not exceed ten-
				feet (10') over the maximum building height and must be set back a minimum of ten-
				feet (10)' from property lines. The final screening, location, and height of all ground
				and roof mounted mechanical equipment shall be approved upon final inspection and
$\boxtimes$			17.96.070(D)(1)	prior to the issuance of a building permit.  When a healthy and mature tree is removed from a site, it shall be replaced with a
			= 1100.070(= /(= /	new tree. Replacement trees may occur on or off site.
			Staff Comments	Existing trees to be removed to accommodate the addition and renovation project are
			~	shown on Sheet L-1.1 of the design review submittal. Replacement trees include
				Subalpine Fir, Lodgepole Pine, Limber Pine, Mugo Tannenbaum Pine, Ponderosa Pine,
				Autumn Blaze Maple, European White Birch, Russian Hawthorne, and Flowering
				Crabapples. The siting of the proposed replacement trees is indicated on Sheet L-3.0 of
				the design review submittal.
	$\boxtimes$		17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be
				placed within tree wells that are covered by tree grates.
			Staff Comments	The City Arborist must review and approved the proposed siting and species of the
				street trees proposed along Fourth Street as well as the decorative tree grates.
	$\boxtimes$		17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
			Staff Comments	The City Arborists has approved the proposed replacement trees. Approval of the
				proposed street trees along Fourth Street is pending submittal of a Sidewalk Easement
				Agreement to ensure safe passage for pedestrian and bicycle traffic.
$\boxtimes$			17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened
			Staff Carray and the	from the street.
			Staff Comments	The subject Block 89 is not located adjacent to an alley. The applicant has proposed
				replacing the existing wood retaining structure adjacent to the parking lot along Fifth
	<del></del>		17.96.070(E)(2)	Street and screening with planting bed, shrubs, and Mugo Pine trees.
			17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree
				per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters,
				tree wells and/or diamond shaped planter boxes located between parking rows.
				Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			Staff Comments	The applicant has proposed installing 10 Mugo Pine trees adjacent to the parking lot.
			17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and
				planter boxes. Tree grates or landscaping may be used in tree wells located within
				pedestrian walkways.
			Staff Comments	All on-site ground cover and low lying shrubs shall be planted within planters and
				planter boxes, in conformance with this standard. Approval of the proposed street
	1	1	I	F.a. 20,000, in conjumence with this standard. Approval of the proposed street

			trees on Fourth Street and the decorative grates is pending the submittal of a Sidewalk Easement Agreement.
$\boxtimes$		17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided
			for every four (4) parking spaces as required by the proposed use. At a minimum,
			one (1) bicycle rack shall be required per development.
		Staff Comments	The applicant is proposing the installation of five bike racks. The bike racks are located
			at the main library entrance adjacent to Spruce Avenue, at the corner of Fourth Street
			and Walnut Avenue, and adjacent to the parking lot.
$\boxtimes$		17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this
			section results in a fractional number, a fraction equal to or greater than one-half
			(1/2) shall be adjusted to the next highest whole number.
		Staff Comments	See Staff comment above. The fraction of the calculation is not equal to or greater
			than one-half.
$\boxtimes$		17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not
			mounted less than fifty (50') feet from said entrance or as close as the nearest non-
			ADA parking space, whichever is closest. Bicycle racks shall be located to achieve
			unobstructed access from the public right-of-way and not in areas requiring access
			via stairways or other major obstacles.
		Staff Comments	The bicycle racks are located no less than fifty-feet (50') from entrance of the building.
			The bike racks will be visible from the front entrance of the proposed building.

### **STAFF RECOMMENDATION**

Staff recommends that the subject design review application for the Community Library Renovation & Expansion project be continued to a date certain.

### **COMMISSION OPTIONS**

- Move to approve the design review application for the Community Library Renovation & Expansion project and draft findings supporting approval.
- Move to deny the design review application for the Onyx at Leadville residential project and draft findings supporting denial.

### **ATTACHMENTS:**

- A. Application Form
- B. Plans

### ATTACHMENT D. MEMORANDUM MARCH 27<sup>th</sup>, 2018



# MEMORANDUM KETCHUM PLANNING AND ZONING COMMISSION SPECIAL MEETING OF MARCH 27<sup>th</sup>, 2018

**PROJECT:** Community Library Renovation & Expansion

**FILE NUMBER:** #18-008

**OWNERS:** Community Library Association

**REPRESENTATIVE:** Humphries Poli Architects

**REQUEST:** Design Review approval for renovations, exterior alterations, and a 2,187 sq ft addition

to the Community Library.

**LOCATION:** 415 N. Spruce Avenue

(Lot 1B, Block 89, Ketchum Townsite)

**NOTICE:** Notice was mailed to adjacent property owners on March 14<sup>th</sup>, 2018.

**ZONING:** Community Core Urban Residential Sub-district (CC-C)

**REVIEWER:** Abby Rivin, Associate Planner

### **BACKGROUND:**

Following publication of the Staff Report for the Community Library Renovation & Expansion project, the applicant submitted revised drawings that addressed each of the outstanding action items. This memorandum updates Staff's analysis based on the revised submittal drawings. As the applicant has addressed the outstanding action items to the satisfaction of the Planning & Building Department, Staff has changed the recommendation contained in the Staff Report. Staff now recommends approval of the design review application for the Community Library Renovation & Expansion project.

#### **ANALYSIS:**

Staff recommends approval of the design review application for the Community Library Renovation & Expansion project. A full analysis and explanation of this recommendation is detailed within the memorandum.

The outstanding action items identified in the Staff Report for the Community Library Renovation & Expansion project have been addressed by the applicant as follows:

In order to approve the proposed siting and species of the street trees on 4<sup>th</sup> Street, the Planning & Building Department requires a Sidewalk Easement Agreement in order to ensure safe passage of pedestrian and bicycle traffic. The street trees and easement agreement must be reviewed and approved by the Public Works Department and the City Arborist.

The applicant has provided a revised Site Plan (Sheet L1.0) indicating the location of the proposed sidewalk easement. Staff has added two recommended conditions of approval pertaining to the proposed street trees on 4<sup>th</sup> Street: (1) the siting and species of the proposed street trees requires review and approval by the Public Works Department and City Arborist prior to issuance of a building permit for the project and (2) a sidewalk easement agreement between the City of Ketchum and the property owner must be signed and recorded prior to issuance of a Certificate of Completion for the project.

The siting and design of the relocated fire hydrant at the corner of 4<sup>th</sup> Street and Walnut must be submitted to the Planning & Building Department to be reviewed and approved by the Fire Code Official.

The applicant has indicated the location of the relocated fire hydrant on the revised Site Plan (Sheet L-1.1). Staff has added a recommended condition of approval that specifications for the fire hydrant at the corner of 4<sup>th</sup> Street and Walnut Avenue must be reviewed and approved by the Fire Code Official prior to issuance of a building permit for the project.

The applicant must provide calculations for snow storage. Ketchum City Code §17.96.060(H) requires that snow storage areas shall not be less than 30% of the improved parking and pedestrian circulation areas. In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.

The applicant has provided a snow melt system at the entrances of both the children's library and the main library as well as the sidewalk adjacent to the parking lot and the entry plaza along Spruce Avenue. The pedestrian circulation areas proposed to include a snowmelt system are outlined in red on revised Site Plan (Sheet L-1.0). The snow in the parking lot will be hauled off-site. The snow located in other hardscape areas (Discovery Garden, plaza adjacent to the children's library, Hemingway Veranda, Contemplative Rock Garden, and Spin's Garden) will be stored on site.

Staff has amended the following comments and analysis in Tables 2, 4, and 5 of the Staff Report based on the updated submittal drawings.

**Table 2. Requirements for All Applications** 

	City Department Comments							
С	Compliant							
Yes	No	N/A	City Code	City Standards and Staff Comments				
$\boxtimes$			17.96.040	Complete Application				
			#1125 requirer of Building Per work stoppage The above pro Building and Fi Approved addi road fronting t their backgrou  Vehicle parking access to any maintained cle	al Contractor's responsibility to understand and adhere to all Fire Protection Ordinance ments in addition to any and all other City of Ketchum requirements in effect at the time mit issuance. Failure to comply with all local ordinances and codes may result in project as well as criminal penalties.  ject shall meet all 2012 International Fire Code requirements in addition to specific City				

The existing required fire sprinkler system shall be modified by a licensed fire sprinkler contractor to meet the current requirements of NFPA 13. All areas are required to be covered with fire sprinklers. Relocation of "Fire Department Sprinkler Connections" shall be approved prior to construction. Plans for the relocation for the fire hydrant at Fourth Street and Walnut Avenue will have to be approved prior to construction. The appropriate keys, for emergency fire department access, shall be provided and installed in the existing Knox box. Inspections of fire department permit required installations shall be scheduled at least 48 hours in The existing required monitored alarm system shall be modified by a licensed fire alarm contractor to meet the current requirements of NFPA 72 and Ketchum Ordinance #1125. An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org. Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org. **Streets Department:** The construction management plan shall be revised to show specifications and a scaled drawing for the barricades to be placed within the right-of-way. Temporary traffic control signs must be installed to direct motorized, bicycle, and pedestrian traffic. The project requires review and approval of a Temporary Use of Right-of-Way Permit. The maximum sidewalk cross slope is 2% and the recommended slope is 1.75%. Building XPermit plans shall provide specifications for the ADA compliant ramps at the sidewalk corners. The proposed curb on Fourth Street should match the design of the existing curb west of Walnut Avenue (valley gutter) or a 6" rolled curb. The applicant has submitted revised 6" vertical curb to be reviewed and approved by the Streets Department prior to issuance of a building permit for the project. The siting of the proposed street trees shall be reviewed and approved by the Streets Department prior to issuance of a building permit for the project. Parks/Arborist: The siting and species of the proposed street trees on 4<sup>th</sup> Street shall be reviewed and  $\boxtimes$ approved by the City Arborist prior to issuance of a building permit for the project. The Sidewalk Easement Agreement between the City of Ketchum and the property owner shall be signed and recorded prior to issuance of a Certificate of Completion for the project

Table 4: Design Review Standards for all projects

	9 1 7					
	Design Review Requirements					
	IMPROVEMENTS AND STANDARDS: 17.96.060					
Yes	es No N/A City Code City Standards and Staff Comments					
$\boxtimes$			17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City		
				Engineer may reduce or increase the sidewalk width and design standard		
				requirements at their discretion.		
			Staff Comments	The proposed sidewalk design requires a Sidewalk Easement Agreement to be signed		
				and recorded prior to issuance of a Certificate of Completion for the project.		

		I	47.00.000 (D)(E)	I
$\boxtimes$	Ш		17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or
				future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to
				provide safe pedestrian access to and around a building.
			Staff Comments	The proposed sidewalks enhance pedestrian connectivity. A Sidewalk Easement
				Agreement is required in order to ensure safe passage of pedestrian and bicycle traffic.
				The siting and species of the proposed street trees must be reviewed and approved by
				the Public Works Department and the City Arborist prior to issuance of a building
				permit for the project.
$\boxtimes$			17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes
				vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to
				adequate sight distances and proper signage.
			Staff Comments	The existing parking lot is accessed from Spruce Avenue and traffic flows safely. The
				City requires a Sidewalk Easement Agreement in order to ensure safe passage of
				pedestrian and bicycle traffic to be signed and recorded prior to issuance of a
				Certificate of Completion for the project.
$\boxtimes$			17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved
				parking and pedestrian circulation areas.
			Staff Comments	The applicant has provided snow storage on-site, a snowmelt system, as well as
				hauling snow off site in order to satisfy this requirement.
$\boxtimes$			17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			Staff Comments	The applicant has provided snow storage on-site. The Discovery Garden, plaza adjacent
				to the children's library, Hemingway Veranda, Contemplative Rock Garden, and Spin's
				Garden will be utilized for snow storage.
$\boxtimes$			17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet
				and shall be a minimum of twenty five (25) square feet.
			Staff Comments	The proposed snow storage areas meet this requirement.
$\boxtimes$			17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be
				allowed.
			Staff Comments	The applicant has provided a snow melt system at the entrances to both the children's
				library and the main library as well as the sidewalk adjacent to the parking lot and the
				entry plaza along Spruce Avenue. Snow from the parking lot will be hauled off-site.
$\boxtimes$			17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a
				site's microclimate, soil conditions, orientation and aspect, and shall serve to
				enhance and complement the neighborhood and townscape.
			Staff Comments	The City Arborist has approved the materials and vegetation types. The species and
				siting of the proposed street trees along Fourth Street shall be reviewed and approved
				by the City Arborist prior to issuance of a building permit for the project.
	•	•	•	· · · · · · · · · · · · · · · · · · ·

### **Table 5: Design Review Standards for Community Core Projects**

#### IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core district. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the Community Core. No N/A **City Code** City Standards and Staff Comments Yes 17.96.070 A(1) Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department. Staff Comments The siting and species of the proposed street trees must be reviewed and approved by the Public Works Department and the City Arborist prior to issuance of a building permit for the project. All street improvements will be reviewed by the Public Works Department prior to issuance of a building permit for the project. 17.96.070(A)(2) $\boxtimes$ Street trees with a minimum caliper size of three (3") inches, shall be placed in tree Streets grates. Staff Comments The siting and species of the proposed street trees along 4<sup>th</sup> St shall be reviewed and approved by the Public Works Department and City Arborist prior to issuance of a

			building permit for the project. Tree grates must be reviewed and approved by the City
			Arborist prior to installation.
$\boxtimes$		17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be
			placed within tree wells that are covered by tree grates.
		Staff Comments	The City Arborist must review and approve the proposed siting and species of the
			street trees proposed along Fourth Street as well as the decorative tree grates prior to
			issuance of a building permit for the project.
$\boxtimes$		17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
		Staff Comments	The City Arborists has approved the proposed replacement trees. The proposed street
			trees along 4 <sup>th</sup> St shall be reviewed and approved by the City Arborist prior to issuance
			of a building permit for the project.
$\boxtimes$		17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and
			planter boxes. Tree grates or landscaping may be used in tree wells located within
			pedestrian walkways.
		Staff Comments	All on-site ground cover and low lying shrubs shall be planted within planters and
			planter boxes, in conformance with this standard. The species and siting of the street
			trees along 4 <sup>th</sup> St as well as the decorative grates shall be reviewed and approved by
			the City Arborist prior to issuance of a building permit for the project.

### STAFF RECOMMENDATION

Staff recommends approval of the Community Library Renovation & Expansion project design review application, subject to conditions 1-14 listed below.

### **COMMISSION OPTIONS**

- Move to continue review of the design review application for the Community Library Renovation & Expansion project to a date certain.
- Move to deny the design review application for the Community Library Renovation & Expansion project and draft findings supporting denial.

### RECOMMENDED CONDITIONS

- 1. All departmental conditions as described in Tables 2, 3, 4, and 5;
- 2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal:
- 3. All building and fire code requirements as dictated by 2012 family of international codes shall apply to all construction onsite;
- 4. Per Title 17, Section 17.96.090: TERM OF APPROVAL: The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations;
- 5. All Design Review elements shall be completed prior to final inspection/occupancy;
- 6. Any work in the right-of-way will require a right-of-way encroachment permit, reviewed and approved by the City before installation;
- 7. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and approved prior the issuance of a Certificate of Occupancy;
- 8. Prior to the issuance of a building permit, the applicant shall verify that all proposed mechanical equipment affixed to the roof of the proposed building is no greater than ten feet in height (10'), and setback ten feet (10') from the property line and fully screened from public view;
- 9. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a building permit is submitted for the project;

- 10. All utilities standards shall be met prior to the issuance of a building permit;
- 11. Specifications for the relocated fire hydrant at the corner of 4<sup>th</sup> Street and Walnut Avenue shall be reviewed and approved by the Fire Code Official prior to issuance of a building permit for the project;
- 12. The siting and species of the proposed street trees on 4<sup>th</sup> Street as well as the proposed decorative tree grates shall be reviewed and approved by the Public Works Department and City Arborist prior to issuance of a building permit for the project;
- 13. A sidewalk easement agreement between the City of Ketchum and the property owner shall be signed and recorded prior to issuance of a Certificate of Completion for the project; and
- 14. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

### **ATTACHMENTS:**

A. Updated Submittal Drawings

# ATTACHMENT E. PUBLIC COMMENT

Susan & Gary Martin 480 North Walnut Avenue Ketchum, ID 83340 (208)928-7744

# **Mailing Address**

Gary A. Martin c/o: Harvard Investment Company 805 Veterans Blvd., Suite 200 Redwood City, CA 94063 (650)365-4345, ext. 305

April 4, 2018

Ketchum Planning & Zoning Commission PO Box 2315 480 East Ave. North Ketchum, ID 83340

Subject: Proposed Community Library Renovation and Expansion

Dear Commissioners,

Now that the Library has been asked to complete the following items, we may all be able to get some idea of the significant and unnecessary environmental damage that the Library's proposed expansion will have on the existing open-space and trees. It does appear that construction on this project has begun, even though a permit has not been granted to date.

- 1. Stakes siting the new wall lines for its proposed additions (north and west elevations),
- 2. Stakes siting the second level of the proposed west entry which projects well beyond the actual ground plane wall line,
- 3. A story pole at the proposed west entry depicting west gable ridge height which allows one to envision the mass and location of the proposed second story addition, and
- 4. Flags (with ribbons) on all trees and shrubs that are proposed to be removed, including 5th Street, and the landscaping proposed to be removed between our home and the new west entry.

To minimize this damage, we propose that the Library respect and preserve, at least, the existing open-space and trees between (i) our property and the Children's Library breezeway and (ii) the Children's Library and North Walnut Ave. . . . which was the Library's intent until a few weeks ago.

Sincerely,

Susan Martin

AS OF THIS WRITING, THE LIBRARY STILL HAS NOT PROVIDED THE STAKES, POLE AND FLAGS OUTLINED ABOVE. WITHOUT THEM AND THE TIME NECESSARY TO RELFECT ON WHAT THEY REPRESENT, AN INFORMED DECISION IS IMPOSSIBLE.



April 9, 2018

Planning and Zoning Commission City of Ketchum Ketchum, Idaho

# STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION

**PROJECT:** Setback definition text amendment

FILE NUMBER: #P18-006

**APPLICANT:** Jonathan and Rebecca Neeley

**REPRESENTATIVE:** Michael Blash, AIA

**REQUEST:** Applicant-initiated text amendments to amend Title 17 of the Ketchum Municipal

Code by amending Section 17.08.020, Terms Defined, by removing the phrase "or below grade" from the definition of the term Setback; [additional complementary text amendments to code sections 17.96, 17.08.020, 17.88.050.E, 17.104.070.A, and

17.128.020 have been proposed by staff].

**NOTICE:** Notice for the March 12<sup>th</sup>, 2018 hearing appeared in the Idaho Mountain Express, was

mailed to outside agencies, and was posted in three (3) public locations on February

14, 2018.

Notice for the April 9, 2018 hearing appeared in the Idaho Mountain Express on March 21<sup>st</sup> 2018, was mailed to outside agencies, and was posted in three (3) public locations

on March 16<sup>th</sup>, 2018.

**PUBLIC HEARING:** Planning and Zoning Commission

March 12, 2018April 9, 2018

**REVIEWER:** Brittany Skelton, Senior Planner

**ATTACHMENTS:** A. Proposed text amendments

B. March 12, 2018 staff report

#### **INTRODUCTION**

Applicants Jonathan and Rebecca Neeley, represented by Michael Blash, AIA, initiated a zoning code text amendment to amend the definition of the term "setback" so that required setbacks would not apply to below grade structures. The applicant's proposed text amendment was as follows:

**SETBACK:** The minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above grade **or below grade** building or structure.

The Commission considered this request and staff analysis during a public hearing on March 12, 2018. The Commission directed staff to notice a public hearing for supplementary text amendments that would formalize an additional layer of review for below grade setback encroachments by requiring review of such encroachments as part of the permitting process.

The Commission directed staff ensure the following considerations were included in the supplementary text amendments:

- 1. Cross reference an intentional, formal review of below grade structures in the Design Review, Mountain Overlay, and Floodplain Development chapters of the zoning code;
- 2. Require a minimum setback for below grade structures, where applicable (the Light Industrial and Community Core zoning districts permit 0' setbacks from some property lines);
- 3. Create a standard to address landscaping and drainage; and
- 4. Clarify that below grade structures shall be located entirely below grade and shall not have above grade projections.

The supplemental text amendments, along with staff commentary, are contained in Attachment A.

The March 12, 2018 staff report is included as an attachment for reference.

#### **PUBLIC COMMENT**

At the time of publication of this staff report no written public comments have been received. Any written public comments received after publication will be distributed to the Commission and included in the record.

#### **CITY DEPARTMENT COMMENTS**

**Table 1. Comments from City Departments** 

	City Department Comments				
Com	plian	t	Standards and St	ndards and Staff Comments	
Yes	No	N/A		City Standards and Staff Comments	
$\boxtimes$				Complete Application	
				Fire Department:  • The proposed text amendment does not conflict with the Fire Code.	
$\boxtimes$				<ul> <li>Wo concern at this time, provided it is clear that below grade structures are not permitted to encroach into utility easements.</li> <li>Supports an Administrative Design Review f or below grade encroachments.</li> </ul>	

		Building:
$\boxtimes$		<ul> <li>No concern at this time; Building Code addresses issues such as fire wall separation, light and ventilation requirements for habitable space and egress/rescue openings.</li> </ul>
$\boxtimes$		Planning and Zoning:
		<ul> <li>Comments are denoted throughout the staff report.</li> </ul>

#### **COMPREHENSIVE PLAN ANALYSIS**

The Comprehensive Plan analysis contained in the March 12, 2018 staff report has not changed but is copied below for reference.

**Table 2. Comprehensive Plan Analysis** 

2014 Com	prehensive Plan Goals and Policy Analysis	
Goal/Policy and Page	Analysis of Amendment Request	Consistent with Comp Plan: Yes/No
Goal CD-1: Our community will preserve its small-town character and the distinct image of neighborhoods and districts.	Below grade structures will not impact the image and character of the above grade built environment.	Yes
Goal CD-2: Protect and enhance views of the surrounding mountains and natural features.	Below grade structures will not impact the views of surrounding mountains and natural features.	Yes
Goal LU-2 Support infill and redevelopment in the downtown, major activity areas and specific areas that can take advantage of proximity to services and transportation.	Infill and redevelopment is inherently challenging because it requires the new development to respond to the existing conditions on adjacent lots and in the vicinity. Permitting below grade structures to encroach into setbacks allows for flexibility and creativity that could aid infill and redevelopment.	Yes
Policy LU-2.2 Compatible Residential Infill	Allowing below grade structures to encroach into setbacks could support compatible residential infill because allowing additional square footage below grade could relieve pressure on small lots for above grade bulk and scale.  Below grade setback encroachment could also facilitate residential infill by making more lot area available for underground parking; Leadville at Onyx is a project that would have benefitted from this text amendment.	Yes
Policy HI 4.3 Innovative Community Practices	This Comprehensive Plan policy references collaborating with other organizations to create and model best practices; staff extends the idea of innovative community practices to zoning code regulations that are tailored to providing solutions to	Yes

	local challenges.	
	As proposed by the applicant there would be no	
Policy NR4.3 Riparian Resource	prohibition of below grade encroachment into riparian	
Protection	zones. For this reason staff does not recommend	No
	approval of the text amendment as proposed by the	
	applicant verbatim.	

#### STAFF RECOMMENDATION

Staff recommends forwarding the text amendments described in this staff report to City Council as presented, or with modifications, with a recommendation of approval.

#### **OPTIONAL MOTIONS**

1. "I MOVE TO RECOMMEND APPROVAL OF THE TEXT AMENDMENTS TO KETCHUM MUNICIPAL CODE SECTIONS 17.96, 17.08.020, 17.88.050.E, 17.104.070.A, AND 17.128.020 REGARDING ENCORACHMENTS OF BELOW GRADE STRUCTURES INTO REQIRED SETBACKS TO CITY COUNCIL AS PRESENTED IN THE STAFF REPORT, FINDING THE PROPOSED AMENDMENTS CONSISTENT WITH THE COMPREHENSIVE PLAN."

OR

2. "I MOVE TO RECOMMEND APPROVAL OF THE TEXT AMENDMENTS TO KETCHUM MUNICIPAL CODE SECTIONS 17.96, 17.08.020, 17.88.050.E, 17.104.070.A, AND 17.128.020 REGARDING ENCORACHMENTS OF BELOW GRADE STRUCTURES INTO REQIRED SETBACKS TO CITY COUNCIL AS PRESENTED IN THE STAFF REPORT, WITH THE FOLLOWING MODIFICATIONS [INSERT MODIFICATIONS], FINDING THE PROPOSED AMENDMENTS CONSISTENT WITH THE COMPREHENSIVE PLAN."

#### **ATTACHMENTS**

- A. Proposed text amendments
- B. March 12, 2018 staff report

### Attachment A.

**Proposed Text Amendments** 

#### **Proposed Text Amendments**

**Note:** Text that is <u>underlined</u> is new text that is proposed to be added. Text that is <u>stricken</u> is text that is proposed to be removed.

#### 17.08.020, Terms Defined

SETBACK: The minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above grade or below grade building or structure; below grade structures may encroach into required setbacks subject to Section 17.128.020.K.

#### 17.96, Design Review, Section 17.96.010, Applicability

A. Design Review: Design review is required for building, developing, or substantially altering the exterior of the following buildings or projects in all zoning districts:

- 1. Nonresidential use.
- 2. Public or semipublic use.
- 3. Multi-family dwellings, including attached and detached townhomes.
- 4. Mixed use.
- 5. Any structure with an original construction date of 1940 or earlier.
- 6. Any encroachment of a below grade structure in a required setback.

#### 17.96, Design Review, Section 17.96.030, Authority of the Administrator and the Commission

A. Authority Of The Administrator:

- 1. The Administrator is authorized to approve the following exterior modifications and projects, provided they do not conflict with the provisions and requirements of this chapter:
  - a. Minor modifications to projects that have received design review approval by the commission for the duration of a valid design review approval.
  - b. Multi-family residential projects, not located in the Community Core District, with four (4) or less units
  - c. Changes to exterior finishes including, but not limited to, siding and materials.
  - d. Changes to existing windows or doors.
  - e. Additions of windows or doors.
  - f. Additions under one thousand two hundred (1,200) square feet.
  - g. Accessory structures, including accessory dwelling units.
  - h. Master signage plans.
  - i. Any project located on property that includes mapped floodplain areas or includes areas within the riparian setback.
  - <u>j. Encroachments of below grade structures into required setbacks for projects that do not otherwise require Mountain Overlay or Floodplain Development review before the Commission.</u>
- 2. The Administrator shall review all design review requests and determine whether a project can be approved by the Administrator or by the commission.
- 3. The Administrator shall determine what application materials and fees are required to approve exterior modifications as described in section 17.96.040 of this chapter.

#### 17.96, Design Review, Section 17.96.030, Improvements and Standards

#### K. Underground Encroachments:

1. Encroachments of below grade structures into required setbacks are subject to Section 17.128.020.K and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of the Municipal Code or other regulating codes

<u>such as adopted International Code Council codes, or other site features concerning health, safety, and</u> welfare.

2. No below grade structure shall be permitted to encroach into the riparian setback.

# 17.88, Floodplain Management Overlay, Section 17.88.050.E, Criteria for Evaluation of Applications

- E. Criteria For Evaluation Of Applications: The criteria of floodplain development permit applications, waterways design review applications, and stream alteration permit applications shall be as follows:
  - 1. Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.
  - 2. Preservation or enhancement of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty five foot (25') setback or riparian zone. No construction activities, encroachment or other disturbance into the twenty five foot (25') riparian zone, including encroachment of below grade structures, shall be allowed at any time without written City approval per the terms of this chapter.

#### 17.104, Mountain Overlay Zoning District, Section 17.104.070.A, Criteria and Standards

16. Encroachments of below grade structures into required setbacks are subject to Section 17.128.020.K and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of the Municipal Code or other regulating codes such as adopted International Code Council codes, or other site features concerning health, safety, and welfare.

#### **Section 17.128.020, Supplementary Yard Regulations**

- K. Encroachments of below grade structures into required setbacks are permitted provided:
  - 1. Below grade encroachments into the riparian setback are not permitted;
  - 2. Encroachment of below grade structures into required setbacks shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of the Municipal Code or other regulating codes such as adopted International Code Council codes, or other site features concerning health, safety, and welfare;
  - 3. <u>Unless otherwise permitted by the zoning code</u>, below grade structures shall maintain a below grade setback of 3' from the property line as measured along a straight line and at a right angle to such lot line and the nearest point of the below grade structure;
  - 4. Egress openings required by adopted International Code Council codes may encroach in required setbacks however such openings shall be the minimum necessary as specified by code and are subject to 17.128.020.K.3;
  - 4. Below grade encroachments into required setbacks shall be located entirely below natural, existing, or finished grade, whichever is lowest;
  - 5. <u>Unless otherwise permitted by the zoning code</u>, below grade structures shall maintain a below grade setback of 3' from the property line as measured along a straight line and at a right angle to such lot line and the nearest point of the below grade structure;
  - 6. The ground above below grade encroachments within required setbacks that is not otherwise covered by permitted decks, fences, hedges and walls shall be suitably landscaped in keeping with the general character of the surrounding neighborhood or as otherwise required by the municipal code.
    - <u>a. Required landscape plans shall address the compatibility of proposed landscaping with the below grade structure, including any necessary irrigation; and</u>
  - 7. Below grade encroachments into required setbacks shall not interfere with drainage.
    - <u>a.</u> Required drainage plans shall address the ability of drainage to be managed on the subject property with respect to underground encroachments into required setbacks.

Commented [BS1]: 17.128.020.K.3. This caveat accounts for below grade structures in the Community Core and Light Industrial districts, which have 0' setbacks on interior sides and at the rear.

Commented [BS2]: 17.128.020.K.4 This is consistent with the definition of building height and is intended to prevent fill being brought to a site in order to construct a below grade structure.

This also ensures that the below grade structure will remain entirely below grade and will prevent a below grade structure from projecting 30" above grade with a proposal for a 30" projection to be considered a deck.

Commented [BS3]: 17.128.020.K.5. This caveat accounts for below grade structures in the Community Core and Light Industrial districts, which have 0' setbacks on interior sides and at the rear.

Commented [BS4]: 17.128.020.K.6 This language is broad but allows the soil depth covering a below grade structure to be dependent on the plant material required in the area. For example, if a landscape buffer is required, soil depth to accommodate tree roots will be necessary. If the below grade structure is located below lawn soil depth sufficient only to accommodate grass will be necessary.

# Attachment B.

March 12, 2018 staff report



March 12, 2018

Planning and Zoning Commission City of Ketchum Ketchum, Idaho

# STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION

**PROJECT:** Setback definition text amendment

FILE NUMBER: #P18-006

**APPLICANT:** Jonathan and Rebecca Neeley

**REPRESENTATIVE:** Michael Blash, AIA

**REQUEST:** Applicant-initiated text amendments to amend Title 17 of the Ketchum Municipal

Code by amending Section 17.08.020, Terms Defined, by removing the phrase "or

below grade" from the definition of the term Setback.

**NOTICE:** Notice appeared in the Idaho Mountain Express, was mailed to outside agencies, and

was posted in three (3) public locations on February 14, 2018.

**PUBLIC HEARING:** Planning and Zoning Commission

- March 12, 2018

**REVIEWER:** Brittany Skelton, Senior Planner

**ATTACHMENTS:** A. Applicant submittals (application, narrative, example projects)

B. Setback survey analysis

C. Planning and Zoning Commission meeting minutes, July 30, 2012

#### **INTRODUCTION**

The applicant is requesting to amend the definition of the term "setback" found in Ketchum Municipal Code, Title 17, Zoning, Section 17.08.020, Terms Defined. The applicant owns a parcel of land zoned Limited Residential (LR) that contains a single-family house and a detached garage/Accessory Dwelling Unit (ADU). The primary residence was built in 1999. In 2005 the applicant received approval to build the garage/ADU and an additional 940 square foot garage which was proposed to be built into the hillside. The rear of the garage that was proposed to be built into the hillside would have been below grade and would have encroached into the setback. At the time the zoning code did not require that setbacks apply to below grade structures and the hillside garage was approved.

The applicant decided to build the garage/ADU in 2005 and but did not build the hillside garage at that time. The applicant would like to build the hillside garage now but in 2013 the zoning code was amended to require setbacks to apply to both above grade and below grade structures. The applicant is requesting to amend the definition of the term "Setback" to no longer apply to below grade structures so that the garage, as designed and approve in 2005, can be constructed.

#### PROPOSED TEXT AMENDMENTS

#### **Existing definition:**

SETBACK: The minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above grade or below grade building or structure.

#### **Proposed definition:**

SETBACK: The minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above grade or below grade building or structure.

#### **HISTORY**

The City's regulation of setbacks evolved from the terminology and regulation of yards – side, front, and rear – to the regulation of how far a building was set-back from a front, side, or rear property line.

It was not until September 2013 that a formal definition of the term "setback" was added to the zoning code, via city-initiated Ordinance 1110. According to the staff reports accompanying the ordinance, the purpose of Ordinance 1110 was routine code "clean up" to reconcile inconsistencies, unclear, or missing language. Included in the ordinance were the addition of definitions for terms used in the code that were not already defined; "setback" was one such definition.

Leading up to the public hearings for the ordinance, the Commission held a workshop on zoning code amendments on July 30, 2012; the following discussion on setbacks is reflected in the meeting minutes:

- Setbacks are meant to provide space between properties. Things that can go in a setback must be defined very well.
- Decks at or below 30" above grade are not considered a structure. Do seating areas that are above the floor of a deck make the deck a structure?
- The Commission asked whether decks above 30" in height should be considered in the lot coverage calculation.

The minutes reflect that the Commission discussed a definition for "setback" and agreed upon the definition that was adopted via Ordinance 110, which is the definition currently in effect. There was no discussion in the minutes reflecting rationale for applying setbacks to below grade structures. (Attachment C, July 30, 2012 meeting minutes)

The Planning and Building Department does not have a database of approved projects that permitted below grade structures to encroach into setbacks. The applicant's representative, Michael Blash, AIA, submitted two additional projects he was involved with where the city approved below grade setback encroachments; one structure, a single-family home was constructed and another structure, a mixed-use residential/office building, was approved but not constructed (Attachment A, Applicant Submittals).

**Table 1. Comments from City Departments** 

				City Department Comments					
Com	pliant	t	Standards and St	raff Comments					
Yes	No	N/A		City Standards and Staff Comments					
$\boxtimes$				Complete Application					
				Fire Department:					
$\boxtimes$				The proposed text amendment does not conflict with the					
				Fire Code.					
				Utilities:					
				No concern at this time, provided it is clear that below					
				grade structures are not permitted to encroach into utility					
								easements.	easements.
				Supports an Administrative Design Review f or below grade					
				encroachments.					
				Building:					
				No concern at this time; Building Code addresses issues such					
				as fire wall separation, light and ventilation requirements					
				for habitable space and egress/rescue openings.					
$\boxtimes$				Planning and Zoning:					
				<ul> <li>Comments are denoted throughout the staff report.</li> </ul>					

#### **STAFF ANALYSIS**

Setbacks are required primarily to ensure adequate separation of buildings and usable open space between structures relative to the desired character and visual density in a given zoning district. For example, commercial and light industrial zoning districts in Ketchum have smaller setbacks than residential areas, and some residential areas have larger setbacks than others. Setbacks also exist to protect sensitive ecological areas, such as riparian zones, and to facilitate public safety, such as greater setbacks from highways than local streets, and greater setbacks on corner lots to protect motorists' lines of sight.

Cities and counties across the nation take different approaches to regulating the location of below grade structures and the distance below grade structures may be located from property lines. The City of Los Angeles, CA does not require a setback for below grade structures – whether the structure is a basement, parking garage, root cellar, attached to an above grade structure or completely detached. The draft Land Development Code for the City of Cincinnati, OH does not apply above grade setbacks to below ground structures either. The cities of Burlingame, Dana Point, and Carmel by the Sea in California all permit below

grade parking structures to encroach, to some degree and subject to conditions, into the setbacks required for above grade structures. Aspen, Colorado, Jackson, WY, and Boise, ID all require below grade structures to adhere to the same setbacks as above grade structures. (Attachment B, Setback Analysis Survey)

In addition to setbacks, dimensional standards such as building coverage, floor area ratio, and building height control the density, scale, and bulk of development. The number of dwelling units permitted on a lot also aids in achieving the density a community desires in a given zoning district. In most of Ketchum's residential zones the permitted building coverage ranges from 25 – 35%; in the Light Industrial zones up to 75% building coverage of a lot is permitted. In most of Ketchum's residential zones one single family home and one Accessory Dwelling Unit are permitted on a lot while in the Community Core or the Tourist zone there is no defined upper limit to the number of residential apartments or condominiums that can be built.

If there are no zoning regulations controlling setbacks of below grade structures theoretically a 9,000 square foot residential lot could have an above grade residence and a 9,000 square foot basement and a 1-acre residential lot could have an above grade residence and a 1-acre basement (provided Building Code and Fire Code regulations are met). On a lot adjacent to a river, if the river channel is deep and the floodplain does not extend beyond the river channel, a below grade structure would be permitted to encroach into the riparian zone. While these examples are extreme and may be alarming, it's important to note that on a 1-acre lot zoned LR-1, since the front, rear, and side setbacks are 15', 20' and 10' respectively the current regulations permit a lot of that size to have a 30,000 square foot basement.

With this in mind the Commission should consider the intent and purpose of prohibiting below grade structures from encroaching into setbacks – do the regulations exist for the sake of ease of permitting, uniformity of above and below grade regulation, to control density, to prevent conflict with sensitive areas or infrastructure? – and does the regulation achieve the intended purposes in a way that another type or review, or an amended regulation, cannot.

In the next section analysis regarding the applicant's proposed amendment, alternatives to consider, and implications are detailed.

#### **TEXT AMENDMENT OPTIONS AND IMPLICATIONS**

Because the text amendment proposed by the applicant is a change to a definition, if the text amendment is approved and adopted all future proposed developments, in all zoning districts, would be subject to the new definition.

The table below contains an analysis of the implications of approving the text amendment as proposed by the applicant and analysis of alternatives to the applicant's proposal, all of which would allow the applicant's project to move forward.

**Table 2. Text Amendment Options and Implications** 

Option	Description	Implication
1.	Approve text amendment as proposed by the	There would be no zoning code regulation of location, size, or scale of below grade development.
	applicant	<ul> <li>Below grade encroachment into the Riparian Zone would be permitted.</li> <li>100% of any lot, in any zone, could be developed with below</li> </ul>

		grade habitable or non-habitable space. Nearly 100% above grade (and thereby below grade) lot coverage is permitted in the Community Core, subdistrict A, but all other zones – particularly the residential zones – have larger setback requirements.  • Could result in disorderly development – excavation around below grade structure could occur at a later date, no city process (such as Design Review) in place to prevent this for some uses (example: residential single family).  • If a below grade addition were made, it is possible that an easement, plat note restriction, or other limitation could be missed by the architect or engineer preparing the site plan
2.	Deny proposed amendment	since the magnitude of development is less than the initial construction of a new building.  Status quo, below grade structures would continue to be subject to
		setback requirements.
3.	Allow by-right encroachment for some uses, such as parking, but not others, such as living	<ul> <li>Below grade development impacts would be limited in scope, since a reduced number of potential below grade setback encroachments would be permitted.</li> <li>Issues identified in Option 1 would remain relevant.</li> </ul>
4.	Allow encroachment subject to Administrative Design Review	<ul> <li>There would be an additional layer of review, beyond standard site plan review that occurs with building permit review, for structures that do not otherwise receive Design Review. This would allow focused and intentional site-specific discussion of the implications of a below grade structure with relation to setbacks and any other site characteristics.</li> <li>Design Review as it exists in the zoning code is focused on the character of Ketchum – implicitly, above grade structures. The Design Review chapter does however intend to ensure "orderly development," therefore, staff feels review of below grade structures could be enveloped in the Design Review chapter.</li> <li>If a proposed project with below grade setback encroachments is already receiving Design Review, Mountain Overlay or Floodplain then Administrative Design Review to address below grade setbacks would not be required.</li> </ul>
5.	Allow encroachment subject to a standard set of restrictions  • Example: Encroachment into setbacks permitted, provided setback from property line is the greater of 3' or the minimum permitted in the zone for above grade structures	Broad brush regulations may prevent some conflicts that could arise with below grade structures located in the setback but cannot address unforeseen site-specific circumstances.

	A consideration options 1, 3, 4, and 5 have in common is egress
	required by building code and the design of egress/rescue openings as
	it relates to below grade structures. For example, a basement with a
1 2 4 5	bedroom is required to have a rescue opening and a common design
1., 3., 4., 5.	solution is a window well. If below grade encroachment is permitted
	in a setback but a visible egress opening is required by building code
	the zoning code should permit this egress but specify that the egress
	shall be the minimum size necessary to meet Building Code,

# **COMPREHENSIVE PLAN ANALYSIS**

**Table 3. Comprehensive Plan Analysis** 

2014 Comp	orehensive Plan Goals and Policy Analysis	
Goal/Policy and Page	Analysis of Amendment Request	Consistent with Comp Plan: Yes/No
Goal CD-1: Our community will preserve its small-town character and the distinct image of neighborhoods and districts.	Below grade structures will not impact the image and character of the above grade built environment.	Yes
Goal CD-2: Protect and enhance views of the surrounding mountains and natural features.	Below grade structures will not impact the views of surrounding mountains and natural features.	Yes
Goal LU-2 Support infill and redevelopment in the downtown, major activity areas and specific areas that can take advantage of proximity to services and transportation.	Infill and redevelopment is inherently challenging because it requires the new development to respond to the existing conditions on adjacent lots and in the vicinity. Permitting below grade structures to encroach into setbacks allows for flexibility and creativity that could aid infill and redevelopment.	Yes
Policy LU-2.2 Compatible Residential Infill	Allowing below grade structures to encroach into setbacks could support compatible residential infill because allowing additional square footage below grade could relieve pressure on small lots for above grade bulk and scale.  Below grade setback encroachment could also facilitate residential infill by making more lot area available for underground parking; Leadville at Onyx is a project that would have benefitted from this text amendment.	Yes
Policy HI 4.3 Innovative Community Practices	This Comprehensive Plan policy references collaborating with other organizations to create and model best practices; staff extends the idea of innovative community practices to zoning code regulations that are tailored to providing solutions to local challenges.	Yes

	As proposed by the applicant there would be no	
Policy NR4.3 Riparian Resource	prohibition of below grade encroachment into riparian	
Protection	zones. For this reason staff does not recommend	No
	approval of the text amendment as proposed by the	
	applicant verbatim.	

#### **STAFF RECOMMENDATION**

Based on the staff report, the applicant's presentation and public comment, the Planning and Zoning Commission should do one of the following:

- 1. Recommend approval of the text amendment as proposed by the applicant
- 2. Recommend denial of the text amendment as proposed by the applicant
- 3. Recommend an alternative to the text amendment proposed by staff
- 4. Recommend an alternative to the text amendment generated by the Commission
- 5. Continue the hearing to a date certain in order to receive additional information to make a decision

Staff recommends proceeding with an alternative proposed by staff, Option #4 found in Table 2, which would permit below grade encroachments subject to Administrative Design Review. An amendment to permit egress openings in setbacks would also be required.

In order to proceed with Option #4, the following sections of the zoning code must be amended:

- Section 17.08.020, Terms Defined
- Chapter 17.96, Design Review
- Section 17.128.020, Supplementary Yard Regulations

#### **OPTIONAL MOTIONS**

- 1. "I MOVE TO DIRECT STAFF TO NOTICE A PUBLIC HEARING ON APRIL 9, 2018 TO CONSIDER AMENDMENTS TO TITLE 17 OF THE KETCHUM MUNICIPAL CODE, SECTION 17.08.020, TERMS DEFINED, CHAPTER 17.96, DESIGN REVIEW, AND SECTION 17.128.020, SUPPLEMENTARY YARD SETBACKS IN ORDER TO PERMIT BELOW GRADE STRUCTURES TO BE LOCATED WITHIN SETBACKS."
- 2. "I MOVE TO RECOMMEND APPROVAL OF THE TEXT AMENDMENT APPLICATION BY JONATHAN AND REBECCA NEELEY FOR AMENDMENTS TO TITLE 17 OF THE KETCHUM MUNICIPAL CODE BY AMENDING SECTION 17.08.020, TERMS DEFINED TO AMEND THE DEFINITION OF THE TERM SETBACK AS PROPOSED BY THE APPLICANT.
- 3. "I MOVE TO DENY THE TEXT AMENDMENT APPLICATION BY JONATHAN AND REBECCA NEELY TO TITLE 17, ZONING CODE, SECTION 17.08.020, TERMS DEFINED, FINDING THE APPLICATION IS NOT IN COMPLIANCE WITH THE COMPREHENSIVE PLAN AND THE FOLLOWING REASONS: \_\_\_\_\_\_ (Commission to insert reasons for denial)."
- 4. "I MOVE TO CONTINUE THE PUBLIC HEARING ON THE APPLICATION FROM JONATHAN AND REBECCA NEELEY TO A DATE CERTAIN \_\_\_\_\_\_.

#### **ATTACHMENTS**

- A. Applicant submittals (application, narrative, example projects)
- B. Setback survey analysis
- C. Planning and Zoning Commission meeting minutes, July 30, 2012

# Attachment A

**Applicant submittals** 



# City of Ketchum Planning & Building



OFFICIAL USEONLY	
P18-006	
1-26-18	
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Application for Amendment to Zoning Code Title 17 or Subdivision Code Title 16

Submit completed application and payment to the Flanning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum Gty Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Flanning and Building Department at (208) 726-7801. To view the Development Standards, visit the Gty website at: www.ketchumidaho.org and dick on Municipal Code.

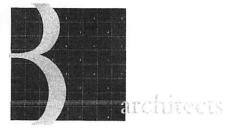
APPLICANT INFORMATION
Name: JONATHAN AND REBECCA NEELEY
Mailing Address: P.O. 4938 KETCHUM IDAHO 83340
Phone: 208-725-2151
Representative: MICHAEL BLASH
Phone: 208 720.3597
Mailing Address: 100 SUN JALEY PO UNIT 2523
AM ENDM ENT
Section of code to be amended: XEFINITIONS.
Please describe the proposed change or amended language (attach separate sheet if necessary):
REMOVE OR BELOW GRADE FROM
BETBACK DEFINITION
ADDITIONAL INFORMATION .
Please describe any additional information, if necessary:
BELOW EXISTING EPACE KIERE ALLOWED
PHIOR TO 2013 DEPINITION PE-WRITE
APPLICATION REQUIREMENTS
Applications should include the following:
a) Narrative describing zoning amendment
b) Description of how the Comprehensive Flan, Zoning Ordinance, and Subdivision Ordinance support the
proposed change
c) Proposed ordinance language showing all revisions suggested
Applicant agrees to observe all Oty ordinances laws and conditions imposed. Applicant agrees to defend, hold harmless

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, daims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s'he has read and examined this application and that all information contained \_herein istrue and correct.

Muchael Blask 1.25.2018

Applicant Sgnature

Date



Architecture | Planning | Graphics

NARRATIUE:

JOB # 002. 2018

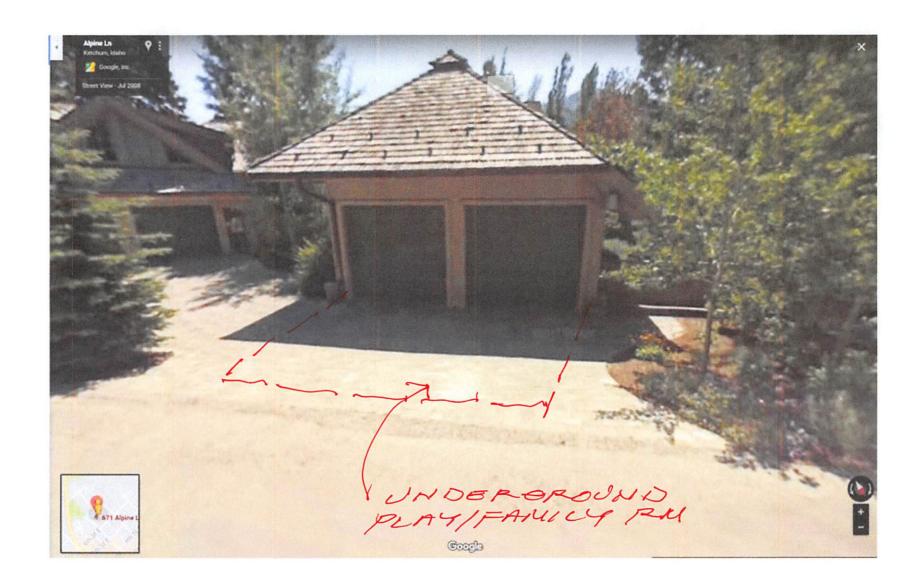
DATE 1. 25.2018

FILE Cotk. Appfor text change

CLIENT WOULD LIKE TO BUILD A GAPAGE FOR CAR STOPAGE AND MAIN-TENANCE, THIS PROVECT WAS APPROVED IN 2004 KLOKIE WITH UNDERGROUND ADD IN LOWER PORTION OF LOT. ADD HAD BEDFOOK EUBEUDED IN GOTBACK THE ADD WAS BUILT, CARAGE WAS NOT, MOW THE CIENT NEEDS SPRINTER AXID CAR STOPAGE AND WOULD LIKE TO BUILD, BUT DUE TO 2013 GETBACK DEFINITION CHANGE TO BELOW GRADE WE HADE TO ASK FOR TEXT AMEND MENT 1 HAVE ATTACHED EXAMPLES OF PREDIOUGLY BUILT OF PASSED
PROVECTS WITH PARKING OF VIVING SPACE BELOW SPADE THANK YOU

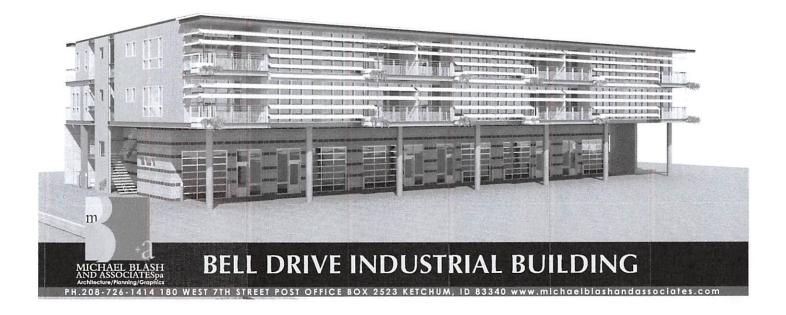
MICHAEL BUASH





# **Attachment C**

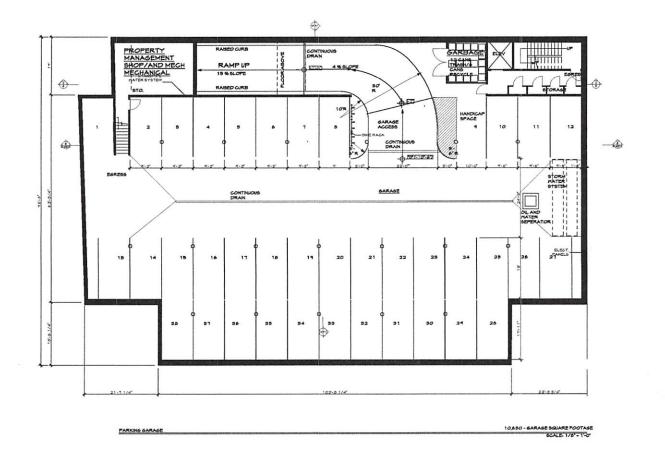
Planning and Zoning Commission meeting minutes, July 30, 2012





PH.208-726-1414 180 WEST 7TH STREET POST OFFICE BOX 2523 KETCHUM, ID 83340

Bell Drive Industrial Building





PH.208-724-1414
180 WEST 7TH STREET
POST OFFICE BOX 2523
KETCHUM, ID 83340

Bell Drive Industrial Building

MS MS

10-24-2007

2

Jurisdiction	Zoning code regulations regarding setbacks and below grade structures  Setback. An area commencing and extending horizontally and vertically from a lot line, property line or other boundary which shall be unoccupied and unobstructed from the ground upward, excepting trees, vegetation and/or fences or other structures or projections as allowed. (See Supplementary Regulations — Section 26.575.040, Yards).			
Aspen, CO				
Jackson, WY	A setback is a measure of the shortest horizontal distance between a physical development or use and the feature from which it is being set back.			
Boise, ID	Staff interpretation is that below grade structures must adhere to the same setbacks as above grade structures unless a variance is granted; window wells for basement egress may encroach 3' into required setbacks.			
Los Angeles, CA	<ul> <li>7. Substructure Projections into Required Yards and Passageways in any zone provided: <ul> <li>a. Portions of a basement which are located in the required yard do not extend more than 18 inches above existing or finished grade*, whichever is lower.</li> <li>* "Finished grade" used for this measurement excludes the following: <ul> <li>i. A driveway with direct access to a basement garage, if it is not more than 10 feet below the existing grade, and is not more than 20 feet wide, and the garage entrance for that driveway is not within the required front yard;</li> <li>ii. A stairwell leading to a basement, if it is not more than 4 feet wide.</li> </ul> </li> <li>b. For Building Lines, the basement structure must be entirely below the existing or finished grade of a lot whichever is lower.</li> <li>c. Basement portions located in the required yards, including their supporting members, are of Type I construction.</li> <li>d. Section 12.21 C 2 (e) requires a passageway to be open and unobstructed from the ground to the sky. This section shall be interpreted to permit a basement to be located in the passageway, provided the full passageway width is maintained above the basement at the level of travel to the units served by the passageway.</li> </ul> </li> </ul>			
	The area above substructure projections in required yards may be utilized for raised planters, walkways, fences, etc. provided the substructure complies with the requirements outlined above and the improvements above the substructure comply with all other municipal code requirements. The height of such improvements shall be measured from the natural ground level adjacent thereto.			
Cincinnati, OH	Structures or portions of structures that are entirely underground are not included in measuring required [setback] distances. (excerpt from draft Land Development Code currently under review)			
Bellevue, WA	<ul> <li>An underground building is exempt from setbacks provided:         <ul> <li>No part of the intrusion is higher than 30" above existing or finished grade, whichever is greater, measured at any point. Areas necessary for reasonable access to the building are exempt.</li> <li>The rooftop of the building is properly screened from view or is landscaped.</li> <li>The building does not intrude into a setback required by LUC 20.25H.090.</li> </ul> </li> </ul>			
Victor, ID	Structures below and covered by the ground may encroach into a required setback, provided that such encroachment is at least 2 feet from the vertical plane of any lot line.			
Carmel by the Sea, CA	Underground parking garages may be constructed within required setbacks if significant trees will not be removed or injured and the setback can still be effectively landscaped. Underground garage designs should provide sufficient room around the perimeter to accommodate existing and new tree root systems.			
Dana Point, CA	(g) Parking Structure Setbacks. The setbacks for the exterior walls of any underground or subterranean parking structure shall not encroach into the minimum above grade building setbacks unless approved through the Site Development Permit process pursuant to Chapter 9.71. In no case may the setback for an underground or subterranean parking structure be less than three (3) feet.			
<b>Burlingame, CA</b> Garages may be constructed entirely below ground level and such underground gara into any required yard or building setback area, subject to the following limitations:				

- (a) Plans for such underground garages, together with methods of access and egress for the vehicles, must be prepared and submitted for approval by the planning commission prior to issuance of a building permit;
- (b) The surface of the structure lying within a required yard or setback area shall be suitably landscaped in keeping with the general character of the surrounding neighborhood;
- (c) Plans for such landscaping and use of open space must be included in the submitted plans and must be approved by the planning commission;
- (d) The uppermost portion of any structure or attachment thereto within any required yard or setback area shall not extend above natural grade;

### **Attachment B**

**Setback Analysis Survey** 



# CITY OF KETCHUM SPECIAL PLANNING AND ZONING COMMISSION MEETING July 30, 2012, 5:30 p.m.

Ketchum City Hall Meeting Room, Ketchum, Idaho

Present: Co-Chairman Deborah Burns

Co-Chairman Richard Fabiano Commissioner Mike Doty

Absent: Commissioner Steve Cook

Commissioner Jeff Lamoureux

Also Present: Ketchum Community and Economic Development Director Lisa Horowitz

Ketchum Planning Manager Joyce Allgaier Ketchum Associate Planner Rebecca Bundy Ketchum Recording Secretary Sunny Grant

Co-Chairman Deborah Burns opened the Regular Planning & Zoning Commission meeting at 5:30 p.m.

#### 1. PUBLIC COMMENT ON ISSUES NOT ON THE AGENDA

There was no public comment at this time.

#### 2. Discussion of Planning Commission Goals for Fiscal Year 2012/13

P&Z Commissioners (P&Z) discussed:

- The P&Z would like to be doing more planning and not just zoning. They would like to explore planning ideas, such as:
  - o Explore gondola or other shuttle into town to improve Ketchum's pedestrian experience.
  - o Roundabout at Reinheimer Ranch entrance to Ketchum.
- The P&Z has had very short agendas for months. Commissioners have time to update and improve Code if Planning staff had more time to do the work. Ideas include:
  - Solar rules and regulations.
  - o Form-based Code and Master Plan.
  - o Definitions.
  - o Make time to do a think tank.
  - o Is the Commercial Core boundary correct?
- Additional staff needed, even seasonal part-time, to do more things P&Z wants to accomplish, including:
  - o Improved Code enforcement, including nuisances.
  - Sign enforcement, including Realtor signs.
- Increased communication between Mayor, City Council and other City staff.
- Increased communication between Ketchum and Sun Valley Resort. Sun Valley Resort staff, especially the Concierge, should get updates on what's happening and what's available in Ketchum.
  - Expanding shoulder seasons is good for both Ketchum and Sun Valley.
- Improved ground shuttle service is very important component of Fly Sun Valley Alliance's 1% LOT initiative.

#### 3. Discussion of Proposed Code Amendments

Planning Staff and the Commission held a workshop to discuss Staff proposed code amendments. Staff has kept a running list, now three pages long, of needed code amendments, which was included in the Commission's packets. These amendments include:

- Adding a Sustainability section.
- Municipal Code street specifications conflict with Downtown Master Plan and Land Use Code.
- Transfer of Development Rights (TDR) is a big section of Code that has been struck down by the State Supreme Court.

Definition of structure. Play structures needs definition.

The first item Staff addressed with the Commission was elimination of the section on TDR, since that section of the code is no longer valid. The Commission agreed that it was confusing to leave it in and, subject to approval of the City Attorney; it should be eliminated from the code.

Secondly, Section 17.32.010.H.2.c was discussed. That section has language that conflicts with earlier text in the same chapter of the code. Staff has researched how that text conflict came about and has determined that Section c is a remnant of an earlier text revision that should have been deleted with the adoption of Ordinance #1026 in 2007. The Commission agreed that deletion of Section 17.32.010.H.2.c was appropriate.

Finally, Staff reviewed the following definitions that are missing or unclear in the zoning code. In order to work through some of the proposed code amendments on the list, terms need to have definitions. The following terms were discussed:

Setback – the Commission made the following observations:

- Setbacks are meant to provide space between properties. Things that can go in a setback must be defined very well.
- Decks at or below 30" above grade are not considered a structure. Do seating areas that are above the floor of a deck make the deck a structure?
- The Commission asked whether decks above 30" in height should be considered in the lot coverage calculation.

The Commission agreed upon the definition as follows:

**Setback.** The minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above grade or below grade building or structure.

**Kitchen** - the Commission made the following observations:

- A dwelling unit is defined as a place with one kitchen.
- What constitutes a kitchen? A residence with an extra kitchen is considered more than one living unit.
- Define a catering kitchen as a service kitchen.
- Definitions for stove, oven, cooktop, built-in, etc. and if they constitute a kitchen.

The Commission agreed upon the definition as follows:

**Kitchen.** A room or other portion of a structure intended for cooking, that contains at least a sink, refrigerator and cooking facilities, which include a range, oven and/or built-in countertop burners.

The Commission also directed Staff to look into expanding the definition to include a catering kitchen.

**Deck** - The Commission agreed upon the definition as follows

**Deck.** A structure consisting of a roofless exterior floor system supported by an adjacent structure and/or posts, piers or other independent supports.

**Terrace/Patio** - the Commission made the following observations:

- A terrace is at grade.
- Are a patio and a terrace the same thing?
- Can a terrace extend to the property line?

 Building height is based on original (natural) grade. Where is the measurement taken from for terraces, decks, fences, etc? A terrace could be put in after landscaping and not be at natural grade. Commissioner Doty said a terrace that is higher than 30" above natural grade becomes a structure and can't be located within the setback.

The Commission agreed upon the definition as follows:

**Terrace (Patio).** An open, roofless area, usually finished with paving or stone, at grade, adjacent to a building and serving as an outdoor living area.

Porch vs Stoop - the Commission made the following observations:

- One definition is "A small stairway and landing platform leading to the entrance and/or secondary entrance of the building."
- Is a stoop an architectural element?

The Commission agreed upon the definition as follows:

Stoop. A small stairway and landing platform leading to an entrance to a building.

Bed and Breakfast - the Commission made the following observations:

- Define Bed and Breakfasts and Hostels, and zones where they are permissible. Bed and breakfasts could be a conditional use in the T and GRH zones.
- Is "Compatible with the neighborhood" a useful condition?

The Commission agreed upon the definition as follows:

**Bed and Breakfast.** A residential building in which the proprietor resides, which has no more than six (6) guestrooms available for short term occupancy, and provides no less than one meal daily for guests.

The Commission also directed Staff to look into parking requirements for Bed and Breakfast establishments.

Hostel - the Commission made the following observations:

• Commissioner Fabiano thought a hostel could be allowed anywhere a hotel is allowed. Good hostels have communal kitchens, but so do many hotels.

The Commission agreed upon the definition as follows:

**Hostel.** A budget-oriented, shared-room (dormitory) accommodation that accepts individuals or groups for short-term stays and that provides common area and communal facilities. In addition to the dormitory-style rooms, a hostel may offer individual rooms.

The Commission also directed Staff to consider assisted living facilities as another type of communal housing.

Lodge - the Staff made the following observations:

- "Lodge" can be a high-end hotel or a motor lodge. The word is basically synonymous with hotel or motel.
- Two other definitions of "lodge" are a "building or group of buildings under single
  management containing both rooms and dwelling units available for temporary rental to
  transient individuals or families" and "the place where members of a local chapter of an
  association, fraternal culture or religious hold their meetings".

The Commission agreed upon the definition as follows:

Lodge. A hotel or motel.

The Commission also directed Staff to look at a definition for a meeting lodge, since Ketchum does have a couple, including the American Legion Hall.

**Duplex** - Staff made the following observations:

- A duplex is two dwelling units together.
- Duplex units can be condominiums or townhouses, depending on ownership of the real property under the footprint.
- Duplexes developed as condominiums are being converted to townhouses in order to get financing.
- The IRC requires a two-family dwelling unit to have a one-hour fire-rated wall.
- A townhouse requires each unit to have a one-hour firewall on the property line between the two units.
- Each townhouse owns the sublot under it.
- The City Attorney says life-safety issues are not increased, and the ownership structure should not affect the firewall.

Commissioners Doty and Fabiano questioned whether a townhouse type duplex could have a one-hour fire-rated wall. It is their understanding that that type of development requires each unit to have its own one-hour rated wall. Staff will follow up on that issue.

The Commission agreed upon the definition as follows:

Duplex. A two-family dwelling unit.

In addition, Staff was directed to refine the definition of Accessory Dwelling Units.

#### 4. Staff Comments and City Council Meeting Update

The P&Z cancelled the next regular meeting due to lack of a quorum, and rescheduled it for 12:00 noon on August 13, 2012.

#### 5. Commission Comments

Commissioner Burns mentioned the Chinese restaurant banner. Planning staff will follow up.

#### 6. ADJOURNMENT

Commissioner Deborah Burns moved to adjourn the meeting at 7:40 p.m.. Commissioner Michael Doty seconded the motion, and it passed unanimously.

Co-Chairman Deborah Burns or Co-Chairman Richard Fabiano

CC: City Council



# STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION REGULAR MEETING OF APRIL 9<sup>th</sup>, 2018

**PROJECT:** Fire Training Facility

FILE NUMBER: P18-025

**APPLICANT:** Ketchum Sun Valley Volunteer Firefighters Association (KSVVA)

**REPRESENTATIVE:** Daniel Hollis, AIA, Hollis Rumpeltes Architects

**OWNER:** City of Ketchum

**REQUEST:** Design Review approval for a new Fire Training Facility.

**LOCATION:** 219 Lewis Street

(Northgate Subdivision: Block 1: Lot 7)

**ZONING:** Light Industrial District Number 2 (LI-2)

**OVERLAY:** None

**NOTICE:** Notice was mailed to property owners within a 300 foot radius of the subject property

on March 29<sup>th</sup>, 2018.

**REVIEWER:** Abby Rivin, Associate Planner

#### **BACKGROUND**

The applicant has requested Design Review approval for the construction of a new 1,840 sq ft Fire Training Facility at 219 Lewis Street (Northgate Subdivision: Block 1: Lot 7). The subject 12,000 sq ft lot is located in the Light Industrial District Number 2 (LI-2). The property is owned by the City of Ketchum and is currently utilized for public use including material and equipment storage for the Streets Department and an impound lot for the Police Department. The City will relocate the equipment and material storage as well as the impound lot in order to clear the site by June 1<sup>st</sup>, 2018. The applicant is the Ketchum Sun Valley Volunteer Firefighters Association (KSVVA), which is a non-profit organization with the purpose of raising funds to provide training and equipment to benefit the firefighters of the City of Sun Valley, City of Ketchum, and the Ketchum Rural Fire District.

The modular Fire Training Facility consists of three floors of storage containers with a platform on the roof to serve as a rappel tower. The project scope also includes the installation of a container for material storage, two (2) portable toilets, and a dumpster to be screened by a metal panel at the northwest corner of the lot. The building is comprised of four (4) single use shipping containers, which are custom fabricated and configured by Fire Training Structures LLC (FTS) for live-fire training exercises. These exercises utilize Class A (wood, straw, etc.) or liquid petroleum gas fuel sources. The Class A fuel source is variable in smoke production depending on

draft, specific source of fuel, ventilation, and weather conditions. The liquid petroleum gas produces minimal smoke output. The total proposed building coverage is 8%, which is 67% less than the maximum building coverage allowed in the LI-2 Zoning District. Staff has defined the Fire Training Facility as a public utility, which is a permitted use in the LI-2 Zone, as the training center will serve as Fire Department infrastructure. The Planning and Zoning Commission conducted a site visit and reviewed the Pre-Application Design Review for the propose fire training facility on June 12<sup>th</sup>, 2017. The Commission unanimously approved a motion to advance the subject project to Design Review.

#### **ANALYSIS**

Analysis of the application is provided in Tables 1-4, including the project's compliance with the City of Ketchum 2014 Comprehensive Plan, City Department comments, Light Industrial District Number 2 (LI-2) Zoning District requirements, Design Review standards, and other provisions of Ketchum City Code. Staff recommends approval of the Design Review application for the construction of a Fire Training Facility at 219 Lewis Street subject to the recommended conditions of approval. A full analysis and explanation of this recommendation is detailed within the Staff Report.

The outstanding action items identified in the Pre-Application Design Review have been addressed by the applicant and City Departments as follows:

The City of Ketchum will need to secure a location for the existing impound lot and storage area currently located on the subject property.

The material and equipment storage will be temporarily relocated to the vacant lot north of the YMCA on Saddle Road until improvements are made to the existing Streets and Facilities site on 10<sup>th</sup> Street. Staff has added a recommended condition of approval requiring that the City of Ketchum identify an alternative site for the Police Department impound lot prior to issuance of a building permit for the project.

The Design Review application should propose landscaping to provide a buffer between this use and adjacent land uses, such as the YMCA that is adjacent to the rear property line.

The applicant has included a landscape plan indicated on Sheet L1.1 of the updated Design Review submittal. The proposed landscape includes a row of thirteen (13) Aspen trees that borders the property line adjacent to the YMCA as well as six (6) Aspen trees along the property line adjacent to Lewis Street.

Ketchum City Code §17.124.130(C) Fences, Hedges and Walls: In all other districts, fences, hedges and walls shall not exceed four feet (4') in height when located less than thirty feet (30') from the front lot line and shall not exceed six feet (6') in height when located more than thirty feet (30') from the front lot line.

The applicant has proposed a chain-link fence with graphic signage that is six feet (6') in height within thirty feet (30') of the front lot line, which is not permitted per Ketchum City Code §17.124.130(C). As the proposed fence screens live-fire training exercises, the applicant requests the Planning and Zoning Commission permit the proposed 6 ft fence height. The proposed graphic signage will further screen fire training operations.

Other directives to the applicant from the Pre-Application Design Review included incorporating ADA striped parking and submitting a lighting and construction management plans. The applicant has proposed one ADA parking space and has included a lighting plan and construction management plan in the updated submittal.

#### COMPREHENSIVE PLAN ANALYSIS

The proposed new construction of the Fire Training Facility is consistent with the uses, goals and policies listed below as specified within the 2014 Comprehensive Plan. Staff finds that the proposed Fire Training Facility will

generate infrequent traffic and will have an impact comparable to the primary uses listed below. The impact of the facility is contextually appropriate to the Lighting Industrial Number 2 (LI-2) Zoning District.

**Table 1. Comprehensive Plan Analysis** 

Table 1. Complementative Flam Analysis							
SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN						
Future Land Use							
Mixed-Use Industrial	Primary Uses: Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development with this district.  Secondary Uses: A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.  Characteristics and Location: The Mixed-Use industrial category is intended to provide critical lands for Ketchum's economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.						
Community Design and Neighborhoods							
Policy CD-1.3	Infill and redevelopment projects should be contextually appropriate to the						
Compatible Infill	neighborhood and development in which they will occur. Context refers to the natural						
and	and manmade features adjoining a development site; it does not imply a certain style.						
Redevelopment							
Projects							

**Table 2: City Department Comments** 

	City Department Comments						
Compliant							
Yes	No	N/A	City Code	City Standards and Staff Comments			
$\boxtimes$			17.96.040	Complete Application			
$\boxtimes$			Police Department: The City shall secure a new location for the Police Department impound lot prior to issuance of a building permit for the Fire Training Facility.				
			Building and Find Approved adding and fronting to with their back.  Vehicle parking access to any be maintained cleaning the hydrants, shall the installativenty (20) feel road must be considered.	iect shall meet all 2012 International Fire Code requirements in addition to specific City			

			Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. (Two (2) 5 lbs. fire extinguishers shall be required for this project. One to cover training facility and one for storage container).
			Final inspections of all fire department required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found
			at www.ketchumfire.org.
			Streets Department:
$\boxtimes$			The proposed curb cut does not meet ADA requirements. The Streets Department shall review and
			approve the curb cut design prior to issuance of a building permit for the project.
			Utilities:
$\boxtimes$			The Utilities Department requires specifications for the fire hydrant and meter vault for review and
			approval prior to issuance of a building permit for the project.
			Parks/Arborist:
			The proposed Aspen trees will not sufficiently screen the Fire Training Facility. The City Arborists
$\boxtimes$			recommends alternative plantings such as shrubs or vines along the fences to enhance screenings. The
			City Arborist shall review and approve the final landscape and irrigation plan prior to issuance of a
			building permit for the project.
$\square$			Building:
			The building must meet 2012 International Building Code.
$\square$	П		Planning and Zoning:
		Ш	Comments are denoted throughout the Staff Report.

**Table 3: Zoning Standards Analysis** 

	Compliance with Zoning Standards					
Compliant		nt	Standards and Staff Comments			
Yes	No	N/A	Guideline	City Standards and Staff Comments		
$\boxtimes$			17.12.030	Minimum Lot Area		
			Staff Comments	Required: 8,000 square feet minimum.		
				Existing: 12,000 square feet		
$\boxtimes$			17.12.030	Building Coverage		
			Staff Comments	Permitted: 75%		
				<b>Proposed:</b> 8% (960 sq ft / 12,000 sq ft lot area)		
			17.12.030	Minimum Building Setbacks		
			Staff Comments	Required:		
				Front: 20'		
				Side: 0' for internal side yards and a minimum of 10' for street side yards.		
				Rear: 1' for every 3' in building height, or 10'.		
				Ketchum City Code §17.12.030 Note: 1. If the lot adjoins a more restrictive district		
				on the side or rear, the more restrictive setbacks of that district shall apply.		
				Rear adjoins the Tourist (T) Zoning District, which establishes a minimum rear		
				setback of the greater of 1' for every 3' in building height, or 10'.		
				Proposed:		
				Front (Lewis St.): 33'		
				Side: 24'		
				Side: 40'		
				Rear: 56' (The storage container and the LPG tank located at the northwest corner		
				are setback 10 ft from the property line)		
$\boxtimes$			17.12.030	Building Height		
			Staff Comments	Required: 35'		
				<b>Proposed:</b> 34'-6" (38" at the top of the guard rail.)		

			The Fire Training Center is proposed to be 34'-6" in height from grade to top of the rappel deck. The guard rail attached to the rappel platform is 42" (3'-6") in height. Staff finds that the structure does not exceed the maximum height allowed in the LI-2 Zoning District. Staff finds that the proposed guardrail will have a similar impact on the overall bulk of the training facility as an antenna or chimney, and is not subject to the overall height of building, provided that the guardrail does not exceed the Osha minimum guardrail height.  Ketchum City Code §17.08.020 HEIGHT OF BUILDING states that the building height provision shall apply to parapets, boston roofs, and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or		
			chimneys.		
$\boxtimes$		17.125.030.H	Curb Cut		
		Staff Comments	Required: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking.		
			Proposed: The proposed curb cut is 18 ft, which is 22.5% of the linear street frontage along Lewis Street. The applicant has satisfied this requirement, however, the curb cut does not meet ADA requirements. The Public Works Department shall review and approve the curb cut prior to issuance of a building permit to ensure ADA requirements are met.		
$\boxtimes$		17.125.020.A.2 & 17.125.050	Parking Spaces		
	52	Staff Comments	Off-street parking standards of this chapter apply to any new development and to any new established uses.  Required: All other permitted uses: 1 space per 1,000 gross square feet.  Gross square feet: 1,280 / 1,000 = 1 parking space  Proposed: The applicant has designated one (1) ADA parking space on site. The property will accommodate multiple vehicles in a variety of parking configurations depending on training needs.		
	$\boxtimes$	17.124.130	Fences, Hedges and Walls		
			C. In all other districts, fences, hedges and walls shall not exceed four feet (4') in height when located less than thirty feet (30') from the front lot line and shall not exceed six feet (6') in height when located more than thirty feet (30') from the front lot line;  The applicant has proposed a six foot (6') fence within thirty feet (30') of the front lot line. While the proposed fence will enhance screening of the Fire Training Facility, it exceeds the maximum height allowed for fences in the LI-2 Zoning District. Staff recommends the Planning and Zoning Commission approve the 6 ft fence height as increased screening of live-fire training exercises will enhance public safety.		
$\boxtimes$		17.18.150 &	Zoning Matrix & Definitions		
		17.08.020			

Staff Comments	17.18.150: Light Industrial District Number 2 (LI-2)  A. Purpose: The LI-2 light industrial district number 2 is established to provide for a permanent year round employment base and the location of light manufacturing, wholesale trade and distribution, research and development, service industries, limited related, bulk retail and offices related to building, maintenance and construction and which generate little traffic from tourists and the general public. (Ord. 1135, 2015)
	17.08.020 – Definitions HEIGHT OF BUILDING: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet (5') greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the city clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the city clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of fifty percent (50%) of the height of the lower facade; except, that roof overhangs may extend up to three feet (3') into this area (see illustration B on file in the office of the city clerk). This building height provision shall apply to parapets, boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.

## **Table 4: Design Review Standards**

	Design Review Requirements					
				IMPROVEMENTS AND STANDARDS: 17.96.060		
Yes	No	N/A	City Code	City Standards and Staff Comments		
$\boxtimes$			17.96.060(A)(1)	The applicant shall be responsible for all costs associated with providing a		
			Streets	connection from an existing city street to their development.		
			Staff Comments	The property is served by a public roadway. This standard has been met.		
$\boxtimes$			17.96.060(A)(2)	All street designs shall be approved by the City Engineer.		
			Streets Staff Comments	The site is some division which the standard		
		<u> </u>	17.96.060(B)(1)	The site is served by an existing street.		
$\boxtimes$			17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall		
			Staff Comments	install sidewalks as required by the Public Works Department.		
				The site is served by an existing sidewalk.		
$\boxtimes$			17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City		
				Engineer may reduce or increase the sidewalk width and design standard		
			Staff Comments	requirements at their discretion.		
			17.96.060 (B)(3)	See above comment for Ketchum City Code §17.96.060(B)(1).  Sidewalks may be waived if one of the following criteria is met:		
		$\boxtimes$	17.50.000 (B)(3)			
				a. The project comprises an addition of less than 250 square feet of conditioned space.		
				b. The City Engineer finds that sidewalks are not necessary because of existing		
				geographic limitations, pedestrian traffic on the street does not warrant a		
				sidewalk, or if a sidewalk would not be beneficial to the general welfare		
				and safety of the public.		
			Staff Comments	N/A as sidewalks are existing.		
$\boxtimes$			17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the		
		🗆		subject property line(s) adjacent to any public street or private street.		
			Staff Comments	The existing sidewalks have been constructed equal to the length of the subject		
				property line adjacent to Lewis St.		
		$\boxtimes$	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or		
_				future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to		
				provide safe pedestrian access to and around a building.		
			Staff Comments	N/A as the sidewalk is existing.		
		$\boxtimes$	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above		
				described improvements, which contributions must be segregated by the City and		
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				not used for any purpose other than the provision of these improvements. The
				contribution amount shall be one hundred ten percent (110%) of the estimated costs
				of concrete sidewalk and drainage improvements provided by a qualified contractor,
				plus associated engineering costs, as approved by the City Engineer. Any approved
			C1 - 11 C	in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			Staff Comments	Staff does not recommend a contribution in-lieu for this project.
$\boxtimes$			17.96.060(C)(1)	All storm water shall be retained on site.
			Staff Comments	As proposed, all storm water will be retained on site.
$\boxtimes$			17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject
				property lines adjacent to any public street or private street.
			Staff Comments	The existing drainage satisfies this requirement. All new drainage improvements shall
				require approval from the Public Works Department prior to issuance of a building
				permit for the project.
		$\boxtimes$	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary,
				depending on the unique characteristics of a site.
			Staff Comments	Additional drainage improvements are not recommended at this time.
$\boxtimes$			17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			Staff Comments	The proposed drainage facilities satisfy this requirement. The Public Works Department
				has reviewed and approved the proposed drainage facilities.
$\boxtimes$			17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the
				sole expense of the applicant.
			Staff Comments	The applicant is aware of this requirement and the plans show all applicable utility
				locations.
$\boxtimes$			17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines
				within the development site shall be concealed from public view.
			Staff Comments	The applicant is aware of this requirement. All utilities will be located underground and
				all utility, power, and communication lines within the development will be concealed
				from public view.
$\boxtimes$			17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and
				install two (2") inch SDR11 fiber optical conduit. The placement and construction of
				the fiber optical conduit shall be done in accordance with city of Ketchum standards
				and at the discretion of the City Engineer.
			Staff Comments	The applicant is aware of this requirement and will comply with these standards and
				receive approval from the City Engineer prior to the issuance of a building permit.
$\boxtimes$			17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the
	-			townscape, surrounding neighborhoods and adjoining structures.
			Staff Comments	The property is located in the LI-2 Zoning District. The adjacent properties to the north
				and south are currently used for industrial purposes, including materials storage. The
				YMCA is adjacent to the rear of the property and the Lewis Street Center is located
				across the street. Staff finds that the proposed design of the Fire Training Facility is
				consistent with uses of the LI-2 Zoning District.
				consistent with ascs of the 1/2 25ming bistricti
				As indicated on Sheet A0.4 of the design review submittal, the applicant is proposing to
				paint each steel container to match in Raspberry Truffle (Benjamin Moore 2080-10). All
				guardrails, toe boards, stairs, decks, and miscellaneous trim will be galvanized steel.
		$\boxtimes$	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where
				applicable. A significant landmark is one which gives historical and/or cultural
				importance to the neighborhood and/or community.
			Staff Comments	N/A. There are no identified landmarks on the property.
		$\boxtimes$	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design
				and use similar material and finishes of the building being added to.
			Staff Comments	
	_	_	17.96.060(F)(1)	N/A as the Fire Training Facility is new construction.
$\boxtimes$			17.50.000(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and
		1		the entryway shall be clearly defined.

			Staff Comments	The proposed building provides unobstructed pedestrian access to the sidewalk along	
				Lewis St. The building is proposed to be used for fire training purposes and the	
				entryway is designed to accommodate the proposed use.	
$\boxtimes$			17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.	
			Staff Comments	The proposed Fire Training Facility has been designed by FTS Fire Training Structures LLC. The proposed facility contains three (3) 40 ft containers at the first and second level, and one (1) 20 ft container at the third level. The shipping containers have been retrofitted and designed to serve as a fire training facility. The Facility includes exterior, stair access to the second level. The second level contains a sloped roof for training purposes. The applicant has proposed metal bar grate panels for rappelling purposes, with a rappel deck and associated guardrail at the top of the structure.	
	+		17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.	
$\boxtimes$			Staff Comments	The design of the Fire Training Facility incorporates a continuity of materials and	
				colors. The applicant is proposing to paint each steel container to match in a Raspberry Truffle color indicated on Sheet A0.4 of the design review submittal. All guardrails, toe boards, stairs, decks, and trim will be galvanized steel.	
$\boxtimes$			17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.	
			Staff Comments	The proposed accessory storage facility will be painted to match the training facility.	
$\boxtimes$			17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.	
			Staff Comments	The proposed building walls are stepped back at the second and third level, which reduces the appearance of bulk and flatness.	
<del>                                     </del>		Building(s) shall orient towards their primary street frontage.			
			Staff Comments		
$\boxtimes$			17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.	
			Staff Comments	The proposed garage storage area is located at the northwest corner of the property and shall be screened from public view.	
□ □ □ IT.96.060(F)(8) Building design shall include weather protection which snow to slide on areas where pedestrians gather and compared to the state of the st		Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.			
			Staff Comments	N/A. The design of the building does not include weather protection. The proposed building does not include areas that that will serve as pedestrian gathering or circulation space.	
$\boxtimes$			17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.	
			Staff Comments	Sidewalks are existing on Lewis Street and accommodate pedestrian access.	
			17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.	
			Staff Comments	N/A as awnings are not proposed.	
$\boxtimes$			17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes	
vehicle, bicycle, pedestrian and ed			vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.		
			Staff Comments	The site has been designed to accommodate a variety of emergency vehicles. Staff finds that the Fire Training Facility will not adversely impact traffic flow from, and onto, Lewis St.	
		$\boxtimes$	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the	
				nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.	
			Staff Comments	N/A. The proposed curb cut is located more than 20 ft from the nearest intersection.	
	1		2.0,, 00	1 M/A. The proposed carb cat is located more than 20 jt from the nearest intersection.	

$\boxtimes$			17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage
				trucks and similar service vehicles to all necessary locations within the proposed project.
			Staff Comments	Emergency vehicles, snowplows, and garbage trucks will be able to access the subject
				property from Lewis Street.
$\boxtimes$			17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved
				parking and pedestrian circulation areas.
			Staff Comments	As indicated on Sheet C-1 of the design review submittal, the improved parking and
				pedestrian circulation area is approximately 7,915 square feet, with 30% of the paved
				surface equaling 2,375 square feet. The proposed snow storage area is 2,410 square
		<del>                                     </del>	17.96.060(H)(2)	feet, which satisfies this requirement.
			Staff Comments	Snow storage areas shall be provided on site.
			Stujj comments	Snow storage is provided on site. Snow storage is proposed at the southwest corner of the property
$\boxtimes$			17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet
				and shall be a minimum of twenty five (25) square feet.
			Staff Comments	The proposed snow storage area satisfies this requirement.
		$\boxtimes$	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			Staff Comments	Snow storage areas are proposed on site.
$\boxtimes$			17.96.060(I)(1)	Landscaping is required for all projects.
			Staff Comments	The landscape plan is indicated on Sheet L1.1 of the design review submittal. The
				proposed Aspen trees will not sufficiently screen the Fire Training Facility until they are
				mature. The City Arborists recommends alternative plantings such as shrubs or vines
				along the fences to enhance screenings. The City Arborist shall review and approve the
			47.00.000(1)(2)	final landscape and irrigation plan prior to issuance of a building permit for the project.
$\boxtimes$			17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a
				site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			Staff Comments	While Aspen trees are readily adaptable to the site's microclimate, the proposed Aspen
				trees will not sufficiently screen the Fire Training Facility until they are mature.
$\boxtimes$			17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are
				recommended but not required.
			Staff Comments	See comment above for Ketchum City Code §17.96.060(I)(2).
	$\boxtimes$		17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not
				limited to, structures, streets and parking lots. The development of landscaped
				public courtyards, including trees and shrubs where appropriate, shall be
			Staff Comments	encouraged.
			Stujj Comments	The proposed use will include periodic burning and training operations consistent with firefighting. Therefore, landscaping should be used strategically to provide a buffer
				from the adjacent land uses, such as the YMCA to the rear. The City Arborists
				recommends alternative landscaping to enhance screening. The final landscape and
				irrigation plan shall be reviewed and approved by the City Arborists prior to issuance of
				a building permit.
$\boxtimes$			17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities
				may include, but are not limited to, benches and other seating, kiosks, bus shelters,
				trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive
				approval from the Public Works Department prior to design review approval from
			Staff Comments	the Commission.
			Staff Comments	Sidewalks are existing. Additional amenities are not proposed.

### STAFF RECOMMENDATION

Staff recommends approval of the Fire Training Facility Design Review application, subject to conditions of approval 1-8 listed below.

### **COMMISSION OPTIONS**

- Move to continue review of the Design Review application for the Fire Training Facility to a date certain.
- Move to deny the Design Review application for the Fire Training Facility and draft findings supporting denial.

### RECOMMENDED CONDITIONS

- 1. All departmental conditions as described in Table 2, 3, and 4;
- 2. All building and fire code requirements as dictated by 2012 family of international codes shall apply to all construction onsite;
- 3. TERM OF APPROVAL: The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations;
- 4. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and approved prior the issuance of a Certificate of Occupancy;
- 5. The applicant shall coordinate with the Public Works Department to determine the final sidewalk configuration and curb cut design prior to the issuance of a building permit;
- 6. The final landscape and irrigation plan shall be reviewed and approved by the City Arborist prior to issuance of a building permit for the project;
- 7. The City of Ketchum shall secure a location for the existing impound lot and storage area currently located on the subject property prior to issuance of a building permit for the project; and
- 8. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

### **ATTACHMENTS:**

- A. Application Form
- B. Plans

## ATTACHMENT A. APPLICATION FORM



## City of Ketchum Planning & Building



OFFICIAL USE ON	ILY
FIP18 - 025	
Date Redive2 - 18	
By: M	
Pre-Appli <del>cation F</del> ee Pa	id:
Waived Eee Paid	d:
Approved Date:	
Denied Date:	
Ву:	
ADRE: Yes No	

## **Design Review Application**

APPLICANT INFORMATION				
Project Name: KSVVA Fire Training Facility		Phone: 208-720-3448 D. Lister or 208-309-2550 T. Bowman		
Owner: KSVVA donating to City of Ketchum		Mailing Address: KSVVA PO Box 1262 Ketchum, ID 83340; or KFD Box 966		
Email: dl@pdisv.com or tombowman011@gmail.c	om	Not	7VA FO Box 1202 Retchalli, ID 83340, 01 RFD Box 900	
Architect/Representative: Daniel Hollis HR Ar	chitects	Phone: 208-721-7160	*	
Email: daniel@hr-architects.net		Mailing Address:	D Box 1769 Sun Valley, ID 83353	
Architect License Number: AR-985372		F	D Box 1709 Sull Valley, ID 65555	
Engineer of Record: Matt Morrell - Foundation; F	Phoebe Johannesson - Site	Phone: 208-726-9299		
Email: morellengineering@cox.net; phoebe@bma	5b.com	Mailing Address:	D Box 2401 Ketchum, ID 83340	
Engineer License Number: P-6589 (MM); P-17				
			more than four (4) dwelling units and development	
projects containing more than four (4) dwelling uni	its shall be prepared by an	ldaho licensed architect or	r an Idaho licensed engineer.	
PROJECT INFORMATION			22/ 2404/2002	
Legal Land Description: Northgate Subdivision	Lot 7 Block 1		RPK 04940000070	
Street Address: 219 Lewis Street				
Lot Area (Square Feet): 12,000				
Zoning District: LI-2				
Overlay District:     Floodplain	☐ Avalanche	□Mountain		
Type of Construction:	□Addition	□Remodel □Other		
Anticipated Use: Government - Fire Training Fa	cility	Number of Residential Units: none		
TOTAL FLOOR AREA				
	Proposed		Existing	
Basements none	none	Sq. Ft.	0 Sq. Ft.	
1 <sup>st</sup> Floor 640 inside + 160 storage container	800	Sq. Ft.	0 Sq. Ft.	
2 <sup>nd</sup> Floor 320 inside; 224 exterior deck (8x28)	320	Sq. Ft.	0 Sq. Ft.	
3 <sup>rd</sup> Floor 160 inside; 160 exterior deck (8 x 20)	160	Sq. Ft.	0 Sq. Ft.	
Mezzanine (level 4 deck) 160 + 84 rappel deck (10.5 x 8)		Sq. Ft.	0 Sq. Ft.	
Total 1280 enclosed; 628 decks	1280 enclosed	Sq. Ft.	0 Sq. Ft.	
FLOOR AREA RATIO				
Community Core:	Tourist:		General Residential-High:	
BUILDING COVERAGE/OPEN SPACE				
Percent of Building Coverage: 16 x 40 footpr	int + 8 x 20 storage = 960 s	sf / (lot 80 x 150) = 8% lot o	coverage	
DIMENSIONAL STANDARDS/PROPOSED	SETBACKS			
Front: 50' to exter stair; 54' to Bldg Side	2: 24' North	Side: 40' S. to bldg; 33' to	stair Rear: 10' to storage; 56' to bldg	
Building Height: 35' to rappel deck floor; 38'-6" to rappel deck open handrail				
OFF STREET PARKING				
Parking Spaces Provided: 1 ADA, 1 Conventional				
Curb Cut: existing Sq. Ft. %				
WATER SYSTEM				
Municipal Service		☐ Ketchum Spring Water		

## ATTACHMENT B. PLANS



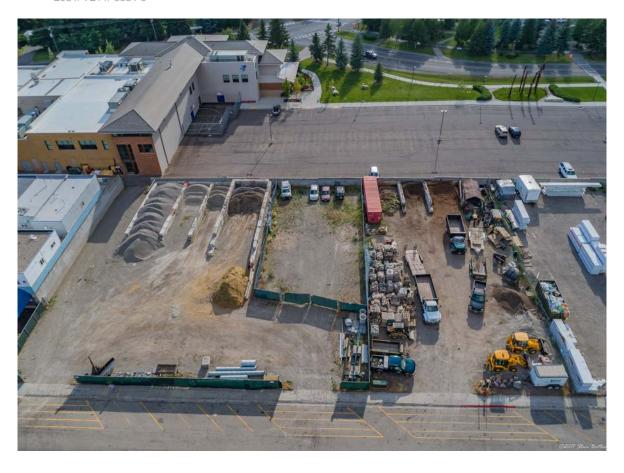




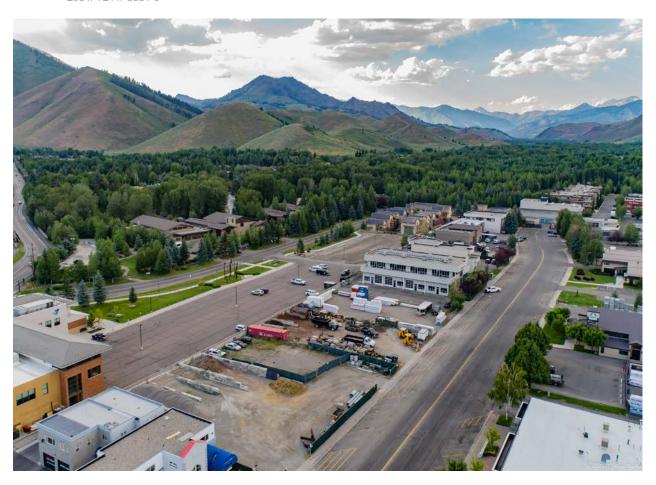




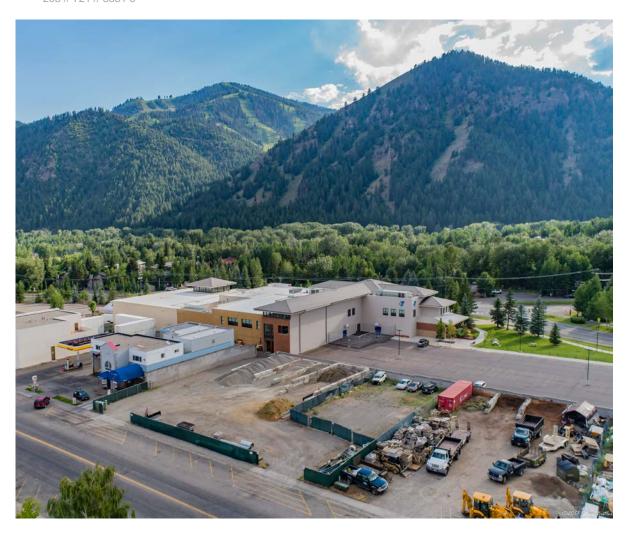
Aerial Map image



Aerial picture from the East (Steve Butler)



Aerial picture from the South East (Steve Butler)

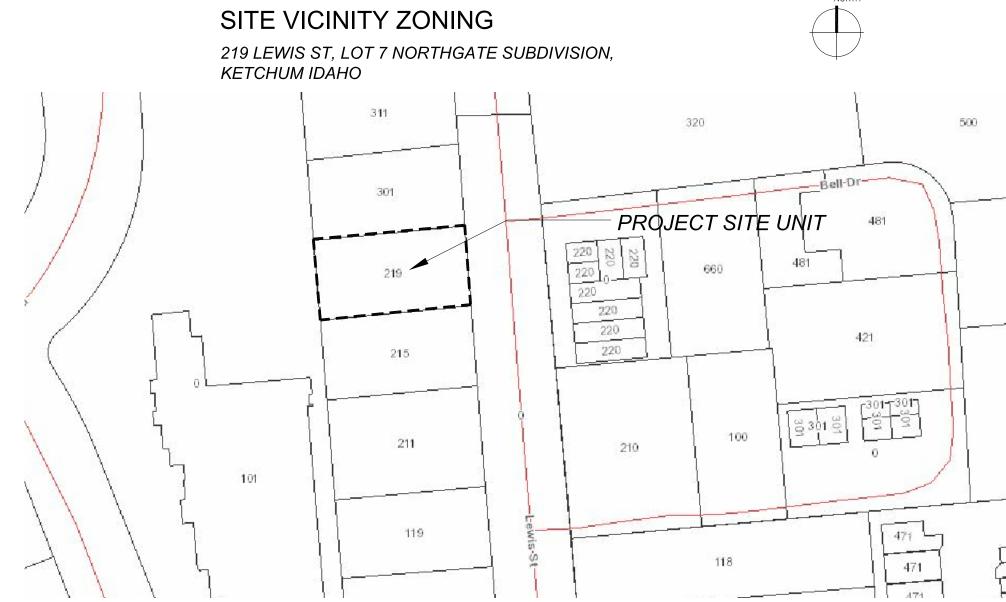


Aerial picture from the North East (Steve Butler)

219 LEWIS ST, LOT 7 NORTHGATE SUBDIVISION, KETCHUM IDAHO







## PROJECT DIRECTORY

CLIENT & OWNER-BUILDER CITY OF KETCHUM (KSVVA) P.O.BOX 1262, KETCHUM, ID 83340 CONTACT ARCHITECT FOR ALL CLIENT COMMUNICATIONS

ARCHITECT

**HOLLIS RUMPELTES ARCHITECTS, AIA** PO 1769 (POST) SUN VALLEY, ID 83353 480 WASHINGTON AVE, Suite 201 (COURIER) KETCHUM, ID 83340 P: 208.721.0633 E: JJ@hr-architects.net or daniel@hr-architects.net

CONTRACTOR POSTER CONSTRUCTION 120 2nd AVE NORTH, SUITE 208 (COURIER) BOX 1139, (POST)

STRUCTURAL ENGINEER MORELL MATT PE 1007 WARMSPRINGS RD #G, (COURIER) KETCHUM, ID 83340 P: 208.726.2844

E: Contact@murarengineering.com

GEOTECHNICAL ENGINEER **BUTLER ASSOCIATES, INC** BOX 1034. KETCHUM, ID 83340 P: 208.720.6432 E: svgeotech@gmail.com

KETCHUM, ID 83340

CIVIL ENGINEER & SURVEYORS BENCHMARK ASSOCIATES, PA BOX 733,100 BELL DRIVE, KETCHUM, ID 83340 P: 208.726.9512 E: ?@BMA5B.COM

CODE COMPLIANCE DIA SULLIVAN, ARCHITECT PLLC P.O BOX 233 WHITEFISH, MT 59937 P: 406.250.1016 E: dsa@cyberport.net

CTR

## PROJECT DATA

LEGAL OWNER CITY OF KETCHUM (KSVVA) OWNER'S ADDRESS BOX 1262 (POST) KETCHUM, ID 83340 219 LEWIS ST, LOT 7 NORTHGATE KETCHUM, ID 83340 CODE 2012 IBC

ZONING LI-2: Light Industrial District #2 SETBACKS

FRONT YARD 20' LI-2 (17.12.030) SIDE YARD 0' LI-2 (17.12.030) 10' (1' FOR EVERY 3' HEIGHT) REAR YARD

HT LIMITATION 35' (PROPOSED 35'-0") INDUSTRIAL: GROUP U USE OCCUPANCY TEMPORARY BLDG

CONST. TYPE

CODE COMPLIANCE: IBC 2012

II-A (NON-SPRINKLERED)

100 PSF, 40 PSF RESIDENTIAL

115 MPH 3 SECOND GUST (ULT)

100 PSF (SNOW LOAD)

IMPORTANCE FACTOR = I

CATEGORY II

IRC 2012 IECC 2012 CMEC 2012 IPMC 2012 IFC 2009

**ARCHI** 

A3.3 FENCE SCREENING PLAN/ELEVATION A3.4 SCREEN DETAILS A4.1 BUILDING SECTIONS

E2.1 SITE LIGHTING & ELECTRICAL PLAN E2.2 SITE LIGHTING SPECIFICATIONS

# **AREA CALCULATIONS**

FLOOR LIVE LOAD: ROOF LIVE LOAD:

SEISMIC ZONE: WIND LOADS:

PROPOSED BUILDING AREA	1120 SF
PROPOSED 1st FLR AREA	640 SF
PROPOSED 2nd FLR AREA	320 SF
PROPOSED 3rd FLR AREA	160 SF
PROPOSED DECK / RAPPEL PLATFORM	720 SF
TOTAL BLDG AREA	1,840 SF

	RAWI	NGINDEX		
	GENERAL		STRUCTURAL	
	A0.0	PROJECT DATA / GENERAL NOTES / INDEX	S 0.0	STRUCTURAL SPECIFICATIONS
	A0.1	DOOR & WINDOW SCHEDULE	S 1.0	FOUNDATION PLAN
	A0.2	EXTERIOR 3D MODEL VIEWS	S 2.0	STRUCTURAL DETAILS
340	A0.3	EXTERIOR 3D MODEL VIEWS	S 2.1	STRUCTURAL DETAILS
0 10	A0.4	EXTERIOR MATERIALS & COLORS SAMPLE BOARD		
	A0.5	STAGING AND CONTRACTOR PARKING PLAN		
	A0.6	CODE ANALYSIS	SHOP DRAWINGS	
			FAB-1	1st FLOOR PLAN
	SURVEY PLAN		FAB-2	2nd FLOOR PLAN
		TOPOGRAPHICAL & SITE INFORMATION	FAB-3	3rd FLOOR PLAN
		SITE PLAN	FAB-4	ROOF PLAN
		DRAINAGE PLAN (BENCHMARK ASSOC.)	FAB-5	HIGH ROOF PLAN
	C-3	DETAILS (BENCHMARK ASSOC.)	FAB-6	EXT. ELEVATION
			FAB-7	EXT. ELEVATION
	LANDSCAPE		FAB-8	EXT. ELEVATION
	L1.1	LANDSCAPE PLAN	FAB-9	EXT. ELEVATION
AF	RCHITECTURAL			
	A1.1	SITE PLAN		
	A1.2	CONSTRUCTION ACTIVITY PLAN		
	A2.1	LEVEL 1 - 2 FLOOR PLAN		
	A2.2	LEVEL 3 - 5 FLOOR PLAN		
	A2.3	STORAGE CONTAINER FLOOR PLAN		
	A3.1	EXTERIOR BUILDING ELEVATIONS		
	A3.2	EXTERIOR BUILDING ELEVATIONS		

SYMBOLS LEGEND

DOOR NO.

WINDOW NO.

INTERCONNECTED

HARDWIRED, BATT.

ALARM / DETECTOR

SECT KEY

INT. ELEV. KEY

BACKUP SMOKE

(1) --- GRID NO.

OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION

**HollisRumpeltes** 

PO BOX 1769 [post]

SUITE 201 [courier]

KETCHUM, ID 83343

SUN VALLEY, ID 83353

480 N. WASHINGTON AVE

V.208.721.0633 / V.208.721.7160

LICENSED

ARCHITECT

AR 985372

DANIEL PETER HOLLIS

STATE OF IDAHO

THIS WORK WAS PREPARED BY ME





REVISION DATE REV 1 6/16/17

D.REVIEW. 3/2/18 ISSUE/DATE SCHEMATIC 9/17/17 DRAWN BY DPH, JJR CHECKED BY DPH, JJR DATE 08/31/17

1036

WALL TYPE

FIN. FLR MAT.

EXHAUST FAN

ROOM NO. /

SHEET NO.

FIN. CLNG MAT.

CEILING MOUNTED

ENLARGED PLAN &

**ELEVATION MARKER** 

INT. ELEVATION

(GWB-1

WOOD

101/A5.X

KSVVA FIRE TRAINING **FACILITY** 

JOB NO.

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO.

PROJECT DATA GENERAL NOTES

A CATEGORY SEQUENCE

12.	THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING SITE CONDITIONS TO
	REMAIN, INCLUDING TREES & SHRUBS, PAVING, FENCES, WALLS, ETC.

- 13. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- 15. INSTALL ALL EQUIPMENT & MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- 16. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. PRIOR TO ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- 17. SEALANT, CAULKING & FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLTION RECOMMENDATIONS & STANDARD INDUSTRY & BUILDING PRACTICES.
- ON A REGULAR BASIS OF ALL SUBCONTRACTORS & TRADES, & SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS INSIDE OR OUTSIDE THE JOB SITE.
- INSTALLATION OF ALL EQUIPMENT, CASEWORK, CABINETS, WOOD TRIM, ACCESSORIES, HANDRAILS, ETC.
- 20. FOR ALL FINISHES AT FLOORS, WALLS, & CEILINGS, REFER TO CLIENT.
- 21. DRIVEWAY ORIENTATION, HARDSCAPE, & LANDSCAPE ARE DESIGN/BUILD UNDER THE DIRECT SUPERVISION OF THE GENERAL CONTRACTOR INCLUDED UNDER THIS CONTRACT. FOLLOW LANDSCAPE & ARCHITECTURAL DRAWINGS WHERE APPROPRIATE FOR DESIGN INTENT.
- WELL AS CITY, COUNTY, & STATE BUILDING REGULATIONS. ALSO ADHERE TO O.S.H.A

<u>A</u>		<u>D</u>		<u>G</u>		<u>N</u> N		(S CONT.)	
A.B.	ANCHOR BOLT	DET./DTL	DETAIL	GA.	GAUGE	N	NORTH	STL	STEEL
ABV.	ABOVE	DEMO.	DEMOLISH, -TION	GALV.	GALVANIZED	N.I.C.	NOT IN CONTRACT	STD	STANDARD
AC	AIR CONDITIONER, -ING	Ø, DIA.	DIAMETER	G.C.	GENERAL CONTRACTOR	NO, #	NUMBER	STOR.	STORAGE
A.D.	AREA DRAIN	DIAG.	DIAGONAL	GEN.	GENERAL	NOM.	NOMINAL	STRUCT.	STRUCTURE, -URAL
ADJ.	ADJUSTABLE	DIM.	DIMENSION	G.I.	GALVANIZED IRON	N.R.C.	NOISE REDUCTION	SUSP.	SUSPEND(ED)
A.F.F.	ABOVE FINISHED FLOOR	DKG	DECKING	GL.	GLASS		COEFFICIENT	SVCE	SERVICE
ALUM.	ALUMINUM	DN	DOWN	GLZG	GLAZING	N.T.S.	NOT TO SCALE	SYM.	SYMMETRICAL
&, +	AND	D.O.	DOOR OPENING	GR.	GRADE	0		_	
<	ANGLE	DR	DOOR	GSM	GALVANIZED SHEET METAL	<u>0</u>	ON CENTER	<u>T</u> TBD	TO BE DETERMINED
ANOD.	ANODIZED	D.S.	DOWN SPOUT	G.F.I.	GROUND FAULT INTERRUPTED	O.C.	ON CENTER		TO BE DETERMINED
A.P.	ACCESS PANEL	DWG	DRAWING	GWB	GYPSUM WALL BOARD	O.D.	OUTSIDE DIAMETER	TEL.	TELEPHONE
ARCH.	ARCHITECT, -URAL	_				O.H.	OVERHANG	TEMP.	TEMPERED
Б.		트	FACT	<u>H</u>	LIEADED	OPNG	OPENING	T&G	TONGUE & GROOVI
<u>B</u>		E (-)	EAST	HDR	HEADER	OPP.	OPPOSITE	THK	THICKNESS
BATT.	BATTERY	(e)	EXISTING	HDWD	HARDWOOD	OVHD	OVERHEAD	THRU	THROUGH
B.O.	BOTTOM OF	EA.	EACH	H.M.	HOLLOW METAL	Р		T.O.S.	TOP OF SLAB
BD	BOARD		ELEVATION	HORIZ.	HORIZONTAL	PERF.	PERFORATE(D)	T.O.W.	TOP OF WALL
BITUM.	BITUMINOUS	ELEC.	ELECTRIC, -AL, -IAN	H.P.	HIGH POINT	PERM.	PERIMETER	TYP.	TYPICAL
BLDG	BUILDING	EMER.	EMERGENCY	HR	HOUR	PL.	PLATE	U	
BLKG	BLOCKING	ENCL.	ENCLOSE(D), - URE	H, HT	HIGH, HEIGHT	PLAS	PLASTIC	U.N.O.	UNLESS NOTED OT
BLW	BELOW	ENG.	ENGINEER	HTG, HTR	HEATING, HEATER		I. PLASTIC LAMINATE		011220011012501
ВОТ.	BOTTOM	ENT.	ENTRY, -ANCE	HVAC	HEATING VENTILATION &	PLUMB.	PLUMBING	<u>V</u>	
BRK	BRICK	EQ.	EQUAL		AIR CONDITIONING	PLYWD	PLYWOOD	VENT.	VENTILATION
B.S.	BOTH SIDES	EQUIP.	EQUIPMENT	ı		PNL	PANEL	VERT.	VERTICAL
BSMNT	BASEMENT	EXSTG/	EXISTING	i.D.	INSIDE DIAMETER	POL.	POLISH(ED)	VEST.	VESTIBULE
C		EXIST		IN.	INCHES	PR	PAIR	V.C.T.	VINYL COMPOSITE
<u>င</u> မ	CENTER LINE	EXH.	EXHAUST	INSUL	INSULATION	110	1 Aux	V.P.	VENEER PLASTER
¥	OLIVIER LINE	EXP.	EXPANSION	INV.	INVERT	<u>R</u>		V.T.R.	VENT THRU ROOF
CAB.	CABINET	E.J.	EXPANSION JOINT	IIV.	IIIV LICI	R	RISER	W	
CAP.	CAPACITY	EXT.	EXTERIOR	<u>J</u>		RAD.	RADIUS	W, WD	WIDE, WIDTH
CEM.	CEMENT, -IOUS	F		JT	JOINT	R.A.	RETURN AIR	W/	WITH
CER.	CERAMIC	<u>└</u> F.A.I.	FRESH AIR INTAKE	1		R.D.	ROOF DRAIN	WC	WATER CLOSET
C.F.	CUBIC FEET	F.A.I. FNDTN	FOUNDATION	∟ LIN. DIFF.	LINEAR DIFFUSER	REF.	REFER TO, REFERENCE	WD	WOOD
C.F.M.	CUBIC FEET PER MINUTE	FIBERGL.	FIBERGLASS	L, LG	LONG, LENGTH	REFER	REFRIGERATOR	W.H.	WATER HEATER
C.I.P.	CAST IN PLACE CONCRETE	FIDENGL.	FINISH(ED)	L, LG LAM.	LAMINATE	REINF.	REINFORCE(D)	WDW	WATER HEATER
C.J.	CONTROL JOINT	F.F.	FINISH(ED) FLOOR	LAV.	LAVATORY	REV.	REVISED, REVISION	W.P.	WATERPROOFING
CLNG	CEILING	F.C.	, ,	LAV	POUND	RM	ROOM	WT	WEIGHT
CLOS.	CLOSET		FINISH(ED) CEILING			R.H.	ROBE HOOK	VVI	WEIGHT
CMU	CONCRETE MASONRY UNIT	FIN. GR. FLR	FINISH(ED) GRADE	L.C.	LAUNDRY CHUTE	R.O.	ROUGH OPENING		
CONC.	CONCRETE		FLOOR	L.D.	LANDSCAPE DRAWINGS	0			
CNTR	COUNTER	FLUOR.	FLUORESCENT	L.P.	LOW POINT	<u>s</u>	COUTH		
C.O.	CLEANOUT	F.O.	FACE OF	LT, LTG	LIGHT, LIGHTING	S	SOUTH		
COL.	COLUMN	F.O.I.C.	FURNISHED BY OWNER INSTALLED BY CONTRACTOR	LVR	LOUVER	SCHED.	SCHEDULE		
COMM.	COMMUNICATION			M		SCRN	SCREEN		
CONST	CONSTRUCTION	F.P.	FIREPROOFING	MACH.	MACHINE	SECT.	SECTION		
CONT	CONTINUOUS	FR.	FRAME	MAX.	MAXIMUM	S.C.D.	SEE CIVIL DRAWINGS		
CORR.	CORRIDOR	FRT'D	FIRE RETARDANT TREATED	MECH.	MECHANICAL	S.E.D.	SEE ELECTRICAL DRAWING		
C P	CONTROL POINT	FRZR	FREEZER	MEMB.	MEMBRANE	S.L.D.	SEE LANDSCAPE DRAWINGS	3	
CPT	CARPET	F.S.	FULL SIZE	MEZZ.	MEZZANINE	SHT	SHEET		
CRS	COURSE(S)	FT	FOOT, FEET	MFR	MANUFACTURER	SIM.	SIMILAR		
CSA	CRAWLSPACE ACCESS	FTG	FOOTING	MIN.	MINIMUM	S.J.	SCORED JOINT		

MTD

MOUNTED

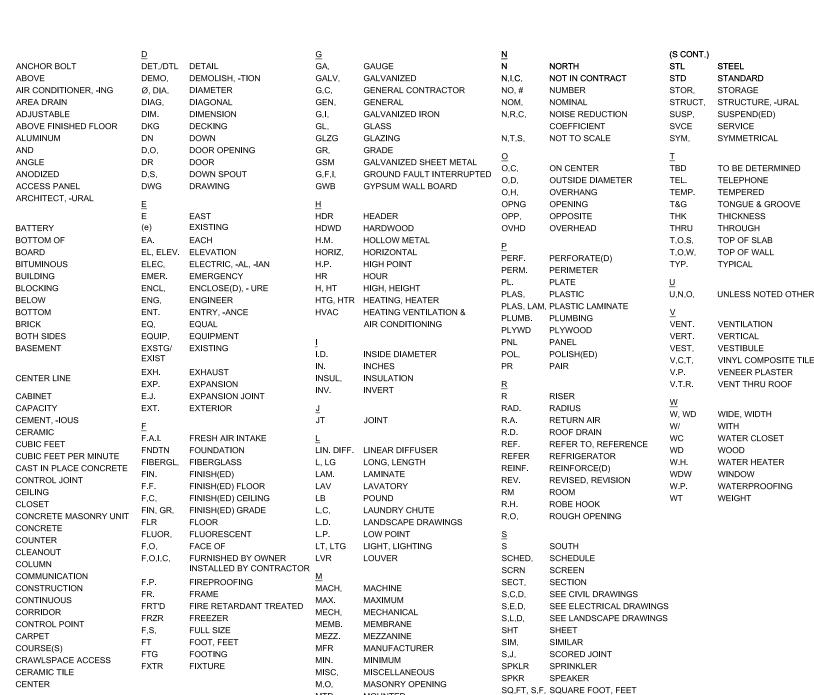
METAL

MTNG MEETING

SQ. SQUARE

S.S. STAINLESS STEEL

S.S.D. SEE STRUCTURAL DRAWINGS





5. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT & COMPLETE SET OF FOR USE BY ALL TRADES & SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. 6. THE GENERAL CONTRACTOR SHALL VERIFY & ASSUME RESPONSIBILITY FOR ALL DIMENSIONS & SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES & TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING HAVE BEEN REASONABLY INFERRED FROM SUCH EXAMINATION. 7. WRITTEN DIMENSIONS TAKE PRECEDENCE. **DO NOT SCALE DRAWINGS**. FACE OF CMU, OR FACE OF INTERIOR STUD, U.N.O.

10. THE GENERAL CONTRACTOR SHALL REVIEW ALL BUILDING DIMENSIONS FOR ACCURACY

11. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUY NOT LIMITED TO IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, WATER LINES, SEWER & STORMWATER LINES, GAS LINES, ETC.

GENERAL NOTES

1. THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS & EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT LEAVING ALL WORK READY FOR USE. 2. THESE DRAWINGS, TOGETHER WITH THE SPECIFICATION, AIA GENERAL CONDITIONS

DOCUMENT A-201, 1988 EDITION, REPRESENT THE CONTRACT DOCUMENTS. 3. THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS IS

INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE

NOTES. 4. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CLIENT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION

PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD

8. ALL DIMENSIONS WHEN SHOWN IN PLAN ARE TO FACE OF EXTERIOR WALL SHEATHING,

9. ALL DIMENSIONS ARE TO TOP OF FINISHED FLOOR IN SECTION OR ELEVATION, U.N.O.

PRIOR TO LAYING OUT ANY PORTION OF BUILDING ON SITE, & SHALL NOTIFY THE ARCHITECT WELL IN ADVANCE OF ANY DISCREPANCIES OR ERRORS.

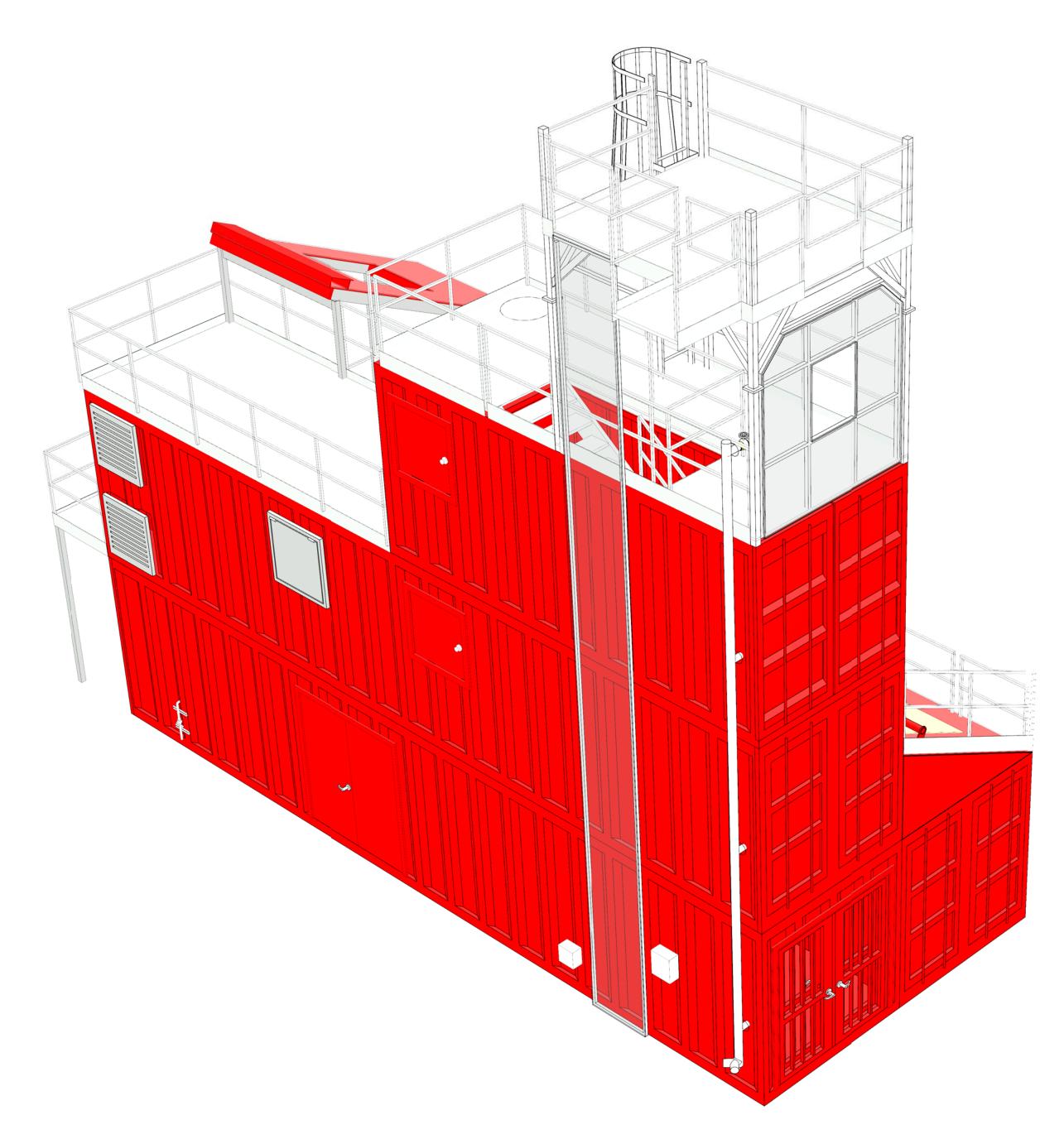
14. VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL DRAWINGS PRIOR TO THE ORDERING OF, OR INSTALLTION OF ANY ITEM OF WORK.

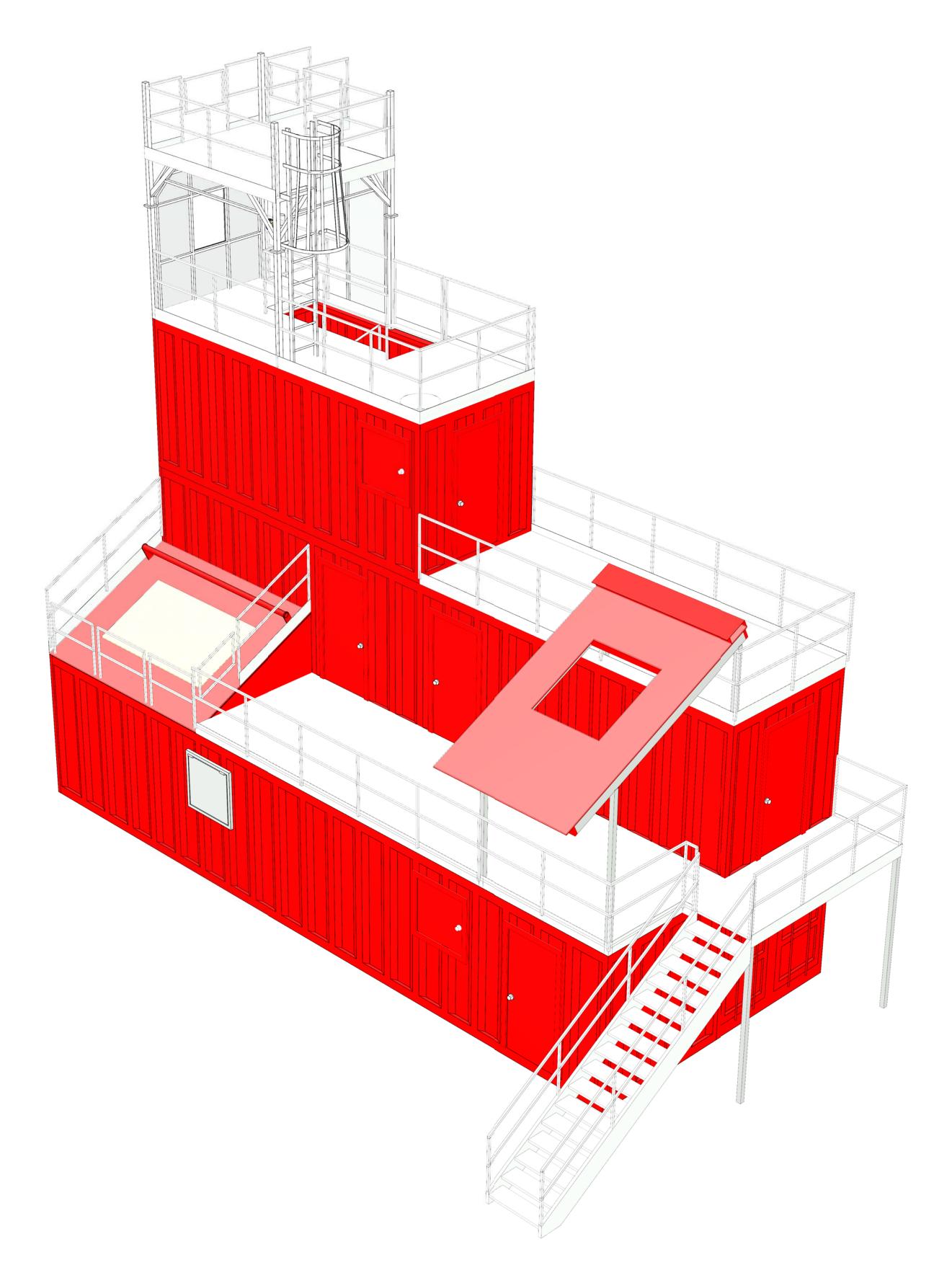
18. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS, & WASTE MATERIALS

19. THE GENERAL CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR THE

22. THE GENERAL CONTRACTOR SHALL ADHERE TO ALL APPLICABLE BUILDING CODES, AS

Manufacturer: Fire Training Structures, LLC 3233 E. Corona Ave Phoenix, AZ 85040 1-877-268-8303 www.mobilefireunits.com





4 Northwest High Perspective 0.2

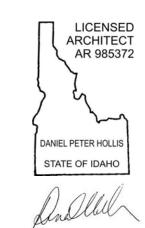
2 Southeast High Perspective 0.2

Hollis Rumpeltes

AIA LEED AP

PO BOX 1769 [post] SUN VALLEY, ID 83353 480 N. WASHINGTON AVE SUITE 201 [courier] KETCHUM, ID 83343

V.208.721.0633 / V.208.721.7160



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION





ISSUE DATE

DRAWN BY DPH, JJR
CHECKED BY DPH, JJR

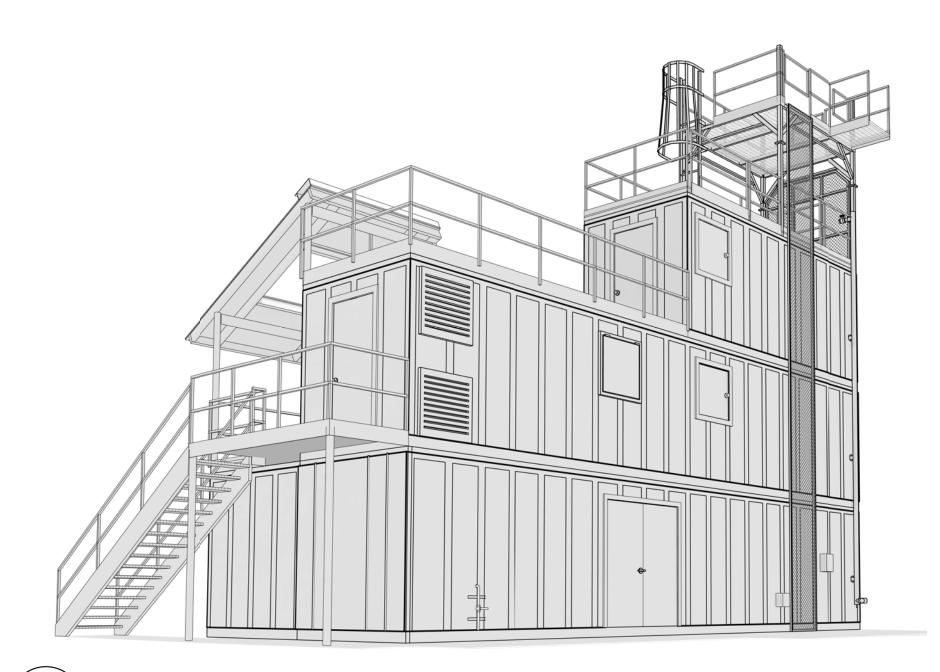
KSVVA FIRE TRAINING **FACILITY** 

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO

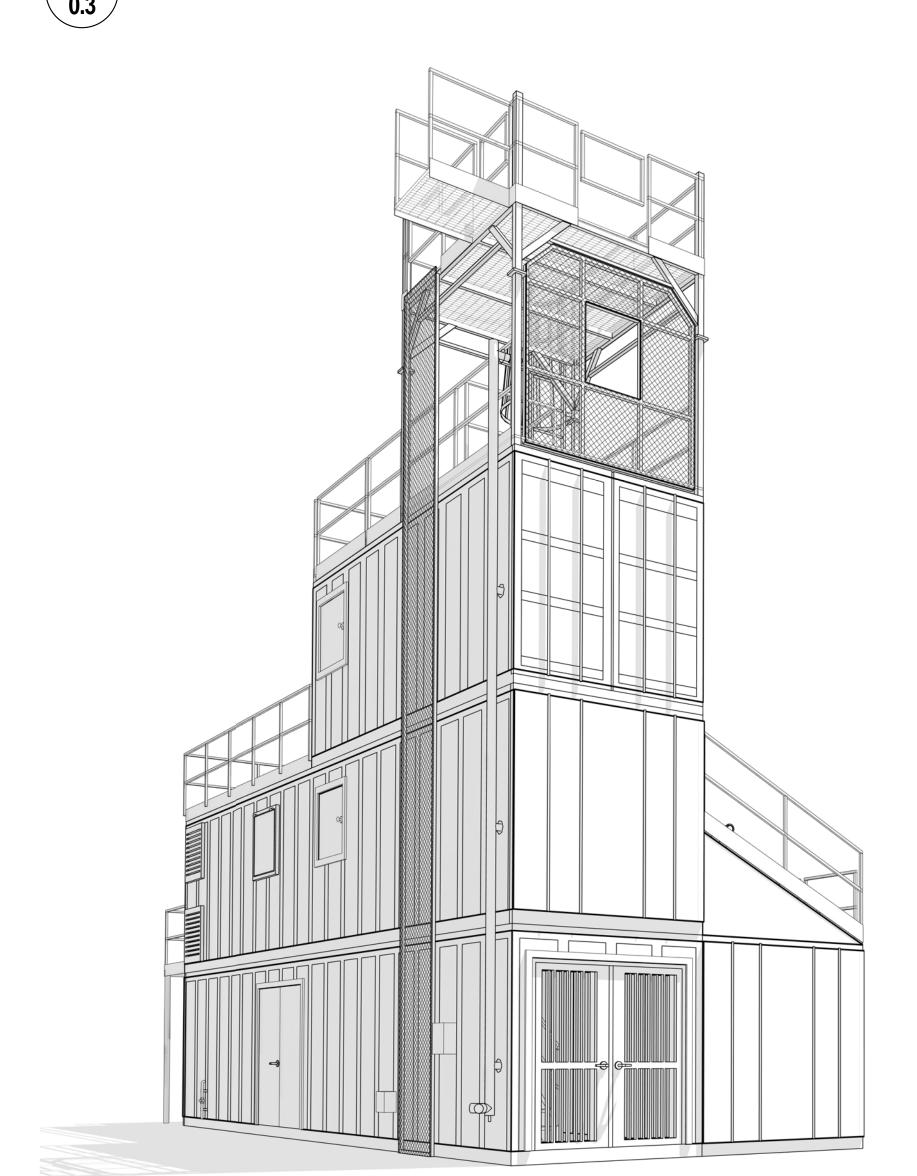
PERSPECTIVES

SEQUENCE

CATEGORY

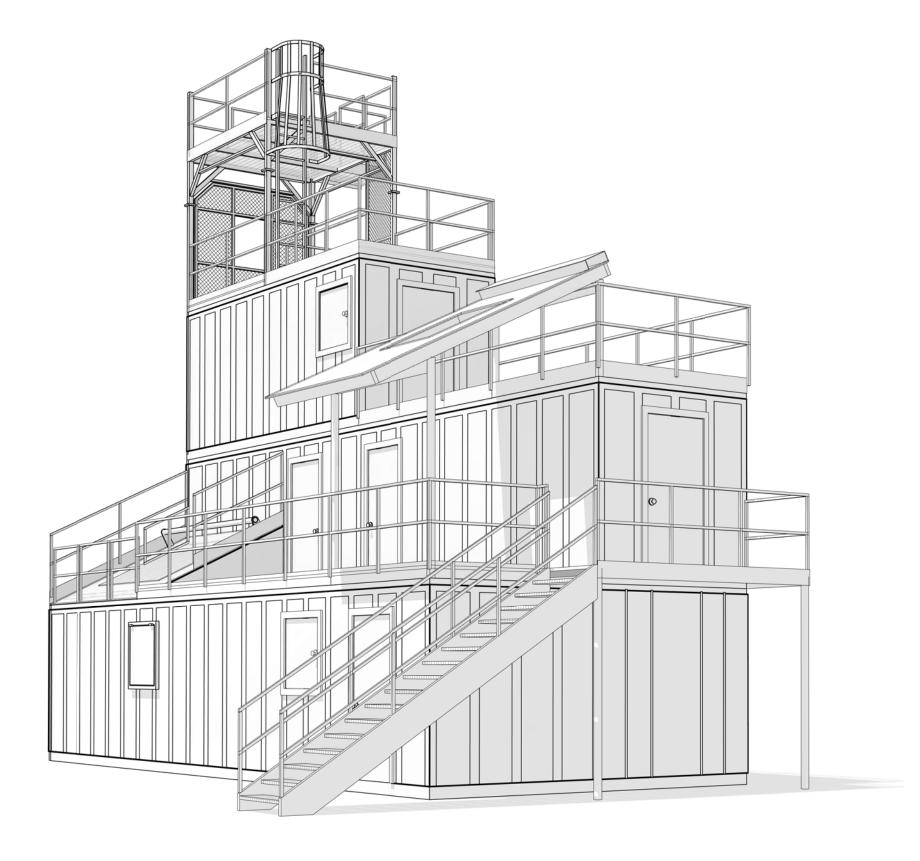


1 Northeast Perspective 0.3

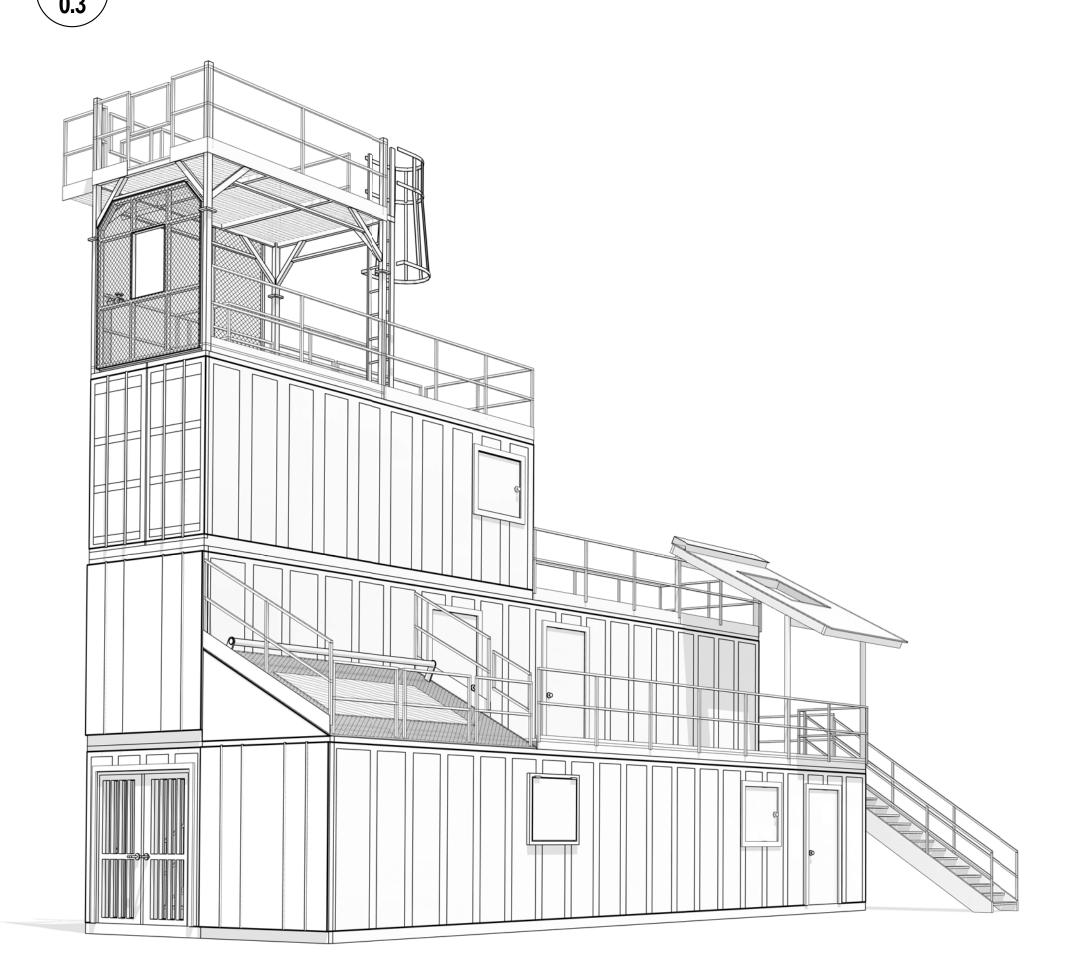


Northwest Perspective

0.3



2 Southeast Perspective

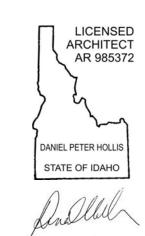


4 Southwest Perspective 0.3



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D.REVIEW 2/27/19
ISSUE/DATE SCHEMATIC 9/17/19
DRAWN BY DPH, JJR
CHECKED BY DPH, JJR

**KSVVA**FIRE TRAINING

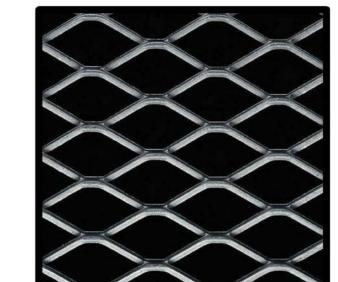
**FACILITY** 

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO

PERSPECTIVES

A CATEGORY 0.3 SEQUENCE Vertical Panels at Rappel Deck:

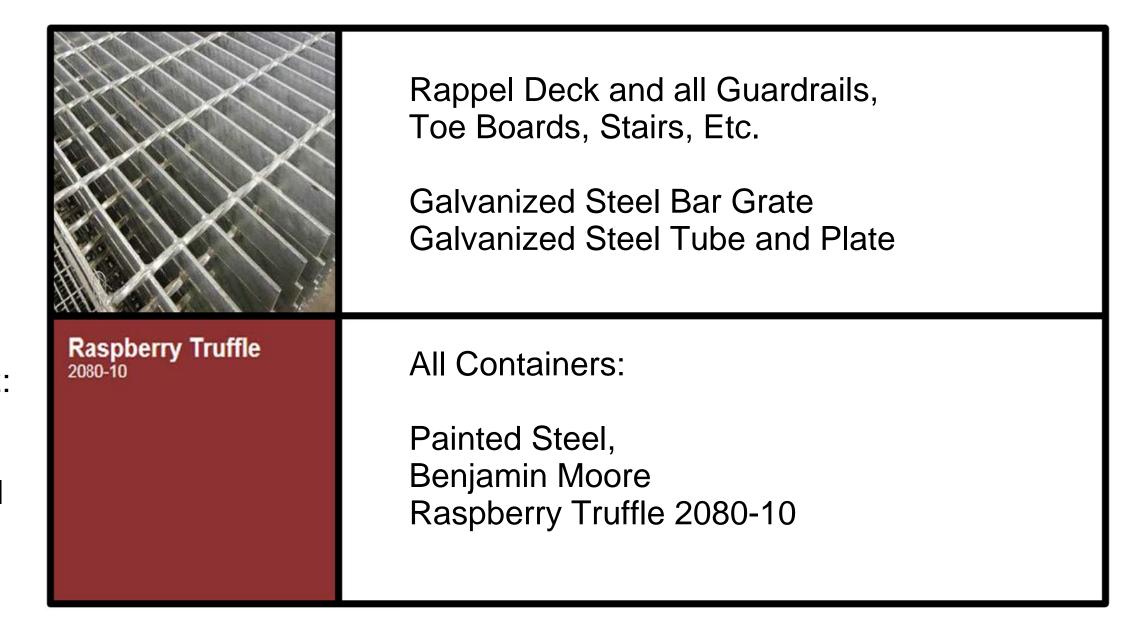
Galvanized Expanded Metal Mesh

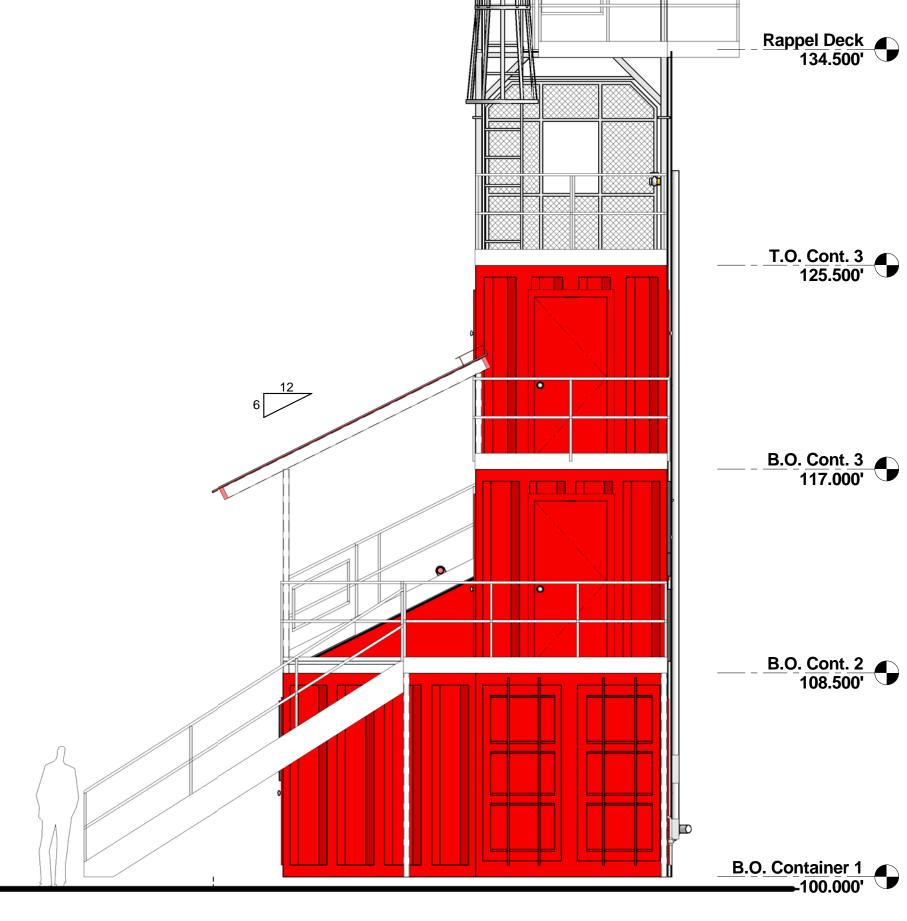


Sloped Roof at Level 2:

Galvanized Expanded Metal Mesh Over Steel Plate; all painted to match Level 2 Container.

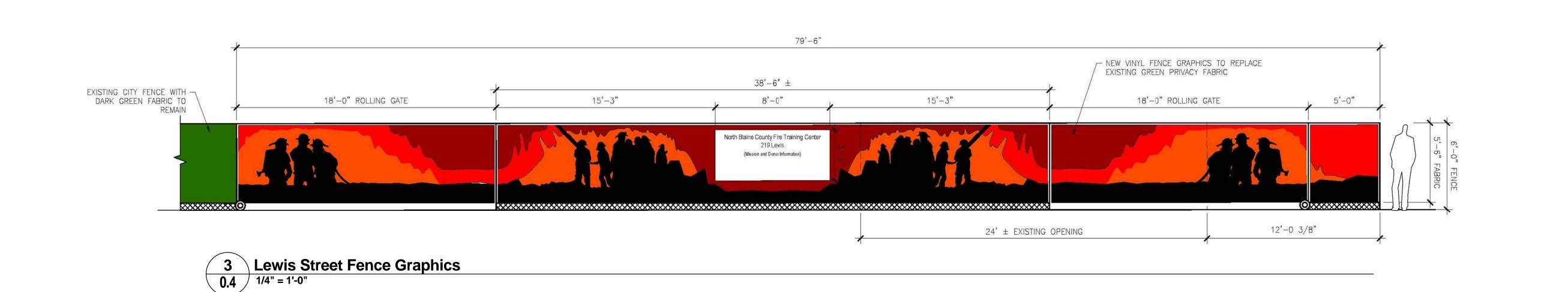
With 4' x 8' unfinished plywood or OSB insert for cutting









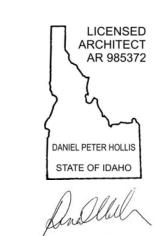


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ISSUE/DATE SCHEMATIC 9/17
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CHECKED BY DPH, JJR
DATE 08/31/17
JOB NO. 1036

# KSVVA FIRE TRAINING FACILITY

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO

EXTERIOR MATERIALS AND COLORS

A

0.4
SEQUENCE

# **BUILDING CODE ANALYSIS** KETCHUM SUN VALLEY VOLUNTEER ASSOCIATION FIRE TRAINING CENTER

2-21-18

Code Used: 2012 IBC

Description of Use:

The project consists of a temporary structure of pre-assembled shipping containers designed specifically for firefighter training purposes. The structure is modular and installed on concrete piers with bolted connections to facilitate removal. The facility will be used for training on an intermittent basis only. No fulltime occupancy of any kind. Activities will consist of igniting various classes of materials within the containers and extinguishing the burns during fire drills. Areas of the building will be intentionally ignited then the fire put out during drills.

Type of Construction: Not classified as the structure is temporary and shall comply with Section 3103, Temporary Structures remaining longer than 180 days. The nature of the construction of the containers is non-combustible except for wood

panels to be cut out during burn and smoke training.

Use Type IIA as closest similar construction type.

**Building Square Footage:** 

640 SF Level 2 320 SF Level 2 Roof Deck 320 SF Level 3 160 SF **Level 3 Roof Deck** 160 SF Level 4 Roof Deck 160 SF **Level 5 Rappel Platform** 80 SF

> 1,840 SF **Total Structure**

Occupancy Group: U - Industrial Use

Allowable Height & Area:

Table 503

Using Type IIA as the closest similar construction type: Group U, Type IIA, 4 stories, 19,000 SF/story allowed. Maximum

ACTUAL = 4 levels including roof decks, </19,000 SF/story, actual

ht. = 38', OK

Location on Property:

Table 602

Type IIA Construction, Occupancy Group U, all walls are greater than 10' and less than 30' from property line for fire separation distance and non-combustible for all exterior walls.

Openings:

Table 705.8

Allowable area for openings:

NORTH WALL is 20' to >/25', non-sprinklered = 45% allowed. No

openings this wall, OK.

EAST, SOUTH AND WEST WALLS are >/30', non-sprinklered = No

Fire Training Center Code Analysis Page 2 of 2 2-21-18

Allowable SF/Occupant -SF/Occupant:

Table 1004.1.2 Group U (industrial use) - 1,760 SF / 100 = 18 occupants allowed.

Stairs:

Stairs shall be considered an industrial use and comply with all Section 1009

OSHA requirements.

Guards: Section 1013.3

Guard rails at stairs, landings and roof decks shall be not less than

42" in height.

**Section 1013.7** Guards shall be considered as similar use for this occupancy as described

in this section. Most use is for roof access at the different levels. Guards shall be constructed so as to prevent the passage of a sphere 21 inches in

diameter.

Means of Egress:

Table 1015.1

U Occupancy- Maximum allowed for one exit = 49 Actual = 18 occupants = 1 exit required. Each level is served by at least 1

exit or exit access stairway.

Table 1014.3 The common path of egress travel not to exceed 75' for U, without

sprinklers. OK, maximum distance is 25'.

Table 1016.2 The exit access travel distance for U occupancies not to exceed 300'. OK,

maximum distance is 25'.

Accessibility:

Not applicable for this occupancy. Chapter 11

**Toilet Rooms:** Table 2902.1

No requirement for U occupancy. However, 2 on-site portable toilets are

supplied and noted on site plan.

Other: LP Gas

> The use of liquid petroleum gas installed in a tank on site and used in the structure for training purposes shall comply with the requirements of NFPA 58. There will be no stored LP Gas in the structure. It will only be used to

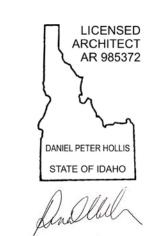
ignite specific categories of fire types for training purposes.

**END OF CODE ANALYSIS** 



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KSVVA FIRE TRAINING **FACILITY** 

JOB NO. <u>1036</u>

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO.

> CODE **ANALYSIS**

> > 0.6

SEQUENCE

CATEGORY

A0.6

CODE ANALYSIS

# FIRE TRAINING CENTER FEBRUARY 2018

## OWNER

CITY OF KETCHUM

C/O KETCHUM SUN VALLEY VOLUNTEER ASSOCIATION (KSVVA)

P.O. BOX 1262

KETCHUM, ID, 83340

(208) 726-3841

CONTACT: DAVID LISTER

## STRUCTURAL ENGINEERING

MORELL ENGINEERING/ FIRE TRAINING STRUCTURES, LLC (208) 726-2844

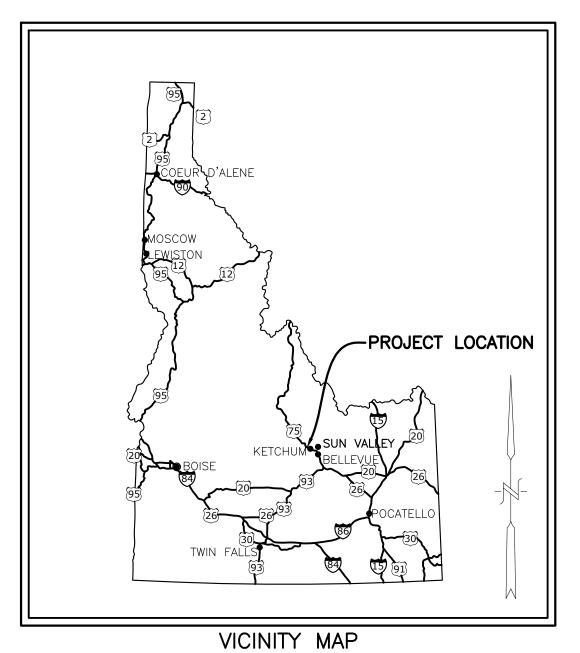
MORELLENGINEERING@COX.NET

CONTACT: MATT MORELL, P.E.

## CIVIL ENGINEERING

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733
KETCHUM, ID, 83340
(208) 726-9512
CONTACT: PHOEBE JOHANNESSEN, P.E.

SHEET INDEX					
SHEET NUMBER	SHEET TITLE				
C-0	COVER SHEET				
C-1	SITE AND UTILITY PLAN				
C-2	GRADING AND DRAINAGE PLAN				
C-3	DETAILS				
A-001	ISOMETRICS				
A-002	PERSPECTIVES				
A-101	PLANS				
A-102	PLANS				
A-201	ELEVATIONS				
A-202	ELEVATIONS				
A-301	SECTIONS				





RETINIVE LOS LINES

REVISIONS

DESCRIPTION

DATE

E

DATE

E

DATE



PREPARED BY:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 100 BELL DRIVE
KETCHUM, IDAHO 83340
(208) 726-9512
FAX 726-9514
WEB: WWW.BMA5B.COM
MAIL: WWW.BMA5B.COM

COVER SHEET

NORTHGATE SUE T4N, R17E, SEC 12, B.M.

DESIGNED BY: PLJ

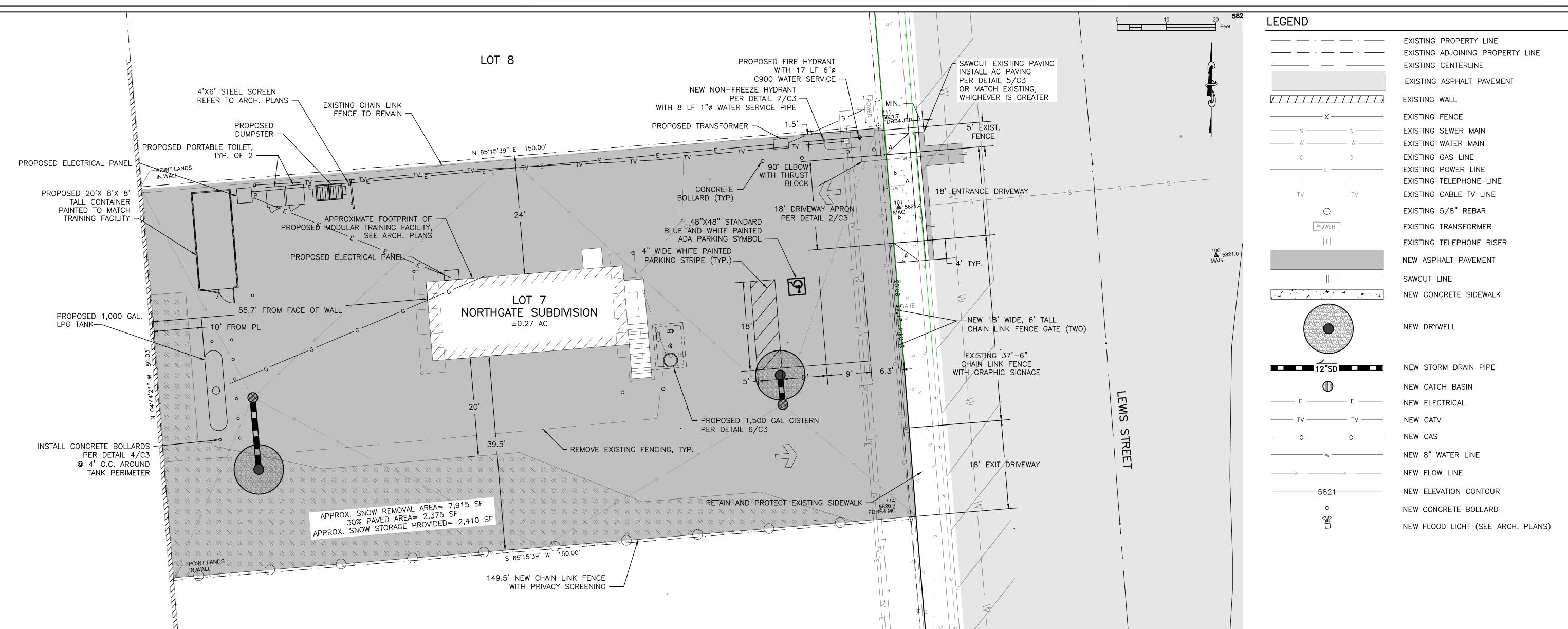
CHECKED BY: SB

DATE: 02/23/18

PROJECT NO.: 17031

SHEET NUMBER

**C-0** 

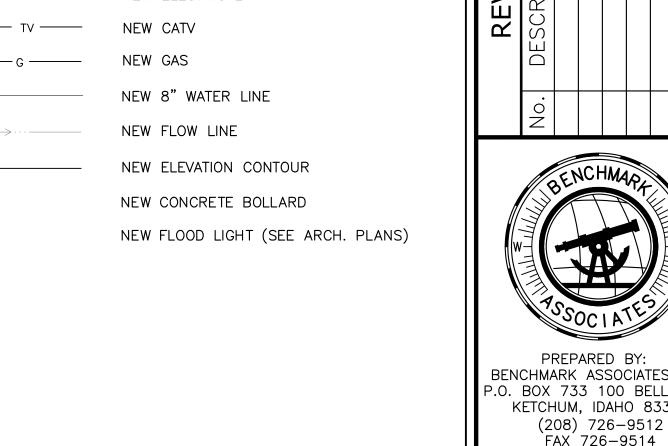


## **GENERAL NOTES:**

- 1. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 2. THE CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AND THE CITY OF KETCHUM UTILITIES DEPT. (1-208-726-7825) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.

LOT 6

- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THE STORM WATER POLLUTION PREVENTION PROGRAM AT ALL TIMES UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
- 4. THE CONTRACTOR SHALL INSTALL TEMPORARY BMP'S AS SHOWN AT THE BEGINNING OF CONSTRUCTION AND REMOVE UPON PROJECT COMPLETION.
- 5. TRENCH BACKFILL AND ROAD RECONSTRUCTION SHALL MEET KETCHUM ROAD DEPARTMENT REQUIREMENTS. CONTRACTOR SHALL CONTACT KETCHUM ROAD DEPARTMENT PRIOR TO CONSTRUCTION COMMENCEMENT.
- 6. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM STANDARDS.
- 7. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- 8. THE CONSTRUCTION OF WATER MAINS SHALL BE IN ACCORDANCE WITH IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC) AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- 9. ALL WATER SERVICE FIXTURES, FITTINGS, PIPING AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
- 10. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS 0.25%.
- 11. CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- 12. STORM DRAIN PIPE SHALL HAVE 2' MIN. COVER AND A SLOPE OF 2% MIN.
- 13. 25' MINIMUM SEPARATION BETWEEN WATER LINES AND DRYWELLS
- 14. UTILITY LINES SHOWN ARE GENERALLY DIAGRAMMATIC AND DO NOT SHOW EVERY BEND OR CLEANOUT NECESSARY FOR INSTALLATION. CONTRACTOR SHALL REFER TO THE MOST CURRENT EDITION OF THE UNIVERSAL PLUMBING CODE FOR REQUIREMENTS.
- 15. CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND/OR SURVEY CONTROL POINTS. IF ANY OF THE ABOVE LISTED ITEMS MUST BE REPLACED, THE CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO THE REMOVAL.
- 16. ELECTRICAL SERVICE TO BE DESIGNED BY IDAHO POWER AT THE REQUEST OF THE DEVELOPER FOR SPECIFIC PROJECT.
- 17. ALL UTILITIES INCLUDING, IF SHOWN, NATURAL GAS, ELECTRICAL, TELEPHONE AND CABLE TO BE EXTENDED UNDERGROUND.
- 18. CONSTRUCTION STAKING SHALL BE PROVIDED BY BENCHMARK ASSOCIATES.
- 19. EXISTING CONDITIONS PER SURVEY CONDUCTED BY BENCHMARK ASSOCIATES DATED 4/3/17.
- 20. REFER TO ARCHITECT DRAWINGS FOR SITE ELECTRICAL, LANDSCAPE, SCREENING WALL AND FENCE GRAPHICS.





	No.	VCI-			
REVISIONS	DESCRIPTION				
	DATE				
	ВУ				

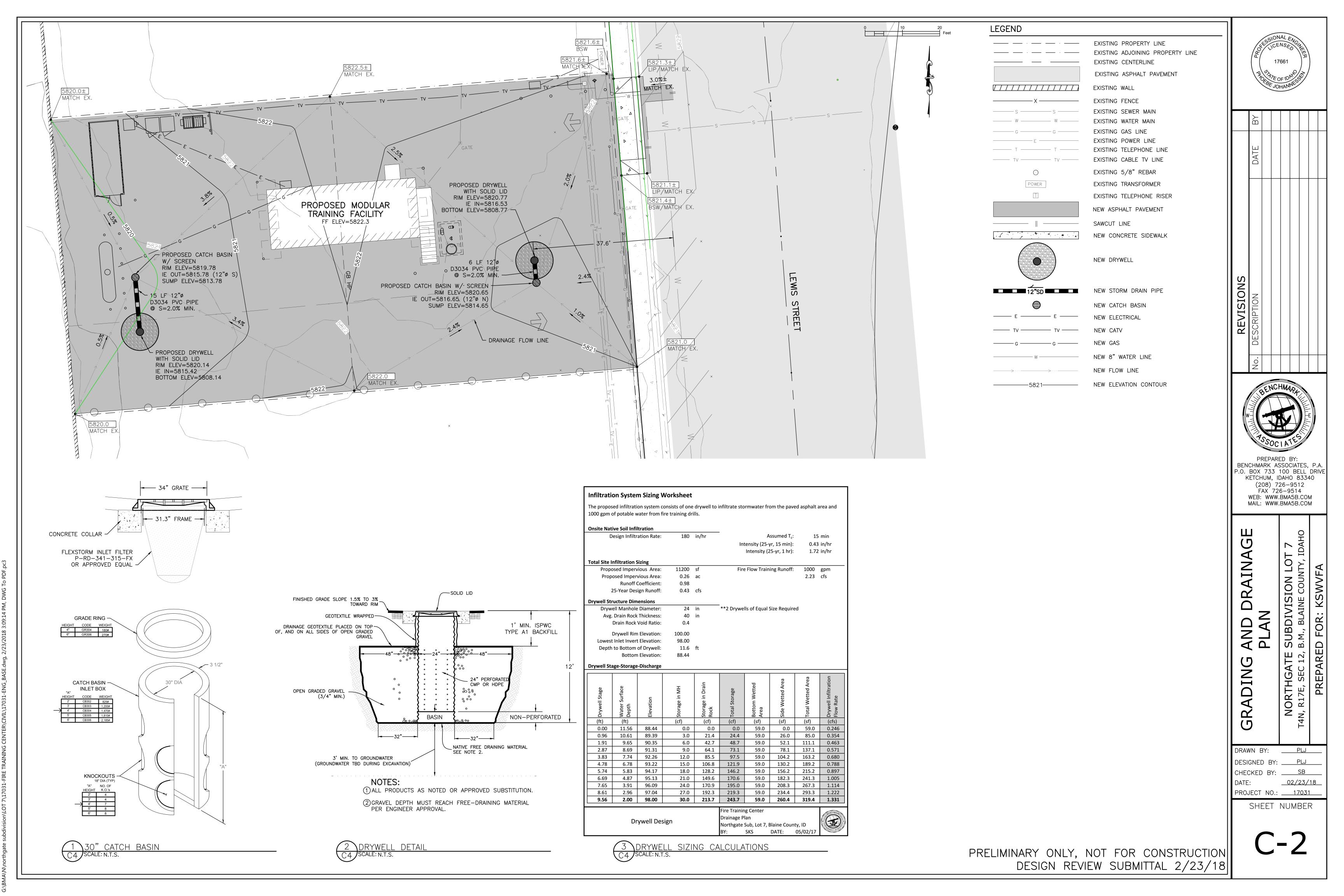
BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 100 BELL DRIVE KETCHUM, IDAHO 83340 FAX 726-9514 WEB: WWW.BMA5B.COM

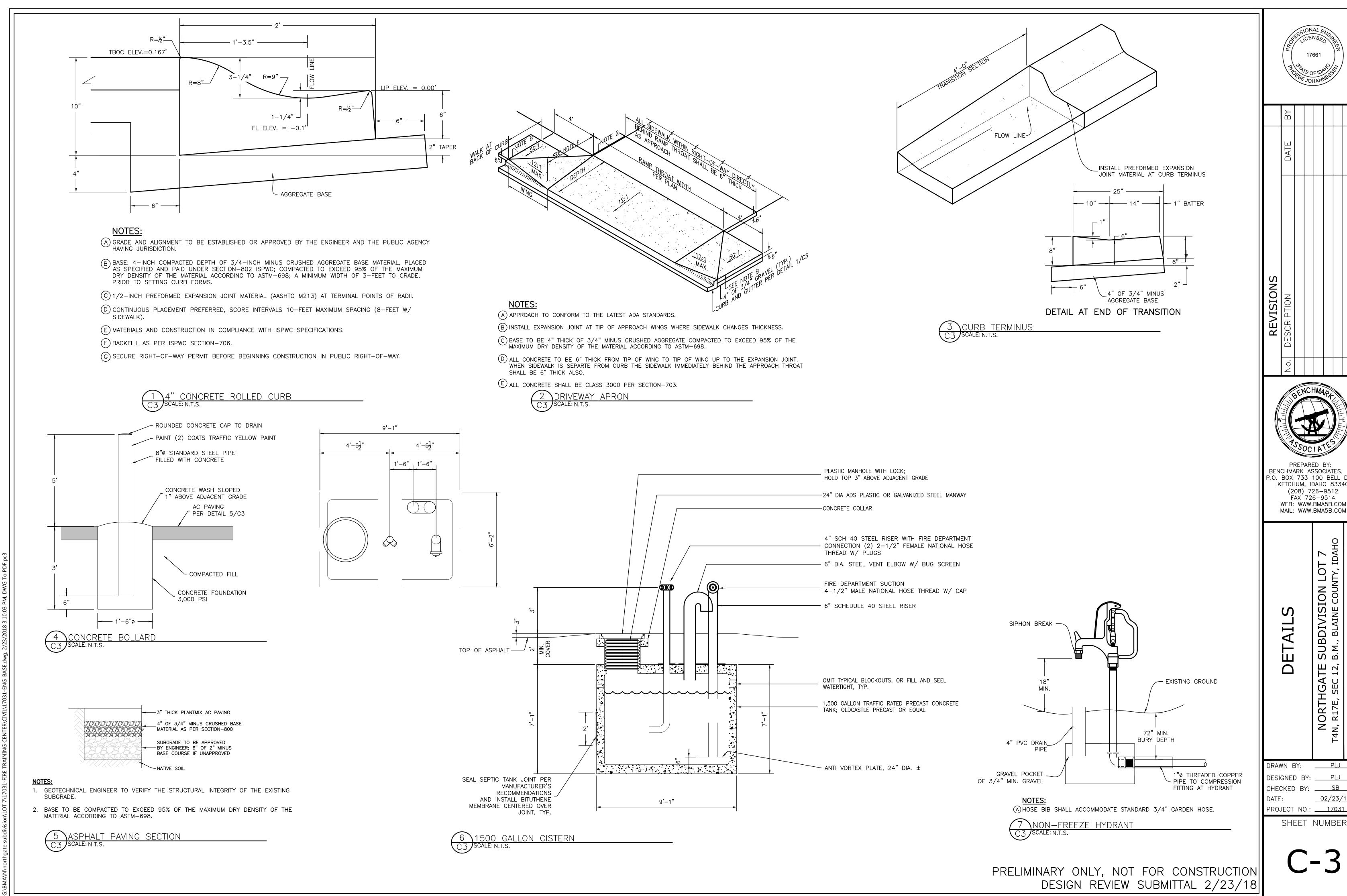
MAIL: WWW.BMA5B.COM

SION NE COUN

DRAWN BY: DESIGNED BY: PLJ PROJECT NO.: <u>17031</u>

SHEET NUMBER





P.O. BOX 733 100 BELL DRIVE KETCHUM, IDAHO 83340 (208) 726-9512 FAX 726-9514 WEB: WWW.BMA5B.COM MAIL: WWW.BMA5B.COM

> UBDIVISION LOT M., BLAINE COUNTY, II S. NORTHGATE

DRAWN BY: DESIGNED BY: CHECKED BY: 02/23/18

SHEET NUMBER





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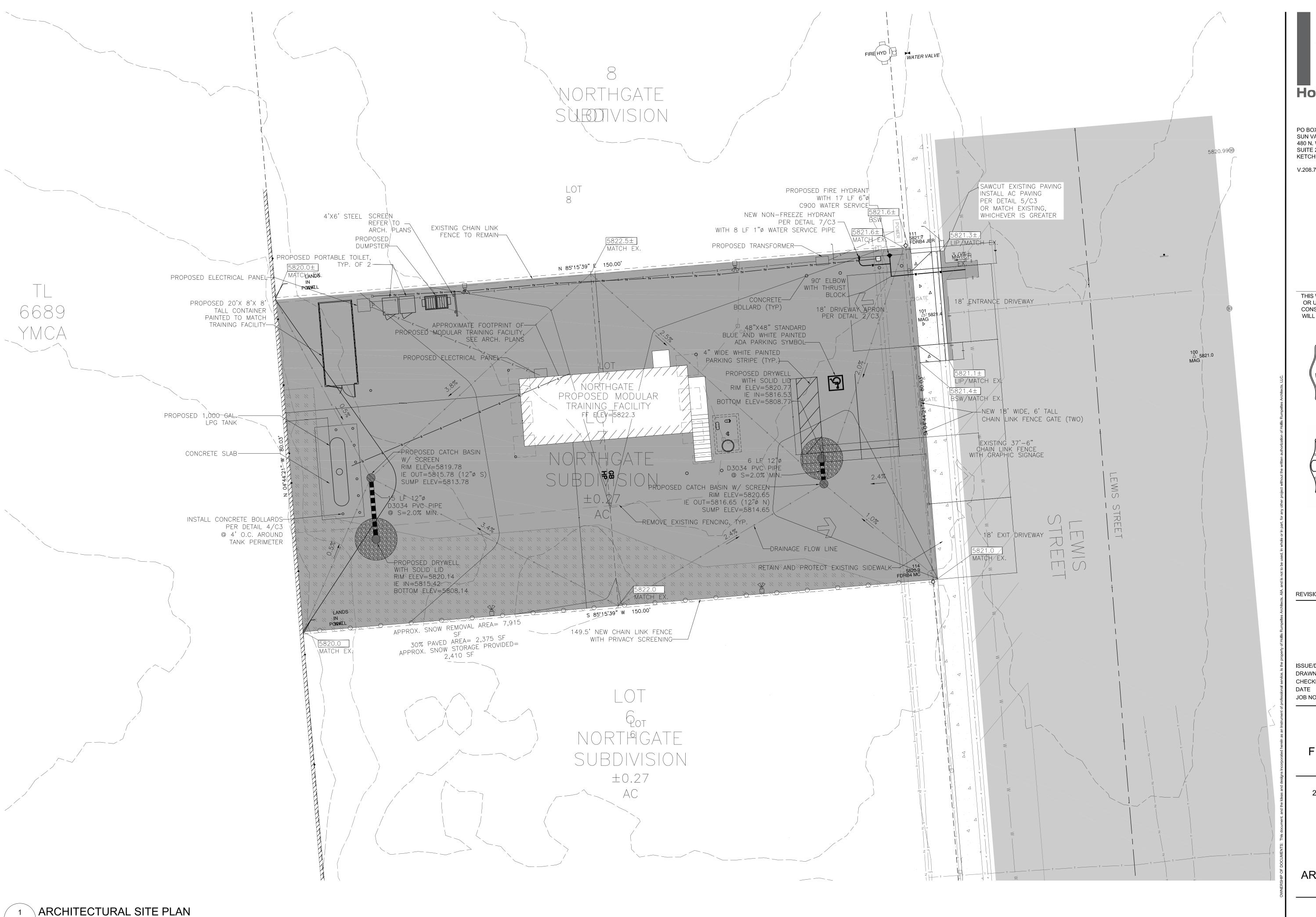
> KSVVA FIRE TRAINING **FACILITY**

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO.

LANDSCAPE PLAN

CATEGORY

SEQUENCE

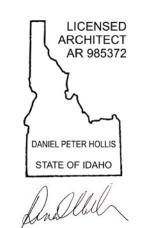


A1.1 / SCALE: 1" = 10'



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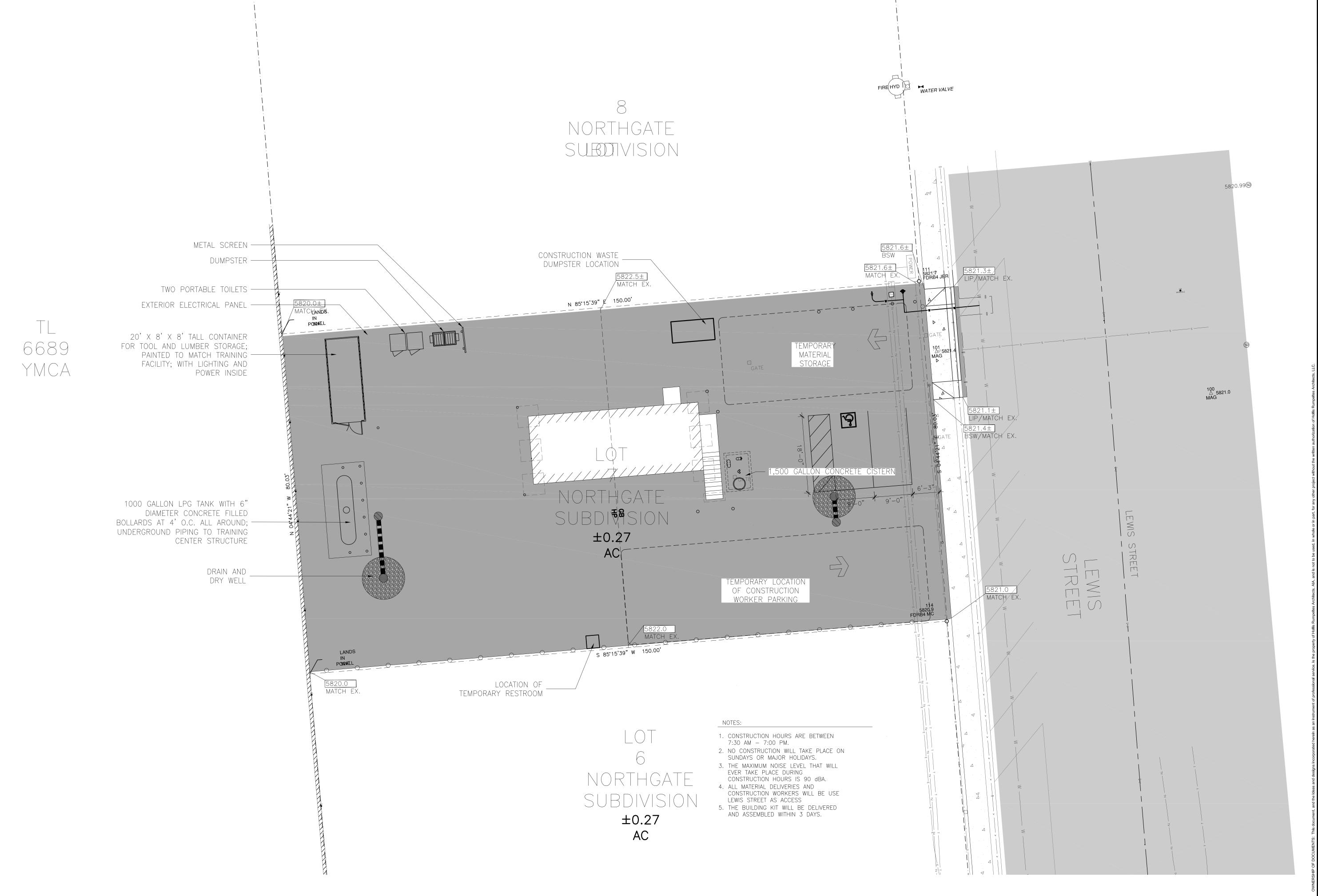
**FACILITY** 

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO.

**ARCHITECTURAL** SITE PLAN

A CATEGORY

SEQUENCE



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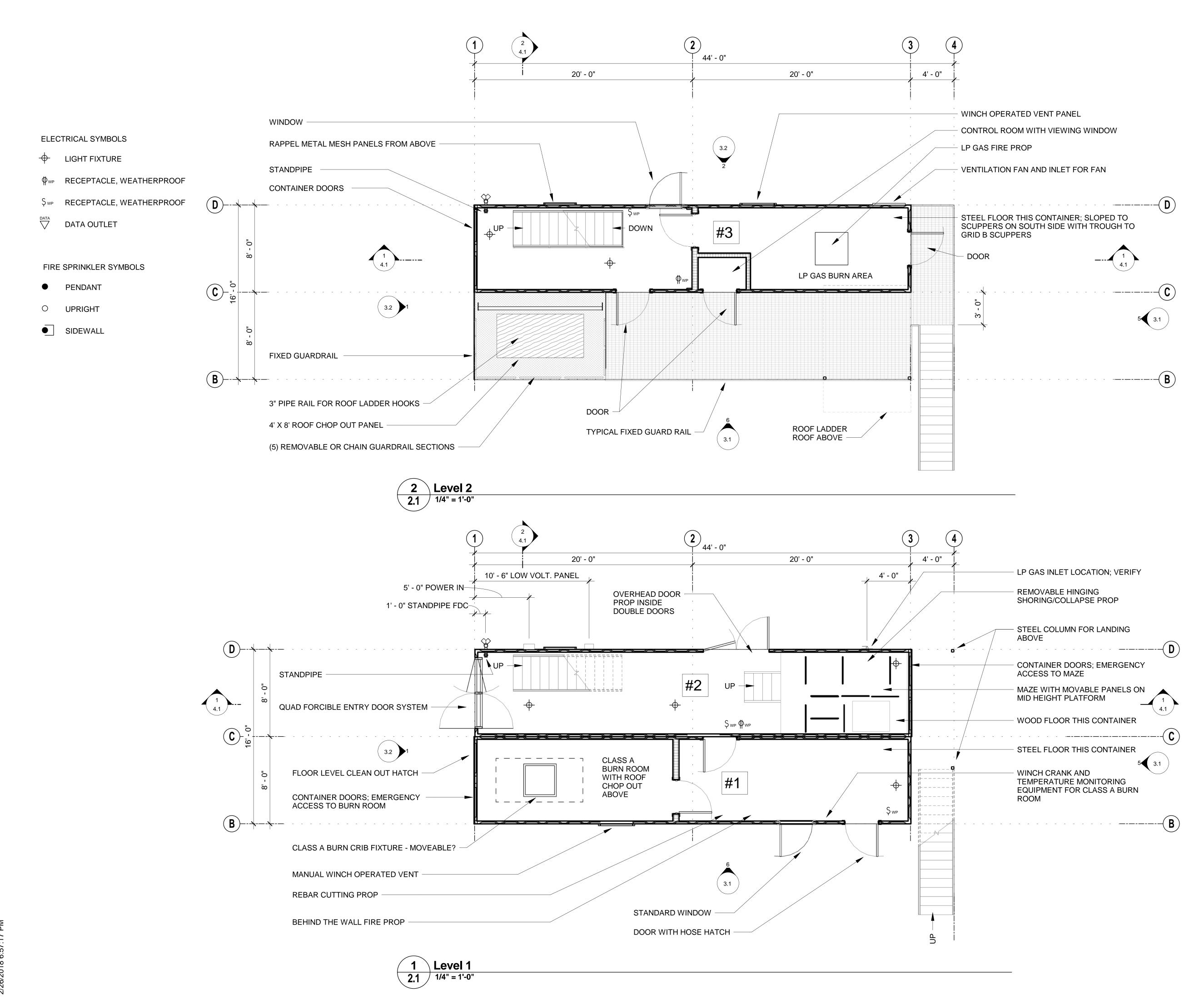
219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO.

CONSTRUCTION **ACTIVITY PLAN** 

> A SEQUENCE

CATEGORY

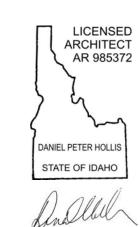
CONSTRUCTION ACTIVITY PLAN A1.2 / SCALE: 1" = 10'





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219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO

ARCHITECTURAL FLOOR PLANS

A

2.1 SEQUENCE

₩P RECEPTACLE, WEATHERPROOF

\$WP RECEPTACLE, WEATHERPROOF

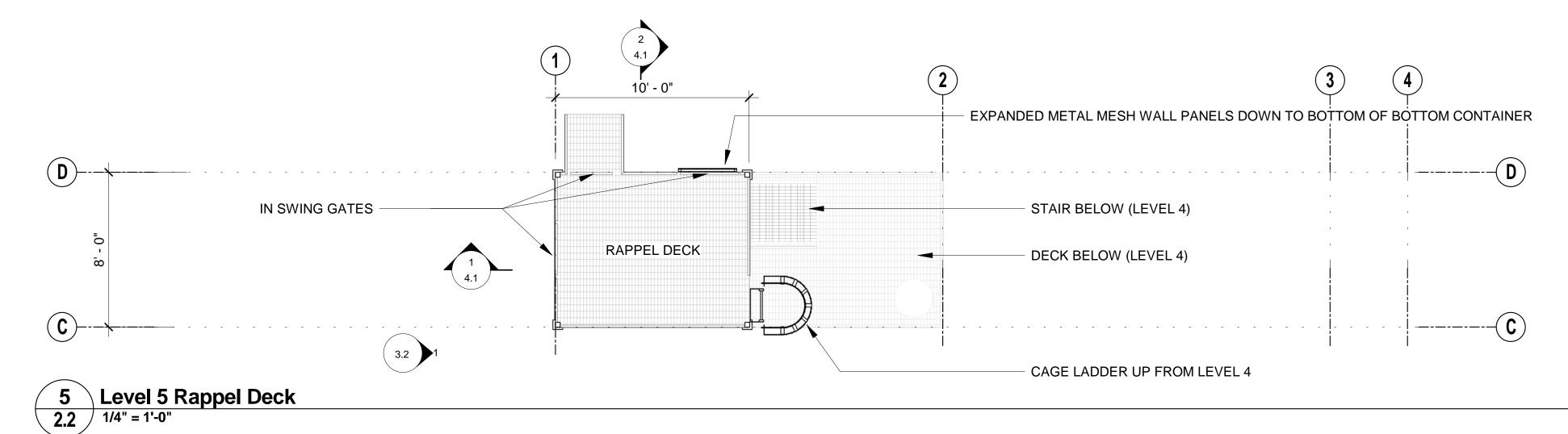
DATA OUTLET

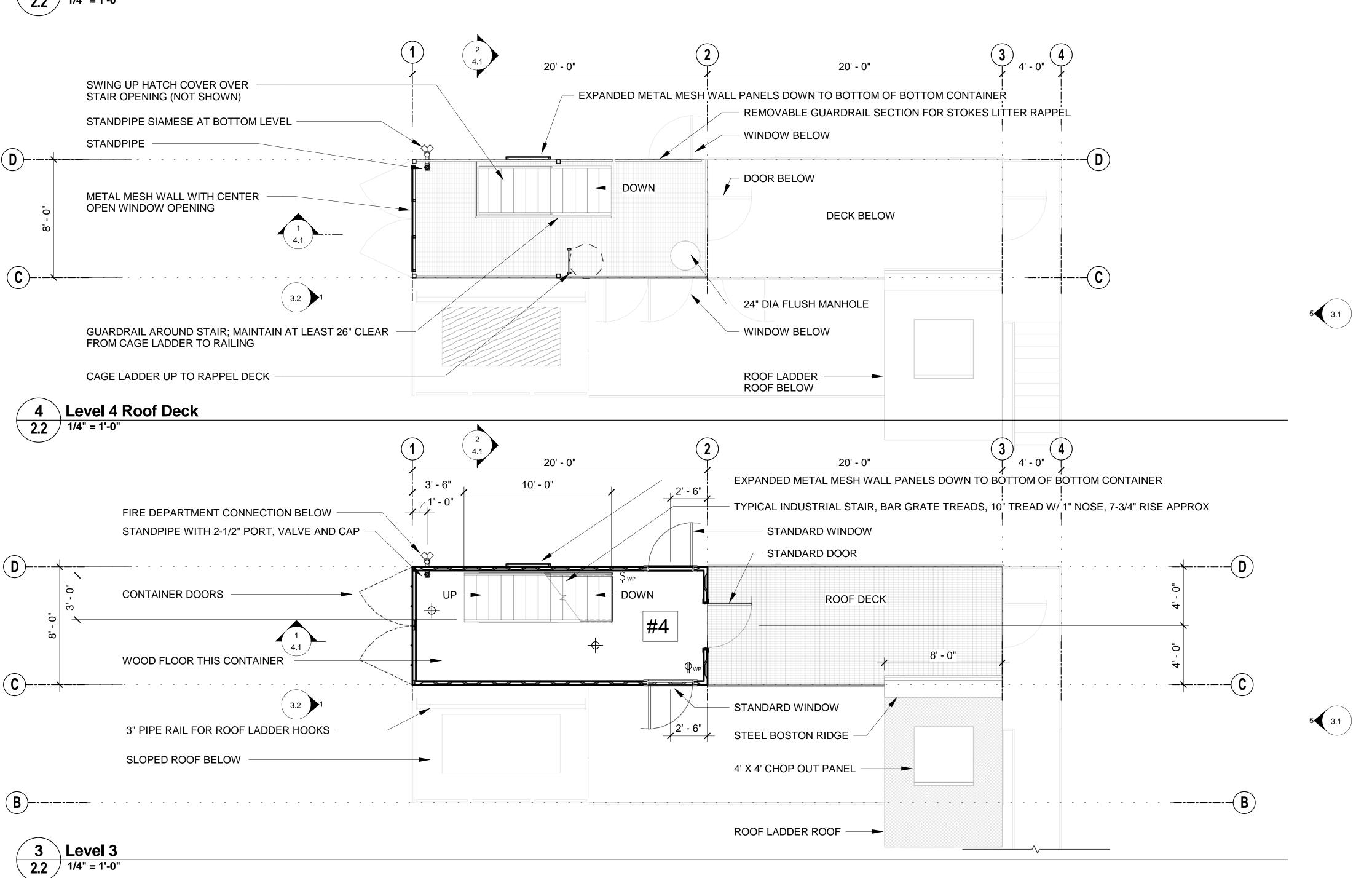
## FIRE SPRINKLER SYMBOLS

PENDANT

O UPRIGHT

SIDEWALL

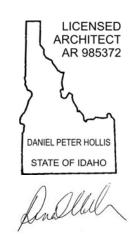






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DATE

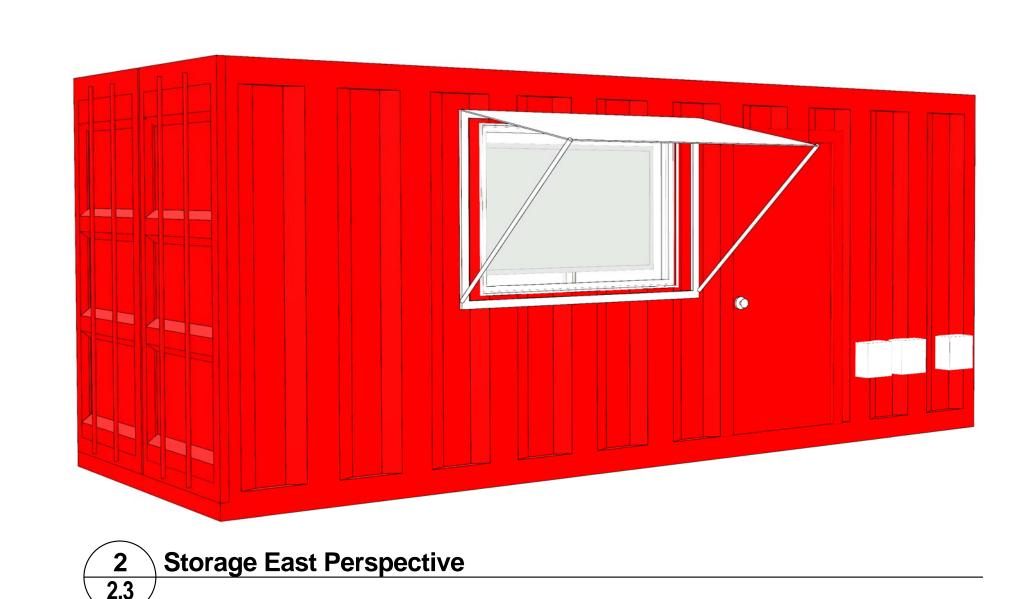
# KSVVA FIRE TRAINING FACILITY

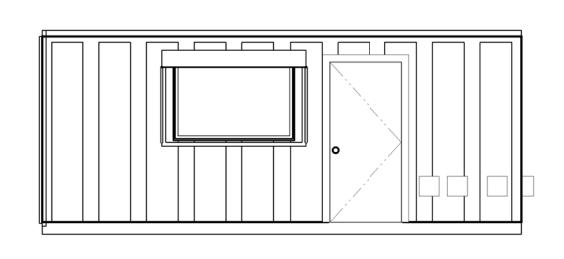
219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO

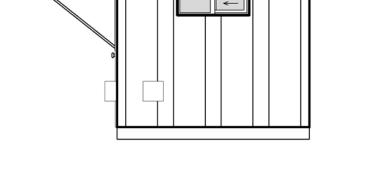
ARCHITECTURAL FLOOR PLANS

A

2.2 SEQUENCE

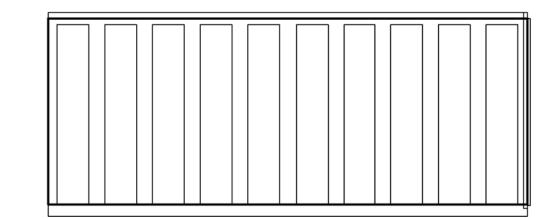


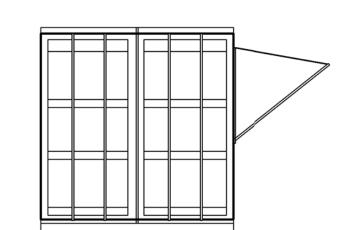








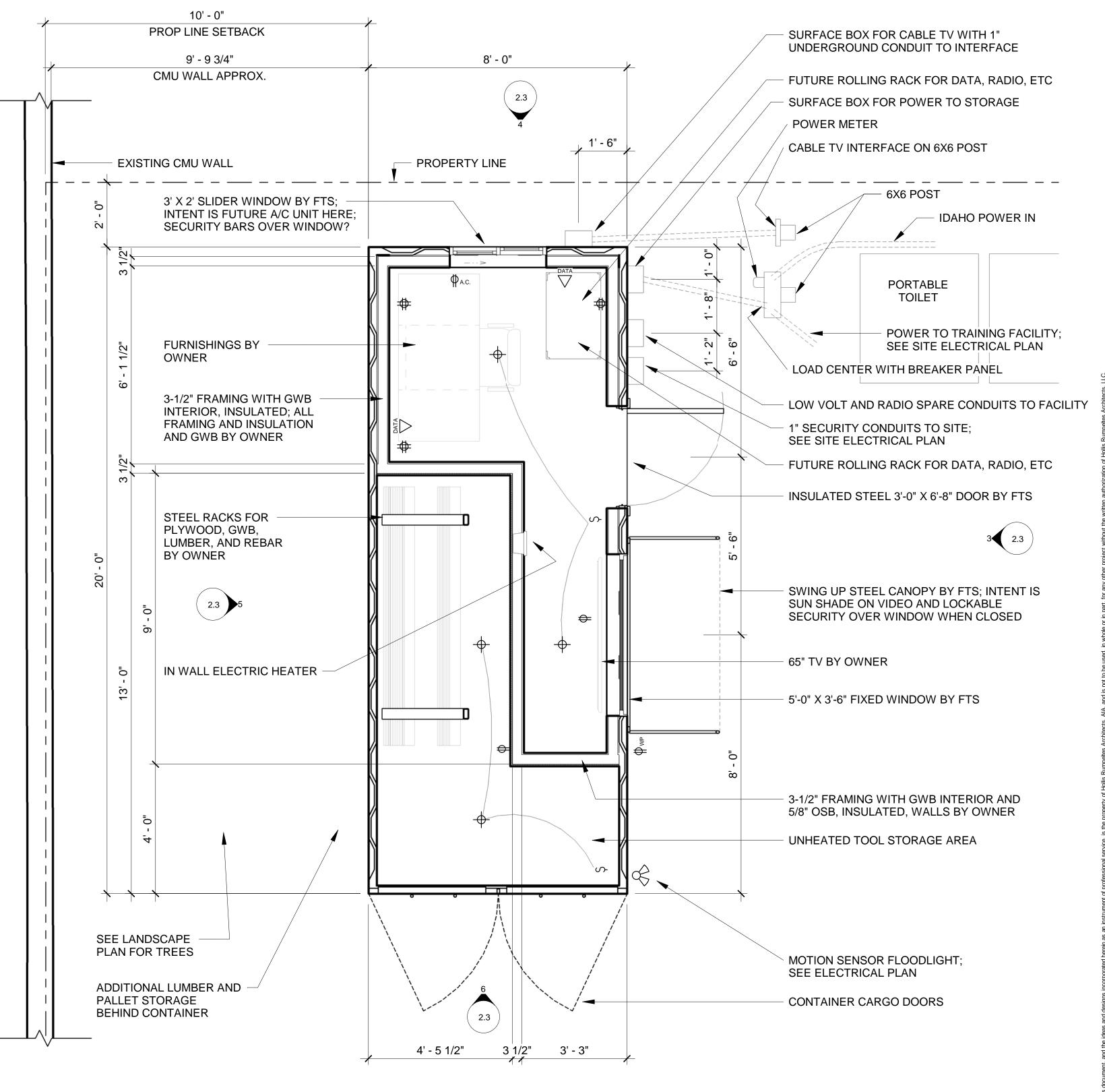








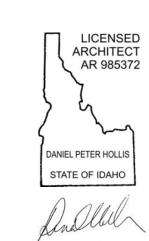
1 Storage Container Plan 2.3 1/2" = 1'-0"





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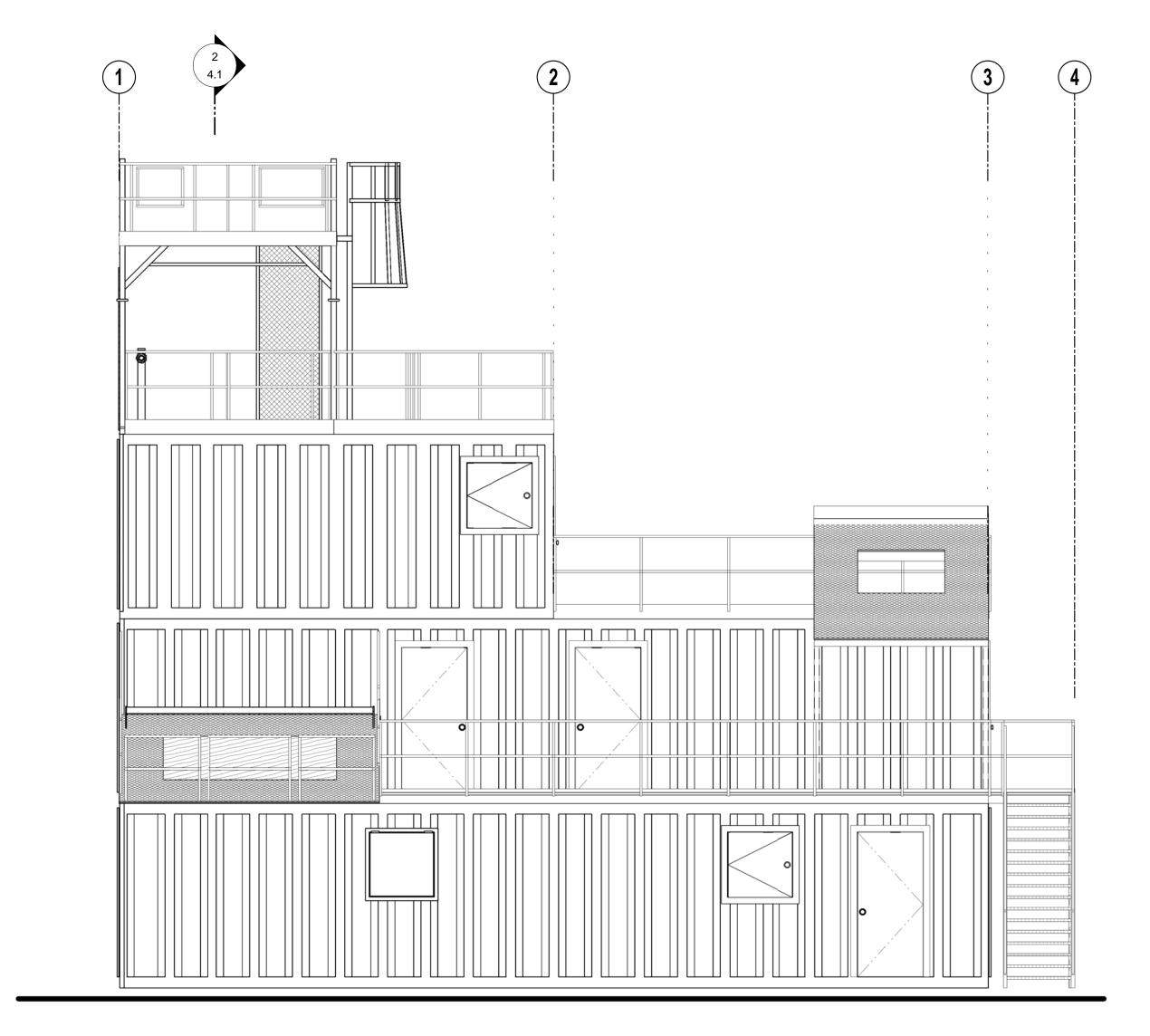
KSVVA
FIRE TRAINING
FACILITY

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO

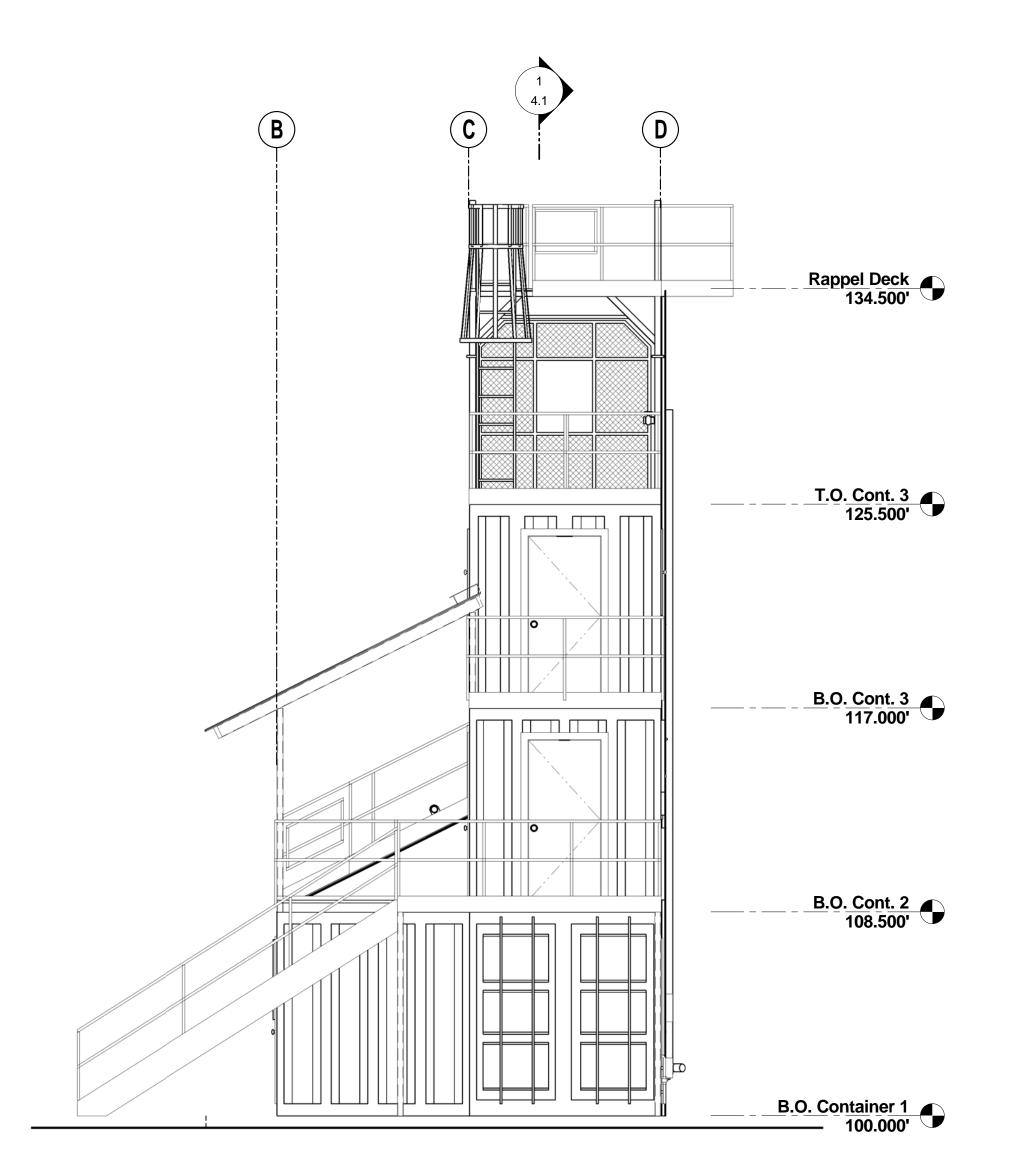
> STORAGE CONTAINER

CATEGORY

2.3
SEQUENCE



6 South Elevation
3.1 1/4" = 1'-0"

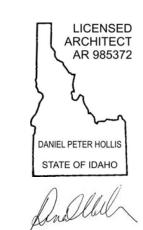


5 East (Lewis Street) Elevation
3.1 1/4" = 1'-0"



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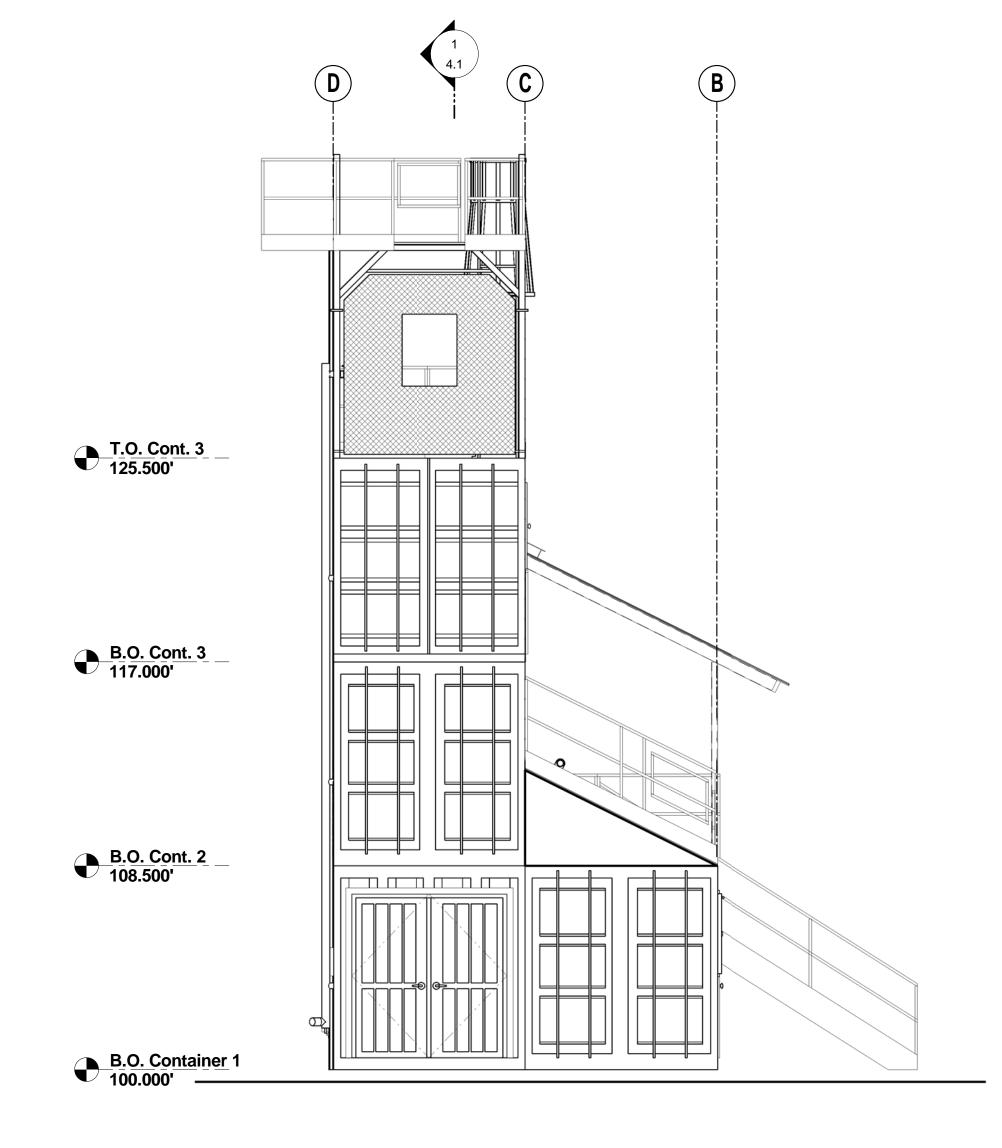
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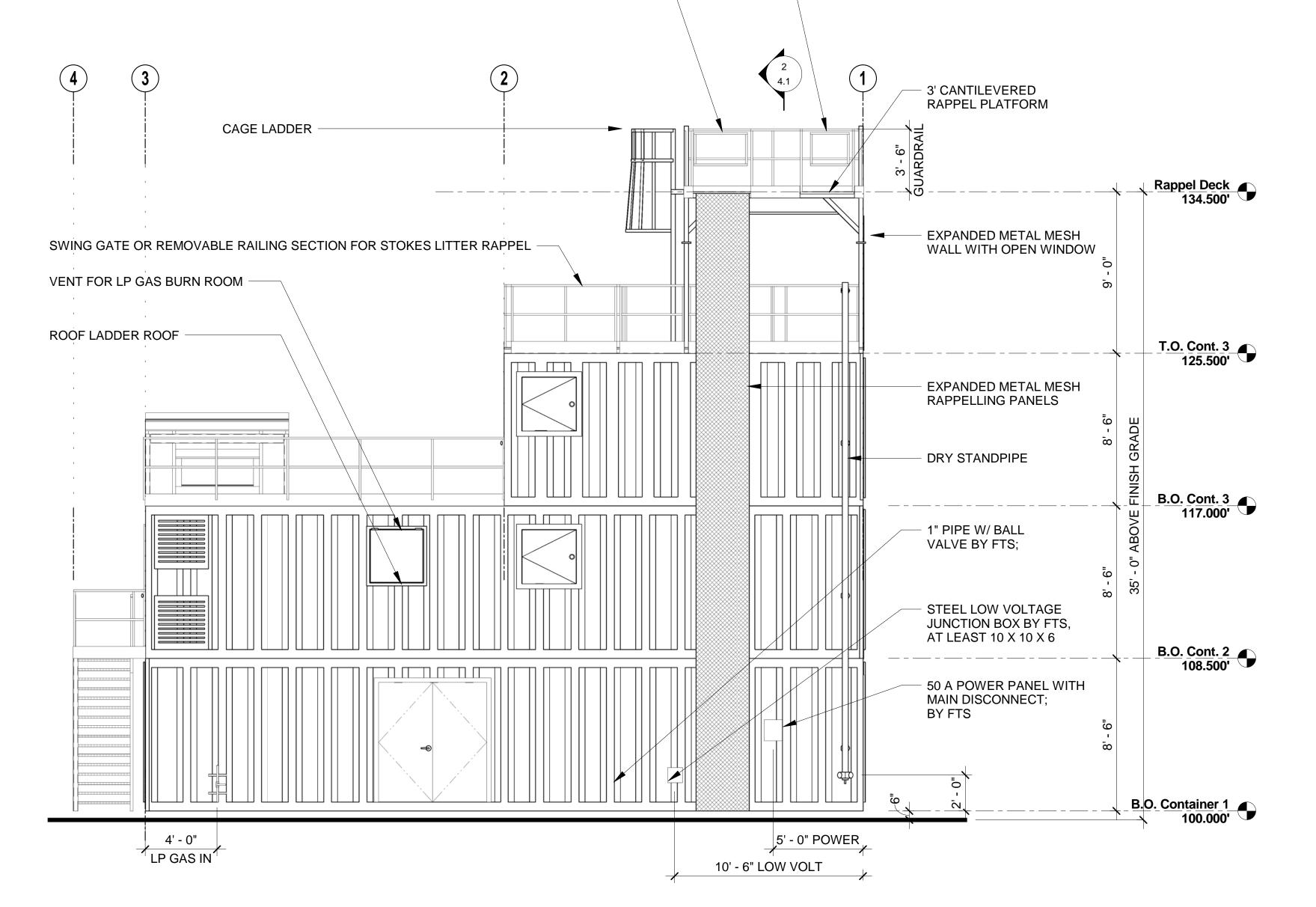
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FACILITY

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO

ARCHITECTURAL EXTERIOR ELEVATIONS

A CATEGORY 3.1 SEQUENCE





**SWING GATE** 

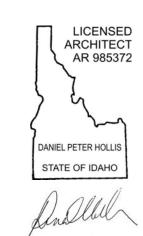
1 West (YMCA) Elevation
3.2 1/4" = 1'-0"

2 North Elevation
3.2 1/4" = 1'-0"

Hollis Rumpeltes
AIA LEED AP

PO BOX 1769 [post] SUN VALLEY, ID 83353 480 N. WASHINGTON AVE SUITE 201 [courier] KETCHUM, ID 83343

V.208.721.0633 / V.208.721.7160



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ISSUE DATE \_\_\_\_\_\_ <u>2/27/2018</u>

D.REVIEW 2/27/18

ISSUE/DATE SCHEMATIC 9/17/17

DRAWN BY DPH, JJR

CHECKED BY DPH, JJR

08/31/17

KSVVA

FIRE TRAINING

JOB NO. 1036

DATE

FACILITY
219 LEWIS ST, LOT 7

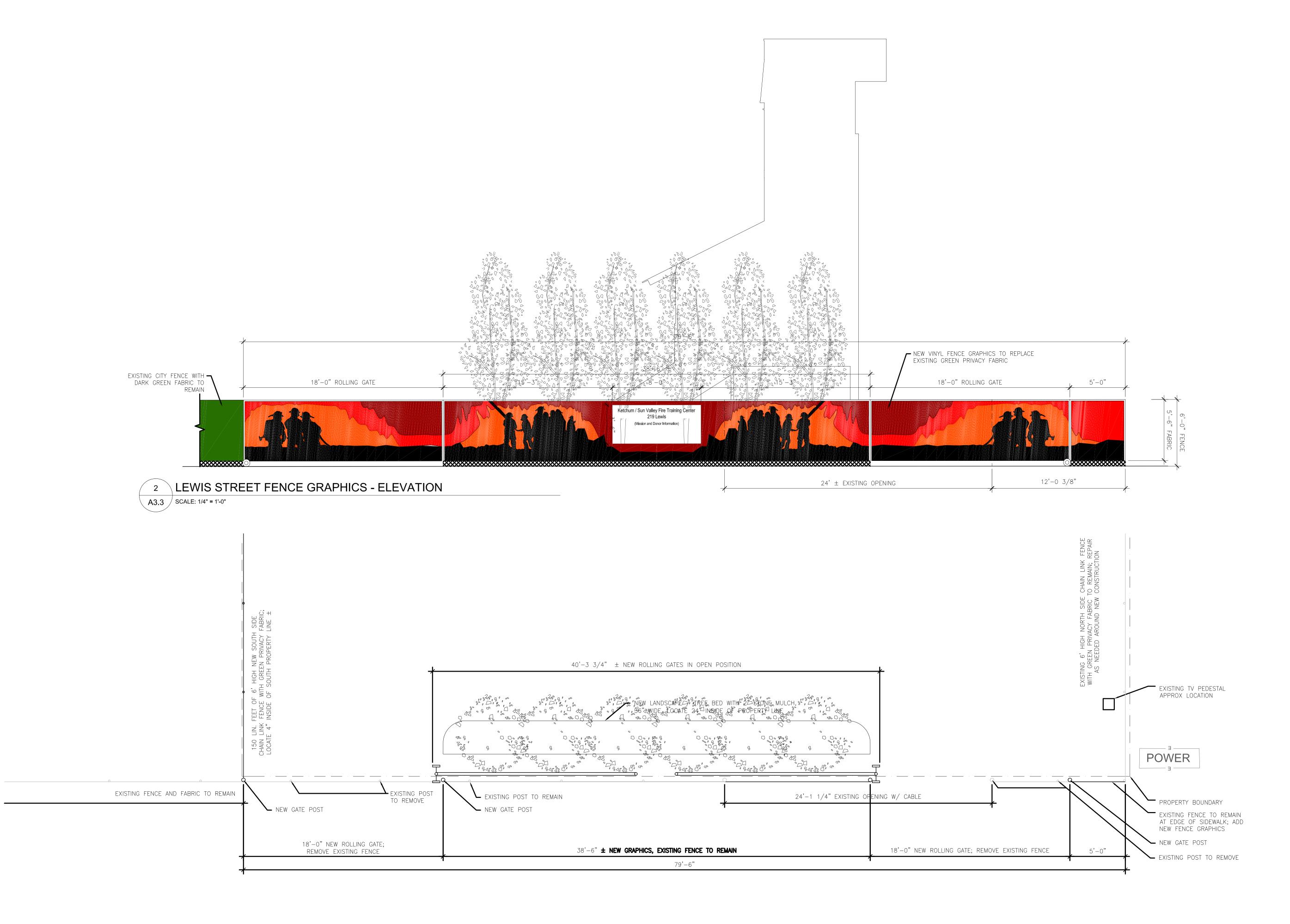
219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO

ARCHITECTURAL EXTERIOR ELEVATIONS

CATEGORY

3.2 SEQUENCE

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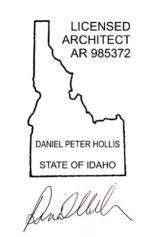


A3.3 | SCALE: 1/4" = 1'-0"

Hollis Rumpeltes AIA LEED A

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D.REVIEW. 3/2/18
ISSUE/DATE SCHEMATIC 9/17/17
DRAWN BY DPH, JJR
CHECKED BY DPH, JJR
DATE 08/31/17

KSVVA
FIRE TRAINING
FACILITY

JOB NO. <u>1036</u>

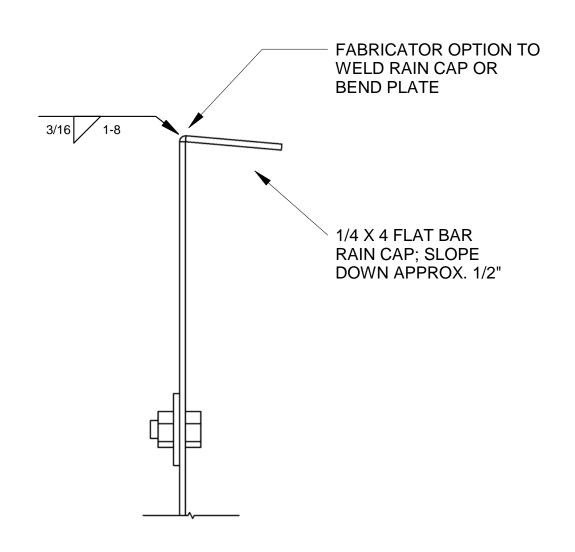
219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO.

ARCHITECTURAL EXTERIOR ELEVATIONS

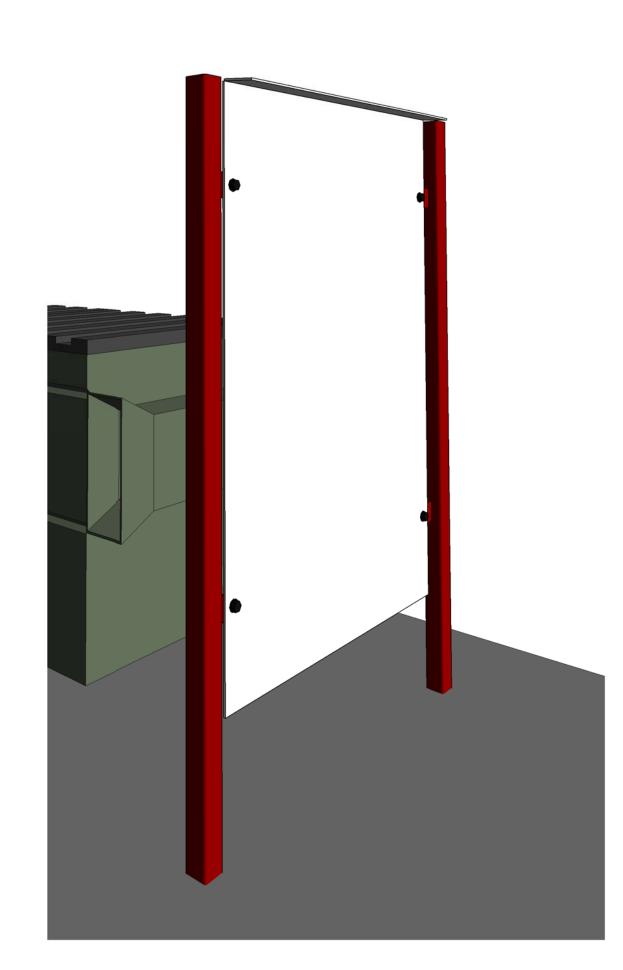
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CATEGORY

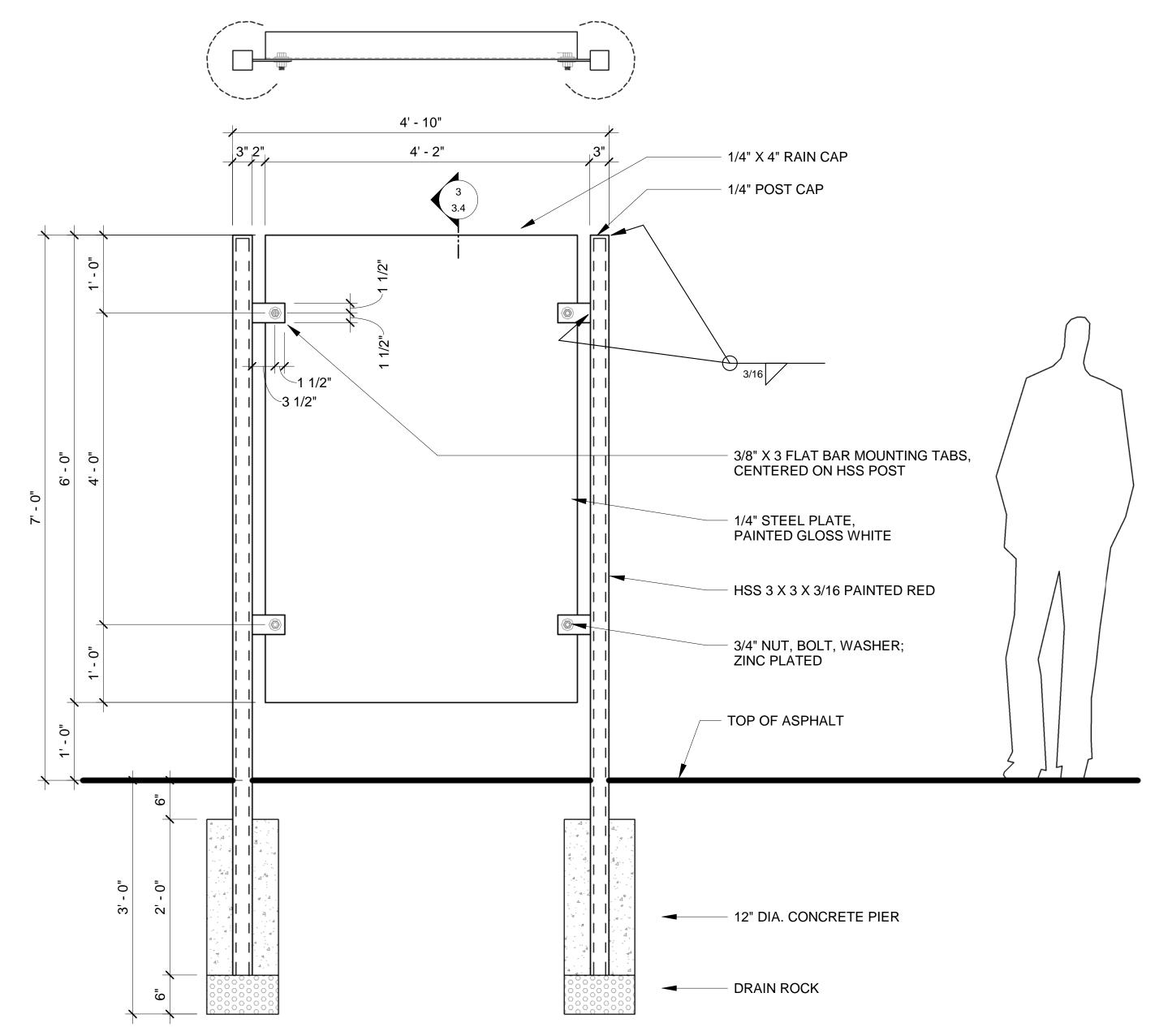
SEQUENCE



3 Rain Cap Detail
3.4 3" = 1'-0"



Screen Panel Perspective
3.4



PANEL SHOWN FROM BACK (WEST) SIDE

1 Screening Panel 3.4 1" = 1'-0"



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ISSUE DATE \_\_\_\_\_\_ <u>2/27/2018</u>

D.REVIEW 2/27/18
ISSUE/DATE SCHEMATIC 9/17/17
DRAWN BY DPH, JJR
CHECKED BY DPH, JJR
DATE 08/31/17
JOB NO. 1036

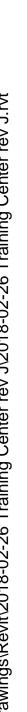
# KSVVA FIRE TRAINING FACILITY

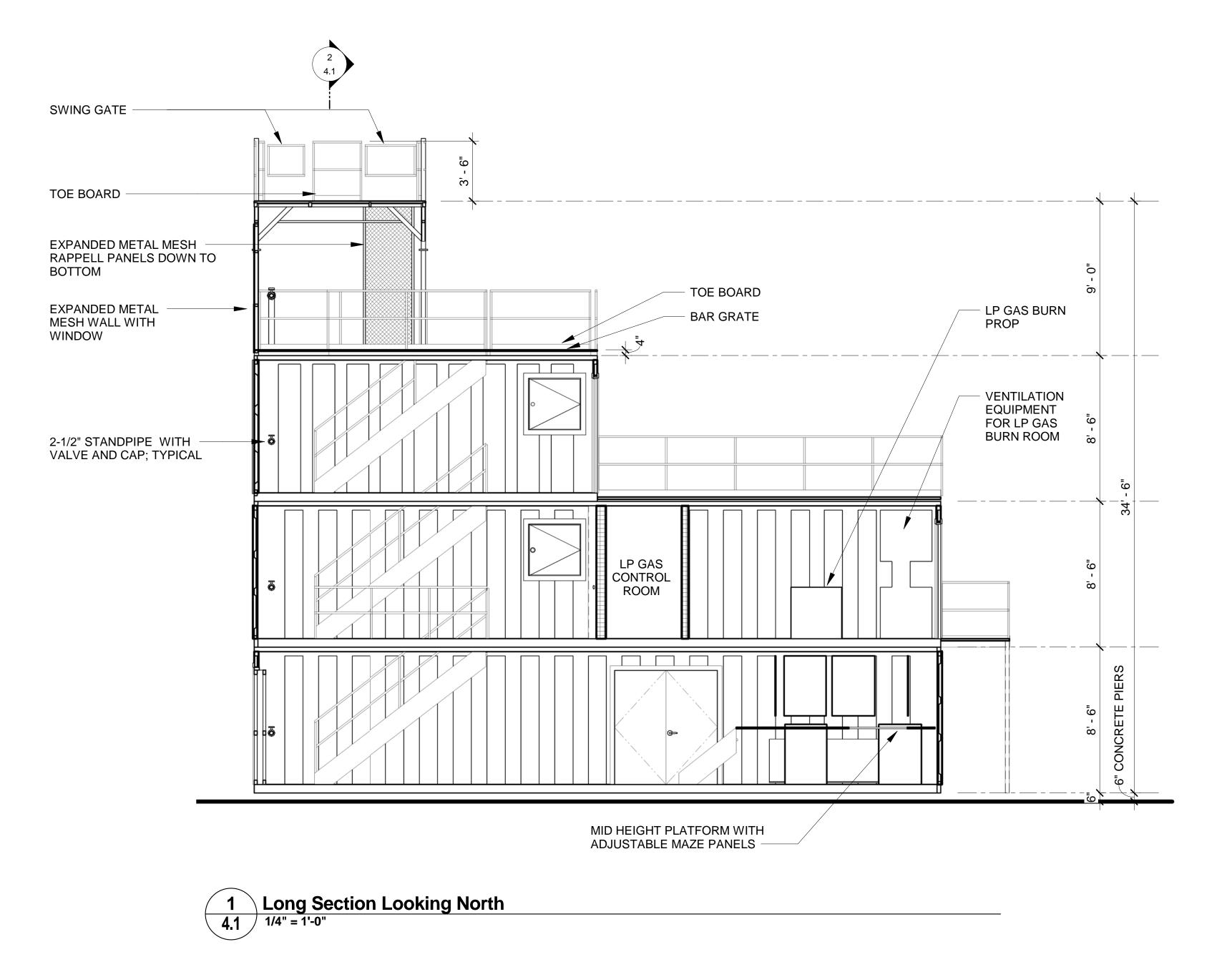
219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO

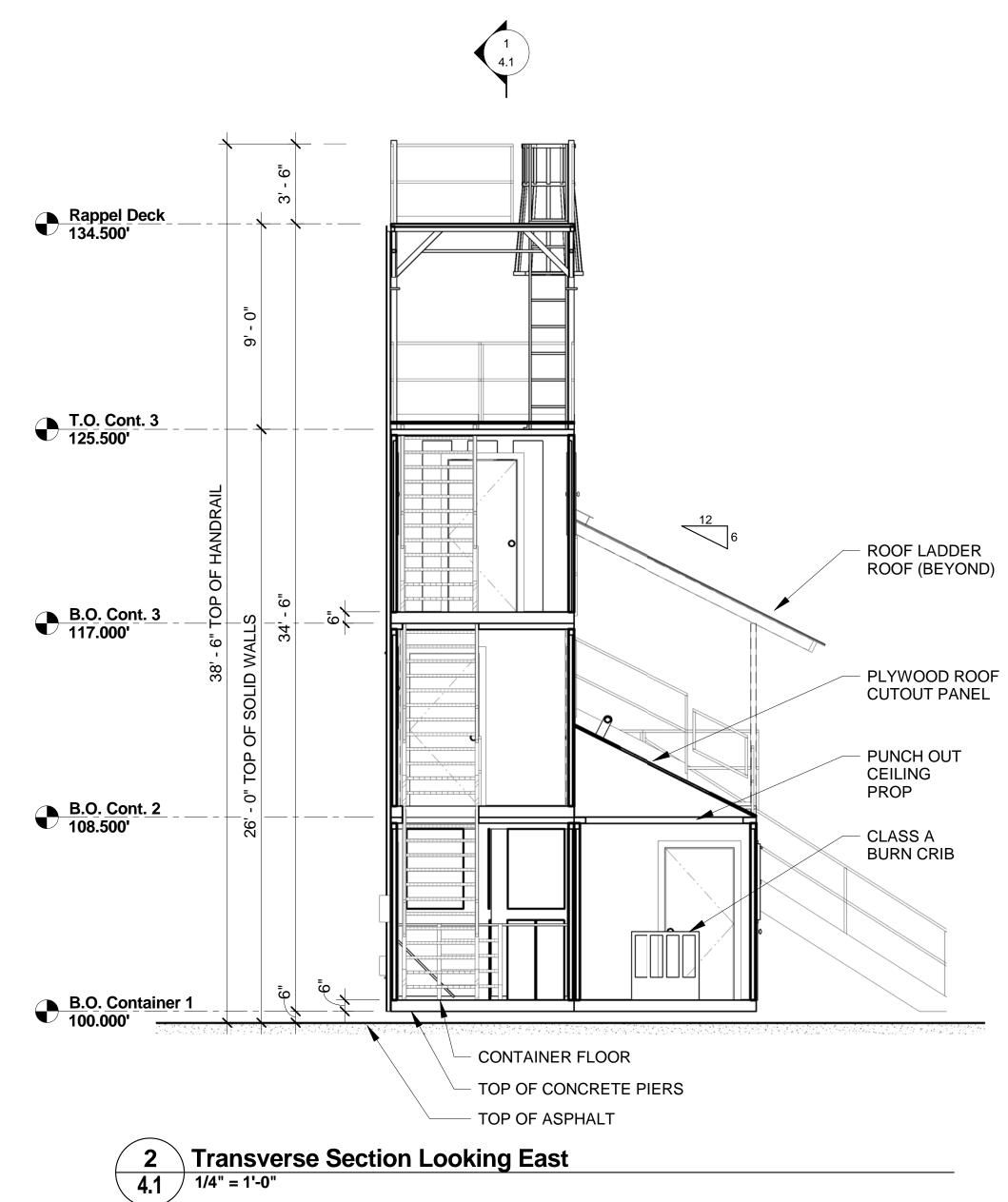
Screen Panel

CATEGORY

3.4 SEQUENCE







KSVVA FIRE TRAINING **FACILITY** 

ISSUE DATE \_\_\_\_\_\_ <u>2/27/2018</u>

ISSUE/DATE SCHEMATIC 9/17/17

DRAWN BY DPH, JJR CHECKED BY DPH, JJR

DATE 08/31/17
JOB NO. 1036

D.REVIEW 2/27/18

Hollis Rumpeltes

AIA LEED AP

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DANIEL PETER HOLLIS STATE OF IDAHO

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SUITE 201 [courier] KETCHUM, ID 83343

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO

ARCHITECTURAL BUILDING SECTIONS

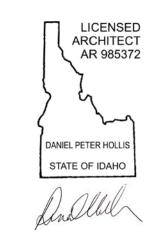
CATEGORY

SEQUENCE



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REVISION DATE REV 1 6/16/17

D.REVIEW. 3/2/18
ISSUE/DATE SCHEMATIC 9/17/17
DRAWN BY DPH, JJR
CHECKED BY DPH, JJR
DATE 08/31/17

JOB NO. <u>1036</u>

KSVVA
FIRE TRAINING
FACILITY

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO.

ARCHITECTURAL
SITE LIGHTING PLAN

E

2.1 SEQUENCE

1 ARCHITECTURAL SITE LIGHTING, LP GAS & ELECTRICAL PLAN

E2.1 SCALE: 1/8" = 10'

4' 0 8' 16'

PROVIDED BY FIRE DEPARTMENT EQUIPMENT



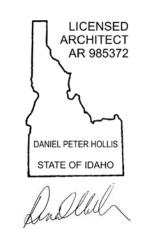
EXTERIOR LIGHTING TO BE MINIMAL AND COMPLIANT WITH DARK SKY ORDINANCE; DESIGN INTENT IS THAT ALL WORK LIGHTING IS PROVIDED BY FIRE DEPARTMENT EQUIPMENT

Hollis Rumpeltes

AIA LEED AP

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REVISION DATE REV 1 6/16/17

D.REVIEW. 3/2/18 ISSUE/DATE SCHEMATIC 9/17/17 DRAWN BY DPH, JJR CHECKED BY DPH, JJR

> KSVVA FIRE TRAINING **FACILITY**

08/31/17

JOB NO. <u>1036</u>

DATE

219 LEWIS ST, LOT 7 NORTHGATE SUB, KETCHUM, IDAHO.

ARCHITECTURAL SITE LIGHTING PLAN

E

SEQUENCE

CATEGORY

ARCHITECTURAL SITE LIGHTING FIXTURE INFORMATION E2.2 | SCALE: 1/8" = 10'



# STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION REGULAR MEETING OF APRIL 9<sup>th</sup>, 2018

**PROJECT:** Briscoe & Associates CUP

**FILE NUMBER:** #18-033

**APPLICANT:** James Briscoe

**REQUEST:** Conditional Use Permit application for a business office located on the ground floor of

an existing commercial building with street frontage along Main Street.

**LOCATION:** 220 N. Main Street

(Ketchum Townsite: Block 3: Lot 2AA)

**ZONING:** Commercial Core Retail Core Sub-district (CC-A)

**OVERLAY:** None

**NOTICE:** Notice was posted in the Idaho Mountain Express and in three public City locations on

March 21<sup>st</sup>, 2018. Notice was mailed to property owners within a 300 foot radius of the subject property on March 16<sup>th</sup>, 2018. Notice was posted on the subject property

on April 2<sup>nd</sup>, 2018.

**REVIEWER:** Abby Rivin, Associate Planner

**ATTACHMENTS:** A. Application Form

## **BACKGROUND**

The applicant, James Briscoe, has requested approval of a Conditional Use Permit (CUP) for a commercial brokerage office sited on the ground floor of an existing commercial building at 220 N. Main Street. The subject property is located in the Retail Core Sub-district of the Commercial Core Zoning District (CC-A) and was formerly a retail establishment.

Business offices are a permitted use in the CC-A Zoning District, however, offices and professional services on the ground floor with street frontage require a conditional use permit. As the proposed office is sited on the ground floor with street frontage along Main Street, Briscoe & Associates requires approval of a CUP in order to operate in the subject location.

## **ANALYSIS**

Ketchum City Code §17.18.130 establishes the purpose of the Community Core and includes offices as a compatible use.

The purpose of the CC community core district is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes

sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum's historical and geographic context while providing diversity. Compatible mixed uses including retail, office, residential and cultural uses are encouraged. Commercial uses are concentrated in the CC district which is consistent with the city's comprehensive plan and the downtown master plan.

While offices are listed as a compatible use within the CC Zoning District, this type of use decreases vibrancy within the Community Core area. Unlike retail, food service, and entertainment uses, business offices do not attract a significant amount of residents or visitors. As the hours of operation are during the day, business offices also decrease vibrancy downtown during the evening. The 2014 Comprehensive Plan emphasizes upper floors as the most appropriate location for business offices.

Retail Core: The community's primary shopping district is the Retail Core. The Retail Core provides a variety of mixed-use buildings that have ground-floor storefronts. Specialty shops, restaurants, and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment. Convenient shopping and dining is served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices.

While more vibrant uses on ground floor properties are encouraged within the Retail Core, the Planning and Zoning Commission may not deny the conditional use permit solely because it conflicts with this section of the 2014 Comprehensive Plan.

Per Ketchum City Code §17.125.020(A)(1), off street parking regulations apply to any change of use. The subject business office is less than 1,000 sq ft. Non-residential uses in the CC Zoning District require 1 parking spaces per 1,000 gross sq ft. No parking spaces are provided on the subject parcel. As no parking spaces are provided on site, the business office use is nonconforming in relation to the off street vehicle parking and loading requirements as prescribed in Ketchum City Code §17.125.040. Staff finds that the Conditional Use Permit is a continuation of a nonconforming use (KCC§17.136.020) as no parking spaces are provided on the existing, developed site.

According to the City of Ketchum's Zoning Ordinance, conditional uses possess characteristics that require review and appraisal by the Planning and Zoning Commission to determine whether or not the use would cause any public health, safety, or welfare concerns. Conditional uses may be granted by the Commission if the applicant demonstrates that (§17.116.030 Conditional Use Permit Criteria):

- A. The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district;
- B. The conditional use will not materially endanger the health, safety and welfare of the community;
- C. The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood;
- D. The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area, or conditions can be established to mitigate adverse impacts; and
- E. The conditional use is not in conflict with the policies of the comprehensive plan or the basic purposes of the Zoning Ordinance.

## **Conditional Use Permit Requirements**

	Conditional Use Requirements											
EVAL	EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code											
A cor	A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:											
Yes	No	N/A	Code	City Standards and Staff Comments								

×		17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.
		Staff	Offices are listed as a compatible use within the Commercial Core Zoning District. While
		Comment	the proposed use will decrease vibrancy along Main Street, Staff finds the building
			office is not unreasonably incompatible with the food and beverage service, retail,
			entertainment, and cultural uses permitted within the Retail Core area.
		17.116.030(B)	The conditional use will not materially endanger the health, safety and welfare of the community.
		Staff	The proposed project is consistent with the types of uses permitted downtown. The
		Comment	proposed business office use is not expected to materially endanger the health,
			safety, or welfare of the community.
$\boxtimes$		17.116.030(C)	The conditional use is such that pedestrian and vehicular traffic associated with
			the use will not be hazardous or conflict with existing and anticipated traffic in the
			neighborhood.
		Staff	The proposed business office use is not anticipated to significantly increase the
		Comment	amount of pedestrian and/or vehicular traffic along Main Street.
$\boxtimes$		17.116.030(D)	The conditional use will be supported by adequate public facilities or services and
			will not adversely affect public services to the surrounding area or conditions can
			be established to mitigate adverse impacts.
		Staff	Public utilities, emergency, and essential services are available to serve the subject
		Comment	property and the subject change of use from retail to a business office is unlikely to
		 47 446 222/7\	impact the provision of these utilities and services.
	$\boxtimes$	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or
		Staff	the basic purposes of this Section.
		Comment	The Briscoe & Associates CUP is supported by the following goals and policies of the 2014 Comprehensive Plan:
		Comment	Goal E-1: Ketchum will work to retain and help expand existing independent
			small local businesses and corporations.
			Goal E-2: Ketchum will support and attract businesses and industries that
			diversify and sustain the local economy and level out seasonal fluctuations.
			Goal E-4: Ketchum will contain a balance of businesses that provide services
			and shopping for local residents' needs and for tourists.
			While supporting businesses like Briscoe & Associates contributes to Ketchum's
			strong and diverse economy, the proposed siting of the business offices decreases
			vibrancy downtown. The Comprehensive Plan encourages offices to be located on
			upper floors within the Retail Core.

The Planning and Zoning Commission may attach additional conditions to the application approval as it determines necessary in order to ensure the food and beverage service use is compatible with the vicinity and adjoining uses, mitigate adverse impacts, and enhance public health, safety, and welfare. Such conditions may include, but are not limited to (Ketchum City Code §17.116.050):

- A. Minimizing adverse impact on other development;
- B. Controlling the sequence and timing of development;
- C. Controlling the duration of development;
- D. Assuring that development is maintained properly;
- E. Designating the exact location and nature of development;
- F. Requiring the provision for on site or off site public facilities or services;
- G. Requiring more restrictive standards than those generally required in an ordinance; and
- H. Requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the city.

## **STAFF RECOMMENDATION**

Staff recommends approval of the Briscoe & Associates Conditional Use Permit finding the application meets the standards for approval under Chapter 17.116, Conditional Uses of Ketchum Zoning Code.

## **COMMISSION OPTIONS**

- Move to approve the Briscoe & Associates CUP finding the application meets the standards for approval under Chapter 17.116, Conditional Uses of Ketchum Zoning Code.
- Direct Staff to return with further research and move to continue the application to a date certain.
- Move to deny the proposed Briscoe & Associates CUP and draft findings supporting denials.

## ATTACHMENT A. APPLICATION FORM



## City of Ketchum Planning & Building

CI	ERTIFIED OMPLETE
	3-13-18
-	Col

OFFICIAL USE ONLY
File Numbe P 18 -0.33
Date Received 3 -13-18
By: W
Fee Paid: 110000
Approved Date:
Denied Date:
Ву:

## **Conditional Use Permit Application**

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: <a href="https://www.ketchumidaho.org">www.ketchumidaho.org</a> and click on Municipal Code.

OWNERINFORMATION
Project Name: BRISCOE & ASSOCIATES
Name of Owner of Record: JAMES BRIS COE
Physical Address: 230 N. MAIN ST KOTCHUM
Property Legal Description: Ketchun Lot 1 Block 3
Property Zoning District: Community Cole
Contact Phone: 307- 750- 4243 Contact Email: JIM @ briscoeassociAtes. Com
PROJECT INFORMATION
Description of Proposed Conditional Use:  Convercial Brakerage
Description of Proposed and Existing Exterior Lighting:
ADDITIONAL COMMENTS
ACCOMPANYING SUPPORTING INFORMATION REQUIRED
● Existing Site Plan ● Proposed Site Plan ● Landscape Plan ● Grading and Drainage Plan ● Exterior Lighting Plan and Specifications ● Other plans and studies related to the social, economic, fiscal, environmental, traffic, and other effects of the proposed conditional use, as required by the Administrator

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

Applicant Signature

Date

3-13-18



## **City of Ketchum**

April 9, 2018

## **Ketchum Planning and Zoning Commission**

Jeff Lamoureux, Chair Erin Smith, Vice-Chair Mattie Mead Neil Morrow Kurt Eggers

# STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION

PROJECT: City-initiated Text Amendments to Title 17, Zoning, to amend regulations for retail

square footage and subdistricts in the Community Core

**REPRESENTATIVE:** City of Ketchum Planning and Building Department

**DESCRIPTION:** Amendments to Section 17.12.020, District Use Matrix, Section 17.12.040,

Dimensional Standards – CC District, and 17.12.020, Zoning Map Districts

**NOTICE:** Notice appeared in the Idaho Mountain Express, was mailed to outside agencies, and

was posted in three (3) public locations on February 14, 2018. The hearing was

continued to March 27, 2018 and then continued to April 9, 2018.

**PUBLIC HEARINGS:** Planning and Zoning Commission

March 12, 2018March 27, 2018April 9, 2018

**PLANNER:** Brittany Skelton, Senior Planner

**ATTACHMENTS:** March 27, 2018 staff report

## **INTRODUCTION**

The Commission considered amendments to the Community Core zoning district regarding consolidation of subdistricts and square footage of retail establishments on March 27, 2018.

After considering the history of the subdistricts and Comprehensive Plan analysis, the Commission supported consolidation of Subdistrict B – Arts District and D – Traditional Neighborhood into the current Subdistrict C, renaming Subdistrict A – Retail Core to Subdistrict 1 – Retail Core, renaming Subdistrict C – Urban Residential to Subdistrict 2 – Mixed Use, and permitting hotels in all areas of the Community Core.

The Commission also considered staff's proposals to introduce regulations regarding the maximum square footage of single tenant and aggregate tenant retail in the community core. Staff's recommendations were based on existing regulations in Hailey, Idaho and a survey of the square footages of large existing single tenant and aggregate tenant retail developments located in the Community Core, as measured using Blaine County GIS measurement tools.

Staff recommends advancing the amendments pertaining to the Community Core subdistricts to City Council and continuing the hearing on retail square footages to May 14<sup>th</sup>, 2018. At the direction of the Planning and Building Director staff would like to conduct personal outreach to existing owners and tenants of large single tenant and aggregate tenant retail establishments in addition to following through the Commissions directive from the March 27<sup>th</sup>, 2018 meeting to research the sizes of small-footprint and urban big-box stores.

The March 27, 2018 staff report is attached for reference.

## **PUBLIC INPUT**

No written public comment has been received prior to publication of this staff report. Any written public comment received prior to the public hearing will be distributed to the Commission and included in the public record.

#### RECOMMENDED MOTION

"I MOVE TO RECOMMEND APPROVAL TO CITY COUNCIL OF THE CITY-INITIATED TEXT AMENDMENTS PERTAINING TO SUBDISTRICTS IN THE COMMUNITY CORE, AS PRESENTED AND DISCUSSED AT THE MARCH 27, 2018 PUBLIC HEARING, AND TO CONTINUE THE PUBLIC HEARING REGARDING THE SIZE OF RETAIL ESTABLIHMENTS IN THE COMMUNITY CORE TO APRIL 9, 2018."

## Attachment A.

March 27, 2018 staff report



## City of Ketchum

March 27, 2018

## **Ketchum Planning and Zoning Commission**

Jeff Lamoureux, Chair Erin Smith, Vice-Chair Betsy Mizel Mattie Mead Neil Morrow

# STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION

PROJECT: City-initiated Text Amendments to Title 17, Zoning, to amend regulations for retail

square footage and subdistricts in the Community Core

**REPRESENTATIVE:** City of Ketchum Planning and Building Department

**DESCRIPTION:** Amendments to Section 17.12.020, District Use Matrix, Section 17.12.040,

Dimensional Standards – CC District, and 17.12.020, Zoning Map Districts

**NOTICE:** Notice appeared in the Idaho Mountain Express, was mailed to outside agencies, and

was posted in three (3) public locations on February 14, 2018. Continuation of the

hearing to March 27, 2018 was announced at the March 12, 2018 meeting.

**PUBLIC HEARINGS:** Planning and Zoning Commission

March 12, 2018March 27, 2018

**PLANNER:** Brittany Skelton, Senior Planner

**ATTACHMENTS:** A. District Use Matrix

B. Sun Valley Gallery Association map

## **INTRODUCTION**

The purpose of this staff report is to put forward two proposed amendments to the zoning code, one of which would also necessitate a revision to the zoning map, for initial consideration by the discussion. Both amendments were brought to City Council on February 5, 2018 for policy direction and Council directed staff to proceed with the amendments.

Staff recommends initial consideration of the proposed amendments during this meeting and continuing the public hearing to April 9, 2018.

## Retail establishment square footage limitation

All zoning districts in Ketchum that permit retail use, other than the Community Core, impose limitations on the size a retail establishment may be. In the Light Industrial and Tourist districts the size of retail establishments are limited in order to meet the intentions for retail in those zones – retail is intended to be accessory to primary uses. For example, in the Light Industrial District - 1 retail trade for uses other than building, construction and landscaping materials and equipment rental is not permitted to exceed 30 percent (30%) of gross floor area, or 800 square feet, whichever is less. In the Tourist zone retail trade is not permitted to exceed 2,500 square feet.

Ketchum is a small mountain-resort town recognized for its character and sense of place (recent recognition includes American Planning Association's Great Places award for Ketchum's Main Street in 2016) with a compact, walkable downtown. Ketchum's downtown, zoned Community Core, is the area within the city designated and zoned for retail use. Although the city is small and compact there are no regulations within the zoning code intended to ensure retail establishments are of complementary and appropriate scale.

As such staff recommends a zoning code text amendment limiting the aggregate gross floor area for individual retail/wholesale trade of a single-tenant retail establishment to 36,000 square feet and aggregate gross floor area for grouped retail/wholesale to 50,000 square feet.

#### Consolidation of Community Core Sub-districts

The four subdistricts of the Community Core are a holdover from the Form Based Code that was adopted in 2006 and repealed in 2015. Staff's initial analysis finds that sub-districts B, Arts District and D, Traditional Neighborhood, have not performed as intended by the Form Based Code and have also underperformed in terms of new development in the past 10 years. Further, there are conflicts between the Future Land Use Map destinations in the 2014 Comprehensive Plan and the subdistrict boundaries and existing uses in Subdistrict D and uses permitted by the zoning code.

Staff's recommendation is to eliminate subdistricts B (Arts) and D (Traditional Neighborhood) and to incorporate those districts into subdistrict C, Urban Residential. The boundaries of subdistrict A, Retail Core, would remain the same. Additionally, staff recommends renaming the subdistricts to Subdistrict 1 – Retail Core and Subdistrict 2 – Mixed-Use. To achieve this recommendation the District Use Matrix (17.12.020) and Dimensional Standards Matrix – CC Districts (17.12.040) and the zoning map will need to be amended.

## **PUBLIC INPUT**

No written public comment was for the March 12, 2018 hearing. No written public comment was received prior to publication of this staff report for the March 27, 2018 public hearing. Any written public comment received prior to the public hearing will be distributed to the Commission and included in the public record.

### **ANALYSIS**

## Analysis – Retail Establishment Square Footage Limitation

As discussed in the introduction, there are currently no regulations limiting the size of retail establishments in the Community Core district that would prevent a development out of scale with Ketchum's downtown from occurring. Staff views this as an oversight; the county's largest city, Hailey, does have such limitations, which are as follows:

- Individual retail/wholesale trade of a single-tenant retail establishment 36,000 square feet
- Aggregate gross floor area for grouped retail/wholesale 50,000 square feet.

The Albertsons grocery store in Hailey is approximately 36,000 square feet. Using Hailey's square footage limitations as a basis, staff evaluated existing large individual and aggregate retail establishments in Ketchum and the physical constraints of Ketchum downtown city blocks, which are separated by alley and street rights-of-way.

Large single tenants in Ketchum include City Market (approximately 12,000 square feet) and Atkinsons (approximately 18,000 square feet). The largest aggregate retail developments are Giacobbi Square (approximately 48,000 square feet, including Atkinsons, and first floor and basement retail) and the Christiania buildings (approximately 24,000 square feet Walnut/Sun Valley Road and approximately 20,000 square feet Spruce/Sun Valley Road). All approximate measurements were taken by measuring building footprints through the Blaine County GIS online map.

Most original Ketchum Townsite parcels are 5,500 square feet in size, with 8 parcels comprising a city block, at a square footage of 44,000 square feet. Giacobbi Square and the Christiania buildings were both developed on an area equivalent to a complete Ketchum Townsite block (8 townsite parcels).

## Recommendation

Staff recommends 50,000 aggregate gross square feet for grouped retail/wholesale finding the size reflective of Ketchum's existing downtown block pattern and existing aggregate retail developments.

Staff recommends 36,000 gross square feet for individual retail/wholesale trade for a single-tenant retail establishment finding this upper threshold, used by Hailey, to have resulted in the maximum size grocery store appropriate for the Wood River Valley.

## Analysis – Consolidation of Community Core Subdistricts

The 2001 Comprehensive Plan and the 2006 Downtown Master Plan both emphasized the importance of high-quality design of buildings and public spaces in the downtown core to the vitality of Ketchum. In 2006 the City adopted a 90-page Form Based Code to regulate design and uses in the Community Core as a means of implementing the 2001 Comprehensive Plan and the 2006 Downtown Master Plan (Ord. 994).

Building upon the 2006 Master Plan's identification of multiple districts within the Community Core, the Form Based Code introduced four Community Core Sub-Districts. Each sub-district permitted a specific palette of building types, selected from the array of six building types included in the Form Based Code that represented existing and desired character. While there was a general Permitted Use Table included in the Form Based Code, the locations where a use could occur within a building were governed by the Building Type.

For example, office use may be permitted on any parcel in a subdistrict, but if a Type 5 Urban Residential building were constructed, office use would only be permitted on the ground floor and any upper floors would be required to have residential use only. In another example, some building types specified that the first 20

feet of depth of the building must have a specific use, such as retail, while the rear of a building or upper floor may have another use, such as office or residential.

Building Type	Sub-District A: Retail Core	Sub-District B: Arts District	Sub-District C: Urban Residential	Sub-District D: Traditional Neighborhood
Traditional Mixed Use (Type 1)	Traditional Mixed Use (Type 1)	Traditional Mixed Use (Type 1)		
Mixed-Use with	Mixed-Use with	Mixed-Use with	Mixed-Use with	
Cellar (Type 2)	Cellar (Type 2)	Cellar (Type 2)	Cellar (Type 2)	
Neighborhood	Cenar (Type 2)	Neighborhood	Neighborhood	
Mixed-Use (Type		Mixed-Use (Type 3)	Mixed-Use (Type 3)	
3)				
Multifamily			Multifamily Home	Multifamily Home
Home (Type 4)			(Type 4)	(Type 4)
Urban			Urban Residential	
Residential (Type			(Type 5)	
5)				
Hotel (Type 6)	Hotel (Type 6)	Hotel (Type 6)		
Other	Civic Building	Civic Building	Civic Building	Civic Building
Uses Permitted by Location in Building	Sub-District A: Retail Core	Sub-District B: Arts District	Sub-District C: Urban Residential	Sub-District D: Traditional Neighborhood
Ground Floor w/Street Frontage	Retail trade, retail service and professional service as permitted  *One building type required a CUP for ground floor professional use	Retail trade, retail service and professional service as permitted	Retail trade, retail service and professional service as permitted  All residential uses as permitted.	Residential and professional service uses as permitted
Ground Floor No Street Frontage	All uses as permitted	All uses as permitted	All uses as permitted	Residential and professional service uses
Upper Floor w/Street Frontage	All uses as permitted	All uses as permitted	All uses as permitted	Residential uses as permitted
Upper Floor No Street Frontage	All uses as permitted	All uses as permitted	All uses as permitted	Residential uses as permitted

The intent of the sub-districts was to drive and reinforce character and uses in different parts of downtown, or "sub-districts", that the community voiced preference for during the 2001 Comprehensive Plan and the 2006 Downtown Master Plan processes.

However, not long after the Form Based Code was adopted, the city experienced the same recession that affected the nation as a whole; development of new commercial buildings came nearly to a halt. Between 2006 and 2015 only three new commercial buildings were permitted under the Form Based Code (the Limelight Hotel was permitted during this time but was approved through the PUD-Hotel process).

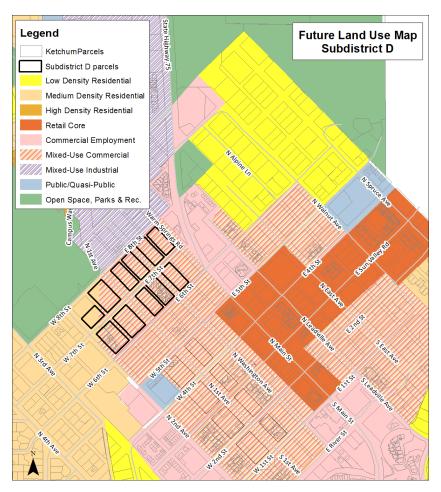
- 2007 Mountain West Bank (07-031)
- 2008 Rustic Moose (08-112)
- 2009 Whiskey Jacques (09-044)

In 2015 the Form Based Code was repealed, but the subdistricts remained part of the zoning map and the District Use Matrix. Pertinent holdovers from the Form Based Code currently in place are:

- 100% residential buildings are permitted only in Subdistricts C and D.
- Only permitted use on first floor for first 20' of depth of street frontage for buildings in Subdistrict A is retail; offices in the first 20' of depth of street frontage require a Conditional Use Permit.
- Hotels permitted only in Subdistricts A and B.

The Form Based Code allowed only Multi-Family Homes and civic buildings to be constructed in Subdistrict D and in keeping with the form uses were severely limited; only residential and professional service uses were permitted. With the wider range of building types permitted by the Form Based Code in Subdistricts A, B, and C, other than the provisions for hotels and retail, the uses permitted in A, B, and C overlap (see Attachment A, District Use Matrix).

Although the Form Based Code was in place when the 2014 Comprehensive Plan was adopted, the Future Land Use Designation for Subdistrict D conflicts with the Land Use Category of Mixed-Use Commercial.



## CC-D - Traditional Neighborhood

2014 Comprehensive Plan Future Land Use Map Designation	Current Zoning Ordinance Uses Permitted
Mixed Use Commercial This Mixed-Use Commercial category is intended to promote a wide range of land uses, including offices, medical facilities, health/wellness-related services, recreation, government, residential, and services. General retail is limited to the downtown core.	<ul> <li>multi-family housing</li> <li>tourist house</li> <li>residential care facilities</li> <li>business support (ground floor only)</li> <li>office (ground floor only)</li> <li>public use</li> </ul>
The intent of the Mixed-Use Commercial category is to improve two areas: 1) the downtown area outside the retail core, and 2) the area surrounding St. Luke's Hospital (McHanville/Cold Springs Canyon) where development must be sensitively sited for viewshed and wildlife habitat protection.	<ul> <li>semi-public use</li> <li>public recreation facility</li> </ul>

Absent from the list of uses currently permitted in Subdistrict D are the "wide variety" of land uses that the Comprehensive Plan intends. As a result, several of the uses in the Community Core within Subdistrict D that contribute to the overall diversity and vibrancy of the city are non-conforming and pre-date the Form Based Code (Lefty's, Moss Garden Center, Growing Garden Daycare Center). One recently vacated building (Sun Summit Ski & Cycle) is within Subdistrict D and no new retail business is permitted to locate there due to the use restrictions.

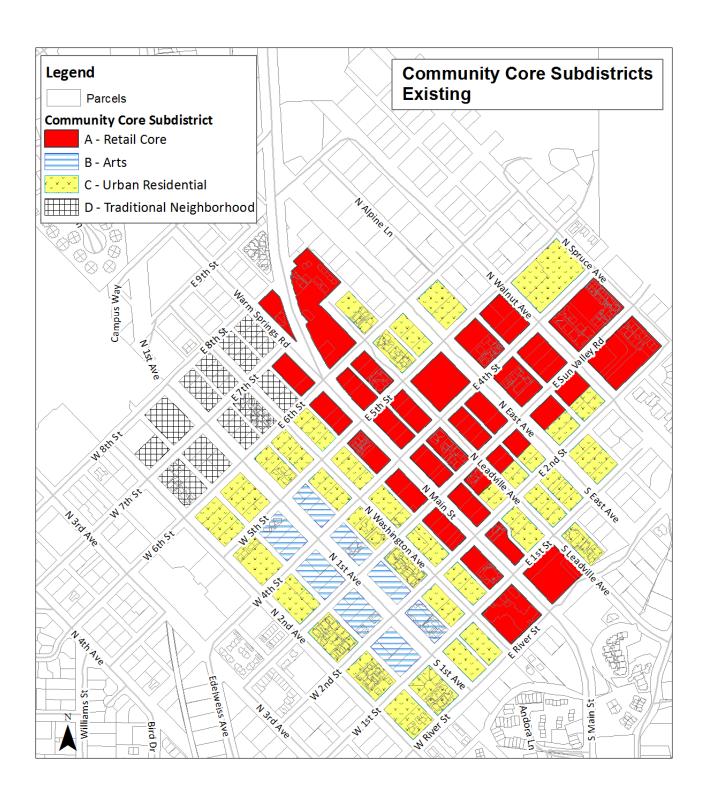
Additionally, despite the use restrictions being in place for 12 years, ground floor uses in the Retail Core continue to contain an abundance of real estate offices and banks, since many real estate offices and banks pre-date the Form Based Code.

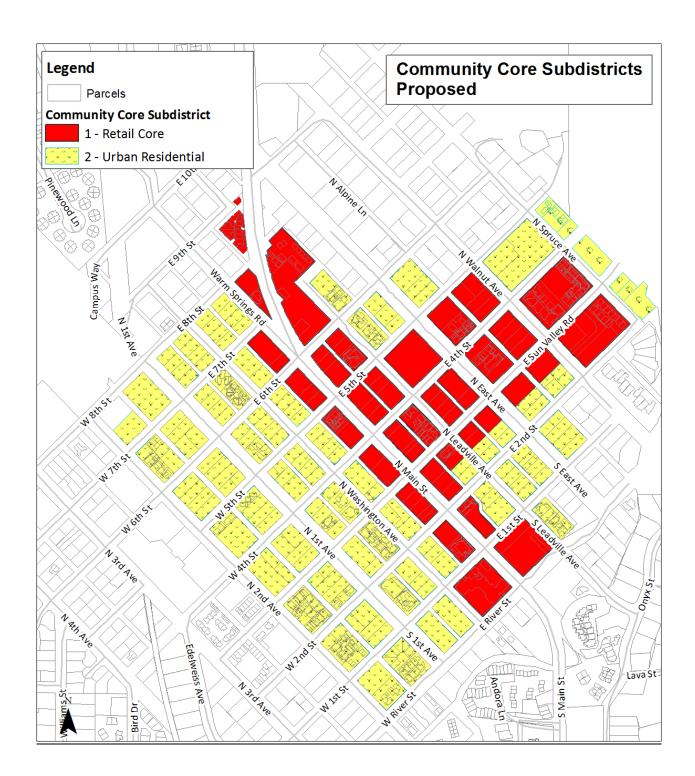
Staff finds that because the Form Based Code's limited duration that overlapped with the recession, and despite the ensuing use restrictions, the existence of four subdistricts has not largely driven character and redevelopment of the Community Core. Another example is Subdistrict B, Arts; half of the art galleries participating in the Sun Valley Gallery Association are located in a different subdistrict (see Attachment B, Sun Valley Gallery Association map).

#### Recommendation

With the entirety of this analysis in mind, staff recommends consolidating Subdistricts B and D into Subdistrict C, and renaming the Subdistrict A – Retail Core to Subdistrict 1 – Retail Core and renaming Subdistrict C to Subdistrict 2 – Mixed-Use. (See existing and proposed subdistrict maps on the following pages.)

Staff also recommends the Commission discuss whether how one key components of the District Use Matrix would be affected by such a consolidation – should hotels be permitted in





## **RECOMMENDED MOTION**

Staff recommends continuing the public hearing to April 9, 2018.

"I MOVE TO CONTINUE THE PUBLIC HEARING TO APRIL 9, 2018."

## **Attachment A**

**District Use Matrix** 

## 17.12.020: DISTRICT USE MATRIX:

#### A. District Use Matrix:

- 1. Use Matrix: The district use matrix lists all use types and all zoning districts where the use type is permitted (P), permitted with approval of a conditional use permit (C) or permitted as an accessory use (A) to a principal use.
- Prohibited Uses: All uses not specifically listed in the district use matrix are prohibited, except where State or Federal law otherwise preempts local land use regulation.
- Overlay Districts: Regardless of whether the district use matrix lists a use type as permitted, permitted with approval of a conditional use permit or permitted as an accessory use to a principal use, the use type shall be further regulated and prohibited if listed as a prohibited use in any applicable overlay district.
- 4. Additional Requirements: In addition to requirements listed in applicable overlay districts, additional requirements for specific uses are listed in <a href="https://chapter.17.124">chapter 17.124</a>, "Development Standards", of this title.
- 5. Floor Area Ratios (FAR) And Community Housing: Refer to sections <u>17.124.040</u>, <u>17.124.050</u>, "Hotels", <u>17.100.030</u> and <u>17.101.030</u> of this title for FAR and community/inclusionary housing requirements.
- 6. Accessory Use: An accessory use, unless otherwise permitted for in this title, shall not commence and no accessory structure shall be constructed without a principal use first being lawfully established on the subject site, unless otherwise specified in <a href="https://creativecommons.org/chapter-17.116">chapter 17.116</a>, "Conditional Uses", of this title.

DISTRICT USE MATRIX

P = Permitted	C = Conditional	A = Accessory
---------------	-----------------	---------------

District Uses	LR	LR-	LR- 2	GR- L	GR- H	STO4	STO-	STO- H	T	T- 3000	T- 4000	CC SD A	SD B	SD C	SD D	LI-1	LI-2	LI-	RU	A
Residential:																				Г
Dwelling, multi- family				P <sup>1</sup>	Р			Р	Р	Р	Р	P <sup>26</sup>	P <sup>26</sup>	P	P	C <sup>14</sup>	C <sup>14</sup>	C <sup>14</sup>	C <sup>19</sup>	
Dwelling, one- family	Р	Р	Р	P <sup>2</sup>	Р	Р	Р	Р	Р	Р	Р	See note 28	See note 28	See note 28	See note 28				C <sup>19</sup>	F
Residential care facility	P <sup>4</sup>	P <sup>26</sup>	P <sup>26</sup>	P	P															
Commercial:																				Г
Adult only business																	Р			
Agriculture, commercial																				F
Business support service												P	P	P	P <sup>27</sup>	Р	Р			
Convenience store									Р			P	P	P		P <sup>12</sup>	P <sup>16</sup>			
Daycare center				C <sup>4</sup>	C <sup>4</sup>				P <sup>4</sup>	P <sup>4</sup>	P <sup>4</sup>	P	P	P		C <sup>17</sup>		C <sup>17</sup>		
Daycare facility				C <sup>4</sup>	P <sup>4</sup>			C <sup>4</sup>	P <sup>4</sup>	P <sup>4</sup>	P <sup>4</sup>					C <sup>17</sup>		C <sup>17</sup>	P <sup>4</sup>	
Drive-through facility												P <sup>9</sup>	P <sup>9</sup>	P <sup>9</sup>						
Equestrian facility																			С	C
Food service									Р	P <sup>6</sup>	P <sup>6</sup>	P	P	P		PC <sup>15</sup>	PC <sup>15</sup>		C <sup>29</sup>	
Golf course	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	P								С	T
Grocery store												P	P	P						T
Health and									P			P	P	P		С	С			F

fitness fa  Hotel  Hybrid productic facility  Instructic service  Kennel, boarding  Laundry, industria  Lodging establish  Maintena service facility  Mortuary  Motor ve fueling si	on onal onal onal onal onal onal onal on							P <sup>25</sup>	P		P	P							
production facility  Instruction service  Kennel, boarding  Laundry, industria  Lodging establish  Maintena service fill  Manufac  Mortuary  Motor ve	onal  g  g  g  g  g  g  g  g  g  g  g  g  g										P	P	P		Р	Р			
service  Kennel, boarding  Laundry, industria  Lodging establish  Maintena service fi  Manufac  Mortuary  Motor ve	mment ance facility cturing y ehicle station												ı II			.1			
boarding  Laundry, industria  Lodging establish  Maintena service fi  Manufac  Mortuary  Motor ve	ance facility cturing								1		P	P	P		Р	Р			
industria Lodging establish Maintena service fi Manufac Mortuary Motor ve	anment ance facility cturing y ehicle station														Р	Р			
establish  Maintena service fi  Manufac  Mortuary  Motor ve	ance facility cturing y ehicle station					11									Р	Р			
Manufac  Mortuary  Motor ve	facility cturing y ehicle station			1				Р	Р	Р	P	P							
Mortuary Motor ve	y ehicle station														Р	Р		С	
Motor ve	ehicle station														Р	Р			
Motor ve	station										C	C	С						Т
laomig o															C <sup>31</sup>	C <sup>31</sup>			
Motor ve sales	enicle														С	С			
Motor ve service	ehicle														Р	Р			
Office, business	S							С			P <sup>10</sup>	P	P	P <sup>24</sup>			Р		
Outdoor								Р	Р	Р	P	P	P						
Personal service	ıl							Р	P <sup>6</sup>	P <sup>6</sup>	P	P	P		P <sup>13</sup>				
Profession service	onal														Р	Р			
Recreation facility, commerce								С	С	С	P <sup>20</sup>	P <sup>20</sup>	P <sup>20</sup>					С	
Repair s	shop							Р	P <sup>6</sup>	P <sup>6</sup>	P	P	P		Р	Р			
Retail tra	ade							P <sup>5</sup>			P	P	P		P <sup>12</sup>	P <sup>16</sup>		C <sup>29</sup>	
Self-serv storage f	vice facility														Р	Р			
Ski facilit								С	С	С								С	С
Storage	yard														Р	Р			
Studio, commerc	cial										P	P	P		Р	Р	Р		
TV and r broadcas station	radio sting														Р	Р	Р		
Tourist h	nouse							Р	Р	Р	P <sup>11</sup>	P <sup>11</sup>	P <sup>11</sup>	P <sup>11</sup>					
Tourist h	nousing nodation				P	Р	Р	Р	Р	Р									
Truck ter	rminal														Р	Р			
Veterinal service establish	ıry														Р	Р		C <sup>21</sup>	
Warehou				$\vdash$		╫		$\vdash$	=		=		<del></del>	<del> </del>	Р	Р	Р	$\vdash$	-

Wholesale																Р	Р			L
Wireless communication facility	C <sup>23</sup>	C																		
Public and institutional:																				
Assembly, place of				C <sup>3</sup>	C <sup>3</sup>							С	С	C						
Cemetery																			С	С
Cultural facility												P	P	P					С	
Geothermal utility											C <sup>7</sup>									
Hospital												C	C	C						
Medical care facility					С				Р			P	P	P						
Nature preserve	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	P	P	P	P	Р	Р	Р	Р	Р
Parking facility, off-site									С	С	С	С	С	С	С					
Parking, shared									C <sup>8</sup>	C <sub>8</sub>	C <sub>8</sub>	P8	P <sup>8</sup>	P <sup>8</sup>	P <sup>8</sup>					
Performing arts production												P	P	P					С	
Public use	С	С	С	С	С	С	С	С	С	С	С	P	P	P	C	С	С	С	С	С
Public utility	Р	Р	Р	Р	Р	Р	Р	Р	Р	P	Р	P	P	P	P	Р	Р	Р	Р	P
Recreation facility, public	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	P	P	P	P	Р	Р	Р	Р	P
Recycling center																	Р			
School residential campus																		P <sup>30</sup>		
Semi-public use					С				С	С	С	P	P	P					С	С
Accessory:																				
Agriculture, urban	A <sup>22</sup>	A																		
Daycare home	A <sup>4</sup>					C <sup>4</sup>				A										
Daycare, on site employees																A	Α	А		
Dwelling unit, accessory	A <sup>18</sup>					Α														
Electric vehicle charging station	Α	Α	A	A	Α	A	A	A	A	A	A	A	A	A	A	Α	A	Α	A	A
Energy system, solar	Α	Α	Α	А	Α	A	A	A	Α	Α	A	A	A	A	A	A	Α	Α	Α	Α
Energy system, wind	Α	Α	Α	А	А	Α	А	Α	Α	Α	А	A	A	A	A	А	А	Α	Α	Α
Equestrian facility, residential	A	А	А	А	А	A	A	A	A	Α	A									Α
Fallout shelter	Α	Α	Α	Α	Α	Α	Α	Α	Α	Α	Α									Α
Guesthouse	Α	Α	Α	Α	Α	Α	Α	Α	Α	Α	Α									
Home occupation	Α	Α	Α	Α	Α	Α	А	Α	Α	Α	Α	Α	Α	Α	Α	Α	Α	Α	Α	Α

Recreation facility, residential	A	A	A	A	A	А	Α	Α	А	Α	Α	A	A	A	A	Α	А	А	
Sawmill, temporary																			С

#### Notes:

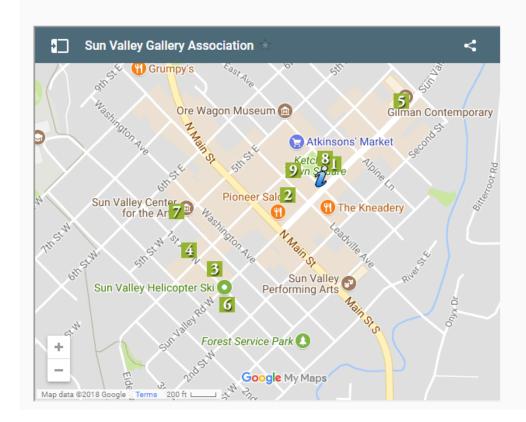
- 1. A multi-family development containing up to 2 dwelling units is permitted.
- 2. 2 one-family dwellings are permitted.
- 3. Religious institutions are allowed through the provision of a conditional use permit. No other assembly uses as defined in chapter 17.08 of this title are permitted.
- 4. Use is not permitted in the Avalanche Zone. Reference Zoning Map.
- 5. Retail trade is permitted but must not exceed 2,500 square feet.
- 6. Uses must be subordinate to and operated within tourist housing and not to exceed 10 percent of the gross floor area of the tourist housing facility.
- 7. Utility for offsite use.
- 8. See section <u>17.125.070</u> of this title for shared parking standards.
- 9. Drive-throughs are not allowed in association with food service establishments.
- 10. This is a permitted use, however offices and professional services on the ground floor with street frontage require a conditional use permit.
- 11. Tourist houses shall only be located in existing one-family dwellings. Additions to the home shall not exceed 20 percent of the existing square footage.
- 12. The following forms of retail trade are permitted: a) equipment rental, including sporting equipment and entertainment equipment, b) building, construction and landscaping materials; small engines with associated sales, c) retail in conjunction with manufacturing, warehousing or wholesaling not to exceed 30 percent gross floor area or 800 square feet, whichever is less; no advertising is displayed from windows or building facades; and no access onto a major arterial is allowed if an alternative access is available.
- 13. Personal service is not allowed except for laundromats and dry cleaning establishments.
- 14. See section 17.124.090 of this title for industrial districts residential development standards.
- 15. Catering and food preparation is permitted. Restaurants require a conditional use permit and shall not exceed 1,000 square feet and serve no later than 9:00 P.M. unless expressly permitted through approval of the conditional use permit.
- 16. The following forms of retail trade are permitted: a) equipment rental, including sporting equipment and entertainment equipment; b) building, construction and landscaping materials; small engines with associated sales; c) furniture and appliances in conjunction with warehousing not to exceed 18 percent gross floor area or 900 square feet, whichever is less; d) other retail in conjunction with manufacturing, warehousing or wholesaling; it is limited to 10 percent gross floor area or 500 square feet, whichever is less. Retail uses c) and d) of this note shall have no advertising displayed from windows or building facades; and no access will be permitted onto a major arterial if an alternative access is available.
- 17. See subsection 17.124.120C of this title for industrial districts daycare development standards.
- 18. See section 17.124.070 of this title for accessory dwelling unit development standards.
- 19. A maximum of 5 dwelling units are allowed through a conditional use permit and shall be a minimum of 400 square feet and not exceed 1,200 square feet in size.
- 20. Indoor only
- 21. Only allowed in conjunction with an equestrian facility.
- 22. See section <u>17.124.080</u> of this title for urban agriculture development standards.
- 23. See chapter 17.140 of this title for wireless communications facility provisions.
- 24. Allowed on the ground floor only.
- 25. See section <u>17.124.050</u> of this title for hotel development standards.
- 26. Ground floor street frontage uses are limited to retail and/or office uses. In Subdistrict A office uses require a conditional use permit.
- 27. Ground floor only.
- 28. Through the provision of a conditional use permit, the Planning and Zoning Commission may approve a 20 percent increase to the total existing square footage of an existing nonconforming one-family dwelling.
- 29. Use is allowed as an accessory use through the provision of a conditional use permit.
- 30. Development agreement required.
- 31. Vehicular access from Highway 75 to motor vehicle fueling stations is prohibited.

(Ord. 1174, 2017: Ord. 1150, 2016: Ord. 1135, 2015)

## **Attachment B**

**Sun Valley Gallery Association Map** 





## Member Galleries

- Broschofsky Gallery
   208.726.4950
- 2. Frederic Boloix Fine Art 208.726.8810
- Friesen Gallery
   208.726.4174
- 4. Gail Severn Gallery 208.726.5079
- 5. Gilman Contemporary 208.726.7585
- 6. Kneeland Gallery 208.726.5512
- 7. Sun Valley Center for the Arts 208.726.9491
- 8. Wood River Fine Arts 208.928.7728
- 9. MESH Gallery 208.309.3200



## City of Ketchum

April 9, 2018

## **Ketchum Planning and Zoning Commission**

Jeff Lamoureux, Chair Erin Smith, Vice-Chair Mattie Mead Neil Morrow Kurt Eggers

# STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION

**PROJECT:** City-initiated Text Amendments to Title 17, Zoning, to amend regulations for residential

use in the Light Industrial zones

**REPRESENTATIVE:** City of Ketchum Planning and Building Department

**DESCRIPTION:** Amendments to Section 17.12.020, District Use Matrix, Section 17.124.070 and

Section 17.124.090, Residential, Light Industrial Districts

**NOTICE:** Notice appeared in the Idaho Mountain Express, was mailed to outside agencies, and

was posted in three (3) public locations on February 14, 2018. The hearing was continued to the March 27, 2018 meeting and then to the April 9, 2018 meeting.

**PUBLIC HEARINGS:** Planning and Zoning Commission

March 12, 2018
March 27, 2018
April 9, 2018

**PLANNER:** Brittany Skelton, Senior Planner

**ATTACHMENTS:** March 27, 2018 staff report

## **INTRODUCTION**

The Commission engaged in initial discussion of proposed amendments regarding Conditional Use Permits in all Light Industrial districts and 100% residential use in the LI-3 district at the March 27, 2018 meeting. Commentary and directive from the Commission focused on the potential for 100% residential buildings in the LI-3 district and included:

- Needed public outreach and evaluation of Comprehensive Plan prior to an amendment permitting 100% residential use;
  - Notable issues include the tension between the integrity and preservation of the Light Industrial area and the need for affordable housing, importance of Light Industrial area's support to other commercial activity in Ketchum, and
- Desire to see modeling, proformas, and other data regarding 100% development scenarios;
- Small residential unit sizes;
- Light Industrial/commercial activity on the ground floor; and
- Clarify unit sizes building code currently allows and Idaho state legislature's recent laws regulating local governments' ability to amend Building Code

Due to the complexity of such amendments, implications regarding the character of the Light Industrial area, and limited time for thorough analysis between the March 27<sup>th</sup> and April 9<sup>th</sup> meetings, staff recommends accepting any additional public comment, supplemental and new direction from the Commission, followed by a continuation of this hearing to May 14<sup>th</sup>, 2018.

The March 27, 2018 staff report is attached for reference.

## STAFF RECOMMENDATION AND RECOMMENDED MOTION

Staff recommends continuing the public hearing to May 14, 2018.

"I MOVE TO CONTINUE THE PUBLIC HEARING TO MAY 14, 2018."

## **ATTACHMENTS**

• March 27, 2018 staff report

## Attachment A.

March 27, 2018 staff report



## City of Ketchum

March 27, 2018

## **Ketchum Planning and Zoning Commission**

Jeff Lamoureux, Chair Erin Smith, Vice-Chair Betsy Mizel Mattie Mead Neil Morrow

# STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION

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from March 12, 2018 to March 27, 2018.

**PUBLIC HEARINGS:** Planning and Zoning Commission

March 12, 2018March 27, 2018

**PLANNER:** Brittany Skelton, Senior Planner

ATTACHMENTS: None

### **INTRODUCTION**

As part of the Zoning Code Phase II Update staff put forward a schedule of amendments to City Council on February 5, 2018 for policy direction. Included in the proposal from staff was the removal of the regulation requiring Conditional Use Permits for residential units in the Light Industrial zoning districts. A comprehensive consideration of the Light Industrial districts is intended to occur at a later date. Staff put forward the Conditional Use Permit repeal recommendation for consideration because the zoning code has a specific set of standards residential units must conform to (unit size, number of bedrooms, location of units within building, parking) that regulate residential uses.

Council directed staff to proceed with the Conditional Use Permit amendment and directed staff to also research and evaluate permitting buildings in the Light Industrial District – 3 (LI-3) to be entirely residential in use; currently, buildings in the Light Industrial District – 3 are permitted to devote up to 66% of their square footage to residential use, provided all other residential standards are met.

This staff report contains an analysis of potential amendments for the Commission's consideration. Staff recommends discussion of the potential amendments at this meeting and continuing the hearing to April 9, 2018.

## **PUBLIC INPUT**

No written public comment was received prior to the March 12, 2018 public hearing. No written public comment has been received prior to publication of this staff report. Any written public comment received prior to the public hearing will be distributed to the Commission and included in the public record.

# HISTORY OF RESIDENTIAL USE IN THE LIGHT INDUSTRIAL ZONING DISTRICTS

The City of Ketchum's first zoning ordinance and zoning map were adopted in 1974 via Ordinance 208. The first zoning ordinance contained a single Light Industrial zone and there was not a provision for any type of housing. However, just three years later in 1976 the first consideration of housing in the Light Industrial zone was adopted via Ord. 231. In the four decades that have followed regulations for housing in the Light Industrial evolved, each time expanding the size and types of housing permitted.

## 1974 - Ord. 207

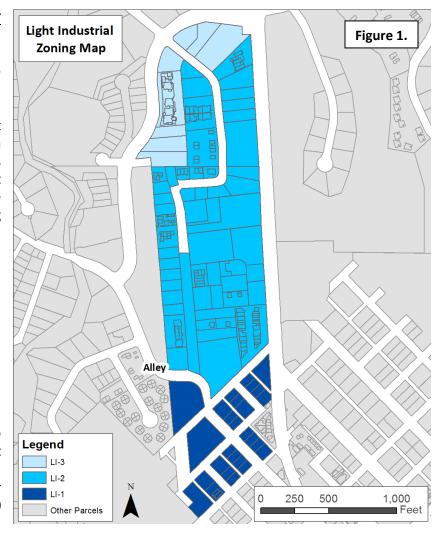
- Created the Light Industrial zone
- No mention of housing as a use

## 1976 - Ord. 231

 Allowed housing for security personnel through a Conditional Use Permit

#### 1984 - Ord. 389

- Separated the Light Industrial zone into the three zones still in place today: Light Industrial-1, 2, and 3
- Added the limitation that housing for security personnel could not exceed 600 square feet



#### 1991 - Ord. 556

This ordinance cited two studies about the need for affordable housing in Ketchum as rational and justification for expanding the scope of housing in all three Light Industrial zones. The intent was to allow housing for long term residents active in the workforce to be constructed in the LI zones. The regulations adopted in this 1991 ordinance are mainstays that have largely been in place ever since. Regulatory highlights of Ord. 556 include:

- Expanded residential uses allowed in through CUP beyond housing for security personnel
- No dwellings permitted on the first floor
- Up to 50% of building may be devoted to dwelling units
- Units shall be 400-800 square feet
- Units shall not have more than 2 bedrooms
- 1 parking space per bedroom required on site
- Units must either be owner occupied or used for long term occupancy (90 days+)
- Dwellings shall not be separated for sale
- CUPs to be recorded with County
- Residential uses shall be subordinate to other permitted Light Industrial uses

## 1999 - Ord 801

• Increased permitted square footage of residential units to 1000 sf

#### 2005 - Ord. 954

With this ordinance housing regulations for the Light Industrial – 3 district diverged from the regulations for LI-1 and LI-2. This ordinance changed paved the way for the Scott building to be developed.

- Differentiated between deed restricted units and units for owner occupation
- Conditional Use Permit still required
- Allowed up to 66% of a building to be housing provided all other standards were met
- The area designated as non-residential use shall be a minimum of 24% of the total floor area; this floor area can't include areas for personal storage for dwelling occupants
- 1/3 of the total housing square footage shall be deed restricted Community Housing units
- Dwellings up to 1400 sq ft permitted
- Three-bedroom units permitted
- No dwelling units on the ground floor

#### 2016 - Ord 1150

This ordinance was the result of a zoning code text amendment initiated by the Community School.

- Added "School Residential Campus" as a use
- Added provision for dormitory rooms
- Added provision allowing dwelling units for school employees to be located on the ground floor

## **ANALYSIS**

Potential elimination of the Conditional Use Permit requirement for residential uses and potential allowance of buildings in the Light Industrial District 3 (LI-3) to be 100% residential are analyzed separately.

The Commission may choose to formulate and forward a recommendation of approval of one, neither, or both amendments to City Council, or may choose to direct staff to return with additional research and analysis on one or both amendments.

## **Analysis – Conditional Use Permit Repeal**

Since 1976, a Conditional Use Permit has been required for all residential units developed in the Light Industrial zones. The primary purpose of a Conditional Use Permit is often thought of as a means for mitigating the impact that higher intensity uses have on lower intensity uses (example: mitigate noxious fumes from manufacturing so that less intense uses, such as office or residential, are not harmed). However, the purpose of a Conditional Use Permit is broader in scope and allows the Commission to evaluate and mitigate the impacts that a less intense use, such as residential, may have on other permitted uses due to the potential incompatibility in desires for peaceful enjoyment of property, traffic patterns, and so forth.

Ketchum's Conditional Use Permit ordinance, Chapter 17.116 of the zoning code, states that a Conditional Use Permit shall be granted by the Commission only if:

## 17.116.030

- A. The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district;
- B. The conditional use will not materially endanger the health, safety and welfare of the community;
- C. The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood;
- D. The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area, or conditions can be established to mitigate adverse impacts; and
- E. The conditional use is not in conflict with the policies of the comprehensive plan or the basic purposes of this chapter. (Ord. 1135, 2015)

With this in mind, there are other provisions in the zoning code that control the impact that residential uses in the Light Industrial zone have on the uses permitted by-right and other conditional uses in the district. These regulations are found in Section 17.124.090, Residential, Light Industrial Districts and include:

## LI-1, LI-2

#### LI-3

- Residential units shall not occupy the ground floor
- Up to 50% of a building may be devoted to dwelling units
- Dwelling units shall be a minimum of four hundred (400) square feet and shall not exceed one thousand (1,000) square feet total and
- Dwellings shall contain not more than two (2) bedrooms, unless otherwise specified in this section.

- Up to sixty six percent (66%) of any building may be devoted to dwelling units.
- A minimum of one-third  $(^{1}/_{3})$  of the total square footage of housing units shall be deed restricted community housing units;
- The area designated as commercial LI-3 use shall be a minimum of thirty four percent (34%) of the total floor area. Said commercial light industrial use shall not be for personal storage by dwelling occupants
- Dwelling units shall be a minimum of four hundred (400) square feet and shall not exceed one thousand four hundred (1,400) square feet total and shall contain not more than three (3) bedrooms.
- School Residential Campuses are permitted in this zone;
  - Dwelling units for school employees may be located on the ground floor, subject to a Development Agreement
  - Square footage of the building dedicated for residential use, excluding common kitchen and circulation areas, shall be less than 50% of the square footage in the building; basement square footage counts toward overall square footage of the building

## LI-1, LI-2, and LI-3

• The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit,

restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.

- All persons who rent or sublet shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
  - All brochures and other printed materials advertising rental or lease shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area.
  - Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.
- Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.

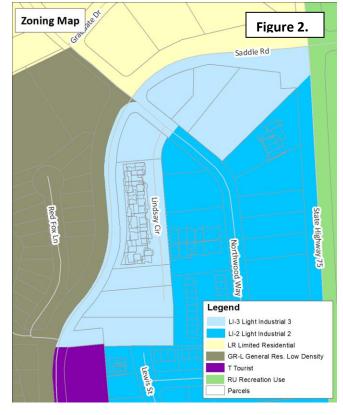
While dimensional and location standards for residential units exist, only the Conditional Use Permit process gives the Commission the opportunity to evaluate the compatibility that a specific, unique proposal will have with other uses in the vicinity and traffic patterns a specific proposal could influence. For this reason, staff does not recommend a complete repeal of the requirement for Conditional Use Permits at this time, but instead recommends consideration of repealing the Conditional Use Permit for developments with a relatively small number of residential units.

## Analysis - 100% Residential Use in LI-3

The purpose and intent of each of the city's three Light Industrial districts, as stated in *Chapter 17.18, Zoning Districts*, have some commonalities and some differences. Differentiating purposes include the LI-3 district providing an area for research and development, high technology, and a mix of deed restricted and market rate

housing, LI-2 providing for light manufacturing and retail associated with building, maintenance, and construction, and LI-1 serving as a transition area from the Community Core and providing for small light manufacturing and commercial service industries. Neither deed restricted nor market rate housing are mentioned in the purpose of the LI-2 or LI-2 districts. The purpose of all three districts mentions providing an area for commercial activity that generates a base of year-round employment.

The purpose and intent of each district is reinforced by the District Use Matrix (17.12.020). For example, food service, hybrid production facility, boarding kennels, industrial laundry, maintenance service facilities, motor vehicle fueling stations, vehicle sales and service, and repair shops are among the uses that are permitted in LI-1 and LI-2 but not LI-3. The only primary uses that are permitted or permitted conditionally in LI-3 are office buildings, commercial studios, tv and radio broadcasting stations, warehouses, public utilities, public recreation facilities and nature preserves (permitted) and residential dwelling units, daycares, public uses, wireless communication facilities (permitted conditionally).



As such, the LI-3 zone serves as a transitional, buffer area between the higher intensity LI-2 and LI-3 districts and the residential GR-L (General Residential – Low Density) and LR (Limited Residential) districts to the north and west

of the Light Industrial zone. Part of the LI-3 district also abuts the T (Tourist) zoned parcel that contains the high-density Northwood Place affordable housing development.



The LI-3 zone is relatively small in size and in terms of total number of parcels, number of undeveloped parcels, and number of undeveloped acres of land when compared to the adjacent LI-2 zone to the south. Despite the small size, the LI-3 zone contains a disproportionate number of residential dwelling units when compared to both the LI-2 and LI-1 districts due to the large number of residential units located in the former Scott building and the dwellings in the Community School's school-residential campus. The high number of residential units is consistent with the purpose of the district, which is in part to provide an area for deed restricted and market rate housing units.

Zoning District	Total Parcels*	Undeveloped Parcels	Undeveloped Acres	Total Existing Residential Unit
LI-1	27	1	0.13	6
LI-2	53	9**	5.88***	7
LI-3	8	2	1.09	28
TOTAL	88	12	7.1	41

<sup>\*</sup> Parcels of land only. Condominium units not included.

**City of Ketchum Planning & Building Department** 

<sup>\*\*</sup> Design Review approvals have been given for new buildings on two of the currently undeveloped parcels.

<sup>\*\*\*</sup> The Stock Lumber site is 2.84 acres, the two parcels Design Review approvals have been given for comprise 0.86 acres.

Although the LI-3 district is relatively small, the number of undeveloped parcels are few, the purpose of the district includes providing an area for deed restricted and market rate housing, and 1/3 of all square footage in LI-3 buildings must be devoted to deed restricted housing, there are other factors – positive and negative - to consider when evaluating whether or not to permit buildings to be entirely residential.

A positive implication of the change would be facilitating a greater number of deed restricted units to be developed, since 1/3 of the total residential square footage would have to be deed restricted community housing, and more community housing units are needed in Ketchum. Negative factors include the impact that an increase in residential density could have to the Light Industrial area as a whole, prior to evaluating what the community and city envisions the future of the Light Industrial area to be, and implications for permitting density through zoning without understanding the impact greater residential density could have on traffic patterns in the vicinity, since this amendment is not being evaluated in tandem with a specific project.

As such, staff puts forward the idea of allowing buildings in the LI-3 district to be 100% residential for the Commission's discussion.

# **ALTERNATIVES TO CONSIDER**

# **Conditional Use Permit Repeal**

Given the City's intent to complete a comprehensive evaluation for the Light Industrial areas at a later date and the importance of the Light Industrial areas as a base for year round employment, and the conflicts that may arise between residential and non-residential uses that are existing and permitted in the Light Industrial districts, staff does not recommend a complete repeal of the requirement that residential units receive Conditional Use Permit approval. However, because the dimensional standards for residential units in the LI-1 and LI-2 zones have largely been in place since 1991 and the most relevant standards for residential units in the LI-3 have been in place since 2005, staff finds these regulations sufficient to control the impact of residential uses provided a threshold for number of units is set.

Staff offers the following for the Commission's consideration and deliberation:

- Allow residential units in new buildings as a permitted use when the number of residential units will be of
  low impact. Since residential units are capped at 1,000 s.f. and 2 bedrooms in LI-1 and LI-2 and 1,400 s.f.
  and 3 bedrooms in LI-3, staff recommends setting a specific number of residential units per new building as
  a threshold, in the range of 2-4.
- Allow conversion of existing, eligible buildings or condominium units to residential use as a permitted use, provided no more than a specified number of units are created and all other regulations are met.
  - Staff recommends setting the threshold for conversion of existing square footage to residential units at the same number of residential units in a new building where a Conditional Use Permit will be required.

# LI-3 100% Residential

Staff puts forward the idea of allowing buildings in the LI-3 district to be 100% residential for the Commission's discussion.

Additionally, staff recommends an analysis of the Comprehensive Plan's vision, goals and policies for the Light Industrial zones and support, or lack thereof, for permitting 100% residential buildings in the LI-3 district.

# RECOMMENDED MOTION "I MOVE TO CONTINUE THE PUBLIC HEARING REGRARDING AMENDMENTS TO RESIDENTIAL USE IN THE LIGHT INDUSTRIAL ZONES TO APRIL 9, 2018."



IN RE:	)
	)
Bigwood Square Mixed-Use Building	) KETCHUM PLANNING AND ZONING COMMISSION
Design Review	) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: April 9, 2018	) DECISION
	)
File Number: 18-030	)

# **BACKGROUND FACTS**

**PROJECT:** Bigwood Square Mixed-Use Building

**FILE NUMBER:** #18-030

**OWNERS:** Bigwood Square, LLC

REPRESENTATIVE: Thomas B. Rixon, AIA, Ruscitto Latham Blanton Architectura

**REQUEST:** Design Review approval for a two-story mixed-use building containing two (2) retail

spaces and a restaurant on the first-floor with a retail storage area and a potential

residential unit on the second-floor.

**LOCATION:** 380 N East Avenue

(Lot 4, Block 44, Ketchum)

**NOTICE:** Notice was mailed to adjacent property owners on March 12<sup>th</sup>, 2018.

**ZONING:** Community Core Retail Core Sub-district (CC-A)

# **BACKGROUND**

The applicant has requested Design Review approval for the construction of a new mixed-use building on Lot 4 of Block 44, Ketchum Townsite. The subject 8,250 sq ft lot is located within the Retail Core Sub-district of the Community Core (CC-A). The proposed building will contain retail space and a restaurant on the first-floor with retail storage space and a potential residential unit on the second-floor. The applicant is Bigwood Square, LLC represented by Thomas B. Rixon, AIA, of Ruscitto Latham Blanton Architectura. The proposed building will be constructed adjacent to the existing Big Wood Bread Café located on the same parcel. Subject Lot 4 also contains a 485 sq ft garage. A demolition permit for the existing garage was issued on March 20<sup>th</sup>, 2018. The new mixed-use building area is 3,668 sq ft with a 264 sq ft upper-level terrace. The total proposed building area including the existing, adjacent café is 5,058 sq ft with a Floor Area Ratio of 0.61.

The Planning and Zoning Commission conducted a site visit and reviewed the Pre-Application Design Review for the proposed mixed-use building on February 12<sup>th</sup>, 2018. The Commission unanimously approved a motion to advance the subject project to Design Review. Per City Code §17.96.040(C)(4), the Administrator waived certain submittal requirements for the Pre-Application Design Review including the drainage, utilities, construction

management, landscape, and exterior lighting plans. On March 8<sup>th</sup>, 2018, the applicant submitted updated drawings including all outstanding submittal requirements. The updated submittal drawings address each of the outstanding action items specified in Commission and Staff review of the Pre-Application Design Review.

# **ANALYSIS**

Analysis of the application is provided in Tables 1-5, including the project's compliance with the City of Ketchum 2014 Comprehensive Plan, City Department comments, Community Core (CC) Zoning District requirements, Design Review standards, and other provisions of Ketchum City Code.

# **COMPREHENSIVE PLAN ANALYSIS:**

The Planning and Zoning Commission finds that the proposed new construction of the Bigwood Square Mixed-Use Building is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

**Table 1. Comprehensive Plan Analysis** 

SUPPORTING	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN				
SECTION	SOMMAN OF COMPENANCE WITH THE 2014 COMPREHENSIVE FEAR				
	Future Land Use				
Retail Core	The community's primary shopping district is the Retail Core. The Retail Core provides a variety of mixed-use buildings that have ground-floor storefronts. Specialty shops, restaurants, and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment. Convenient shopping and dining is served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices.				
	Community Design and Neighborhoods				
Policy CD-1.1	Each neighborhood or district should include a mix of design elements that will reinforce its				
Unique Design	unique design quality.				
Elements for					
Identifiable					
Neighborhoods					
Policy CD-1.3	Infill and redevelopment projects should be contextually appropriate to the neighborhood and				
Compatible Infill and	development in which they will occur. Context refers to the natural and manmade features				
Redevelopment	adjoining a development site; it does not imply a certain style.				
Projects					
I	Housing (if second-floor residential unit is included in final project design)				
Policy H-1.4	Housing should be integrated into the downtown core and light industrial areas, and close to				
Integrated Housing	the ski base. The resulting mix of land use will help promote a greater diversity of housing				
in Business and	opportunities as well as social interactions.				
Mixed-Use Areas					
	Mobility				
Policy M-1.3	Encourage compact development, mixed uses, and additional housing density in the				
Compact	downtown and in high-activity areas. This will increase opportunities for walking, bicycling and				
Development and	transit ridership and reduce vehicle traps.				
Housing Downtown					
and in Activity					
Centers					

# FINDINGS OF FACT Table 2. Requirements for All Applications

	City Department Comments						
Compliant		nt					
Yes	No	N/A	City Code	City Standards and City Department Comments			
$\boxtimes$			17.96.040	Complete Application			

$\boxtimes$		Police Department:
		 No comment at this time.
		Fire Department:  The above project shall meet all 2012 International Fire Code requirements in addition to specific City  Building and Fire Ordinances.
		Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.
		Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
		An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.
$\boxtimes$		NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.
		An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
		Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.
		An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
		Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.
		An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
		Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
$\boxtimes$		Streets Department:
		 <u> </u>

			<ul> <li>The building permit plans shall show the slope of the new asphalt within the alley right-of-way as well as details of the valley gutter and dumpster roll-out assembly. If a grade change is proposed for the sidewalk at the entrance to the mixed-use building, then the details must be shown on the building permit set of plans.</li> <li>Water tap excavation on 4<sup>th</sup> St will likely encounter the storm water drain field. The drain field shall be restored by the applicant following excavation.</li> <li>The catch basin shall be relocated 2 ft to the west in front of the dumpster.</li> <li>The Streets Department shall review and approve the final dimension and location for the proposed snow storage areas prior to issuance of a building permit for the project.</li> </ul>
			Utilities:
			<ul> <li>The mixed-use building requires a fire system and two individual meters. A residential meter shall be installed separate from the commercial meter. The applicant shall submit a water meter detail for outdoor installation to be reviewed and approved by the Utilities Department prior to issuance of a building permit for the project.</li> </ul>
			<ul> <li>Impact fees and meter costs include the purchase of two water meters and payment of one water impact fee relative to the size of the largest meter. It is anticipated that both meters will be 1". The meter size is determined by a licensed plumber or mechanical engineer. No sewer impact fee will be required.</li> </ul>
			<ul> <li>The old Ketchum Springs Water line now serving the property from the alley will need to be cut, capped, and abandoned at the main as soon as digging is allowed in the public ROW.</li> <li>Water mains are available on East Avenue and Fourth Street.</li> </ul>
			Parks/Arborist:
			The City Arborist approves the species and siting of the proposed street tree.
			• Irrigation for the new tree and planter beds may tie into the existing irrigation line and power
$\boxtimes$			or utilize a smart controller with City access. The City Arborists suggests tying into the existing infrastructure. The City requires advance notification if the applicant chooses to tie into the existing irrigation and power system.
			<ul> <li>One electrical outlet is required to be installed to match the outlets for the existing street</li> </ul>
			trees.
			The City Arborists does not require a tree grate or guard.
			ADA Consultant:
			A1.0 Main Level Floor Plan- Access Ramp/ Big Wood Cafe
			<ul> <li>405.7.4: Confirm slope of ramp and landing specifications. (Note that a 60" landing is</li> </ul>
			required at switchbacks.)
			405.2: Confirm slope does not exceed 1:12.
			405.5: Confirm the ramp is at least 36" wide between handrails.
			505: Confirm handrails comply.  A1.0 Main Level Floor Plan-ADA restrooms and entryway
			603.2.3: Door swings maximally into turning radius and overlaps clear floor area at
			accessible sink. Confirm there is at least a 30 x 48 inch clear floor space beyond the swing of
			the door. (Consider reversing door swing to improve access).
$\boxtimes$			<ul> <li>Confirm slope of entryway or path of travel on 4th Street to main entrance for Retail Spaces 1</li> <li>&amp; 2.</li> </ul>
			<ul> <li>Confirm installation of grab bars for ADA water closets in both retail spaces.</li> <li>A1.0 Main Level Floor Plan- Patio Pavers</li> </ul>
			• 303.2: Confirm pavers are smooth with no gaps wider than 1/2" or uneven edges higher than 1/4" that could be tripping hazards.
			• 403.3: Confirm cross-slope in walking surface path of travel is less than 1:20.
			A1.0 Main Level Floor Plan- Doors in Series, from Alley into Stairs
			<ul> <li>404.2.6: The distance between two hinged or pivoted doors in series shall be 48". Door from Alley into stairwell/Retail Space 1 does not comply.</li> </ul>
			A1.0 Upper Level Floor Plan- Upstairs Retail Space
			• If the upstairs is used as a public retail space, it must be made accessible. (ex. install elevator).
$\boxtimes$			Building: The building must meet 2012 International Building Code.
	1		The banding must meet 2012 meemational banding code.

$\boxtimes$	П	Planning and Zoning:
		Comments are denoted throughout the Staff Report.

**Table 3: Zoning Standard Analysis** 

	Compliance with Zoning Standards						
Co	Compliant			Standards and	d Commission Co	mments	
Yes	No	N/A	Guideline	City Standards and Commission Comments			
$\boxtimes$			17.12.040	Minimum Lot Area			
			Commission	Required: 5,500 square feet i	minimum		
			Findings	<b>Existing</b> : 8,250 square feet ex	risting		
$\boxtimes$			17.124.040	Floor Area Ratios and Comm			
			Commission Findings	Permitted in Community Cor	e Sub-district A	(CC-A)	
			rilialitys	Permitted Gross FAR: 1.0			
				Droposod			
				Proposed:	Fl A		]
				Gross	Floor Area	<del>                                     </del>	
					Proposed	Existing	
				New Mixed-Use Building			
				First-Floor	2,718 sq ft		
				Second-Floor	950 sq ft		
				Existing Café			
				Ground Floor		1,390 sq ft	
				Total Gross Floor Area	5.05	8 sq ft	
				Total Gloss Floor Area	3,03	0 34 11	J
				Proposed FAR			
				FAR: 5,058 sq ft gross floor ar	rea/8,250 sq ft lo	t area=.61 FAR	
☑   ☐   17.12.030   Minimum Building Setbacks							
			Commission	Required:			
			Findings	Front (N. East Ave): 0'			
				Adjacent to alleyway (Rear): .	3′		
				Side (E. 4 <sup>th</sup> St): 0' avg.			
				Interior Side: 0'			
				Cantilevered decks and overh	angs: 0′		
				Proposed:			
				Front (N. East Ave.): 81'			
				Adjacent to alleyway (Rear):	3′		
				Side (E. 4 <sup>th</sup> St.): 0'			
				Interior Side: 6'			
				Cantilevered decks and overh	angs: 2'		
$\boxtimes$			17.12.030	Building Height			
			Commission Findings	Maximum Permitted: 42'			
			17.125.030.H	Proposed: 33'-6" Curb Cut			
		$\boxtimes$	Commission	Required:			
			Findings	A total of 35% of the linear fo	otage of any stre	eet frontaae can	be devoted to access to
				off street parking.	ago of any sur	j. oage can	22 20.0104 10 400000 10
				<b>Proposed:</b> No curb cut is pro	posed. Vehicular	access to the pro	oject will be provided
				from the alleyway.		·	· 
$\boxtimes$			17.125.40	Parking Spaces			
			Commission	Off-street parking standards	of this chapter ap	oply to any new o	development and to any
			Findings	new established uses.			
				17.125.040 Off Street Parkin	g and Loading Co	alculations:	

Bigwood Square Mixed-Use Building Design Review, Findings of Fact, April 9<sup>th</sup>, 2018

		A1. Multiple Uses: Lots containing more than one use shall provide parking and loading in an amount equal to the total of the requirements for all uses, unless a use is exempted by this chapter or a reduction is approved through a shared parking plan or Parking Demand Analysis in compliance with this chapter.  Non-residential, in zoning districts other than LI-1, LI-2, and LI-3: 1 parking space per 1,000 gross square feet.  Residential multiple-family dwelling within the Community Core (CC) District and the Tourist (T) District, Tourist 3000 (T-3000), and Tourist 4000 (T-4000): Units 750 square feet or less: 0 parking spaces; Units 751 square feet to 2000 square feet: 1 space; Units 2001 square feet and above: 2 parking spaces  17.125.040(C) Exemptions: In the Community Core (CC) and Tourist (T) zoning districts the following uses meeting the definitions found in 17.08.020 are exempt from providing off street parking:  b.Food Service  c. The first 5,500 square feet of Retail Trade. The first 5,500 gross square feet of a space occupied by a tenant is exempt, additional square footage is subject to the ratio of 1 parking space per 1,000 gross square feet.  Required:  Non-residential: 3,668 sq ft of proposed retail trade is exempt. The existing Big Wood Café is also exempt from parking.  Residential: Potential Dwelling Unit= 750 square feet requires 0 parking space
		Proposed:
		1 on-site loading/parking space
	17.18.130 & 17.18.20	Zoning Matrix
	Commission Findings	17.18.130: Community Core District  A. Purpose: The purpose of the CC community core district is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum's historical and geographic context while providing diversity.  Compatible mixed uses including retail, office, residential and cultural uses are encouraged.  Commercial uses are concentrated in the CC district which is consistent with the city's comprehensive plan and the downtown master plan.  17.08.020 – Definitions  Retail trade: An establishment which provides the final step in the retailing process for the distribution of goods and commodities for customers. Retailers are organized to sell or rent merchandise in small quantities to the general public and operate a fixed point of sale location designed to attract a high volume of walk-in customers. Typical uses include, but are not limited to, establishments selling office supplies and equipment, building materials, plumbing supply, antiques or consignment items, home improvement and garden supplies, books and educational material, clothing, sporting goods, pharmaceuticals, medical devices, health and fitness supplies, art and associated material and household pet supplies. Motor vehicle sales are not included in this definition.  Mixed Use: Properties on which various uses, such as office, commercial, institutional, and residential, are combined in a single building or on a single site in an integrated development project with significant functional interrelationships and a coherent physical design.

# **Table 4: Design Review Standards**

	<u> </u>					
	Design Review Requirements					
	IMPROVEMENTS AND STANDARDS: 17.96.060					
Ī	Yes	No	N/A	City Code	City Standards and Commission Comments	

×		17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
		Commission Findings	The property is located at the SE corner of E. 4 <sup>th</sup> St and N. East Ave and the proposed development will be accessed from the alley. This standard has been met.
$\boxtimes$		17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
		Commission Findings	The street design does not change with this proposal. The subject property is located at the intersection of E. $4^{th}$ St and N. East Ave.
	$\boxtimes$	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.
		Commission Findings	Existing 10 ft sidewalks border the subject lot along E. 4 <sup>th</sup> St and N. East Ave.
X		17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
		Commission Findings	Existing sidewalks conform to the City's right-of-way standards.
	X	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met:  a. The project comprises an addition of less than 250 square feet of conditioned space.  b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
		Commission Findings	N/A.
		17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
		Commission Findings	Existing 10 ft sidewalks border the subject lot along E. 4 <sup>th</sup> St and N. East Ave.
		17.96.060 (B)(5)  Commission	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.  N/A
		Findings	
		17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
		Commission Findings	N/A as no streets or sidewalk improvements are necessary with this project.
$\boxtimes$		17.96.060(C)(1)	All storm water shall be retained on site.
		Commission Findings	The applicant has satisfied this requirement. All storm water shall be retained on site.
$\boxtimes$		17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
		Commission Findings	See above comment for Ketchum City Code §17.96.060(C)(1). All drainage improvements meet this requirement.
	$\boxtimes$	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
		Commission Findings	Additional drainage improvements are not recommended at this time.
$\boxtimes$		17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
		Commission Findings	See above comment for Ketchum City Code §17.96.060(C)(1). The proposed drainage facilities satisfy this requirement. The Public Works Department has reviewed the drainage facilities and has no concerns at this time.

$\boxtimes$		17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the
			sole expense of the applicant.
		Commission	The applicant is aware of this requirement and the plans show all utility locations. See
		Findings	Table 1 for Staff comment from the Utilities Department.
$\boxtimes$		17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines
		Commission	within the development site shall be concealed from public view.
		Findings	As indicated on Sheets C1 and C2 of the submittal, all utilities are located underground and concealed from public view. See Table 1 for Staff comment from the Utilities
			Department.
$\boxtimes$		17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and
			install two (2") inch SDR11 fiber optical conduit. The placement and construction of
			the fiber optical conduit shall be done in accordance with city of Ketchum standards
			and at the discretion of the City Engineer.
		Commission Findings	The applicant is aware of this requirement and will comply with these standards.
$\boxtimes$		17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the
			townscape, surrounding neighborhoods and adjoining structures.
		Commission	Exterior materials include beveled wood siding, cedar shake siding, aluminum clad
		Findings	wood windows, and a Class 'A' standing seam metal roof. The materials, colors, and
		47.00.000(5)(3)	signing are complementary to the adjacent Big Wood Café.
	$\boxtimes$	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where
			applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
		Commission	N/A. There are no identified landmarks on the property.
		Findings	
	$\boxtimes$	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design
		Commission	and use similar material and finishes of the building being added to.  N/A. The proposed building is new construction.
		Findings	N/A. The proposed building is new construction.
$\boxtimes$		17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and
		Commission	the entryway shall be clearly defined.
		Findings	The proposed building and site layout provide unobstructed pedestrian access to the sidewalk adjacent to E. 4 <sup>th</sup> St and the proposed entryway is clearly defined.
		17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
$\boxtimes$		Commission	The front façade, which faces E. 4 <sup>th</sup> St, incorporates horizontal panel siding, windows,
		Findings	and planter boxes to provide undulation and relief as well as to reduce the appearance
			of bulk and flatness. The second-level terrace incorporates a handrail of vertical posts,
			which provides variation.
			The east, west, and south elevations all incorporate horizontal panel siding with
			windows and doors to provide variation and relief.
			The proposed design complements the aesthetic of the existing Big Wood Café.
$\boxtimes$		17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
دے		Commission	The proposed materials, colors, and signing of the project satisfy this requirement.
		Findings	Exterior materials include beveled wood siding, cedar shake siding, aluminum clad
			wood windows, and a Class 'A' standing seam metal roof. The materials, colors, and
			signing are complementary to the adjacent Big Wood Café.
$\boxtimes$		17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall
		Commission	match or complement the principal building.  Existing features on the subject lot include street trees, planter beds, and a picket fence
		Findings	bordering the existing Big Wood Café. The proposed landscape features, including the
			planter boxes, planting beds with deciduous shrubs, and the new proposed street tree,
			serve to complement the proposed building and the existing café. No accessory
			structures have been proposed.
$\boxtimes$		17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk
			and flatness.

	1	1	T 6		
			Commission Findings	The proposed elevation views provided by the applicant show that all building walls	
			, mamys	provide undulation and relief, serving to reduce the appearance of bulk and flatness at	
				all façades. The applicant is proposing a variation in architectural features along all	
				façades, which serves to provide depth and reduce the appearance of bulk and	
			17.96.060(F)(6)	flatness.	
$\boxtimes$			Commission	Building(s) shall orient towards their primary street frontage.	
			Findings	The building is located on the corner of E. 4 <sup>th</sup> St and N. East Ave. The front entrance of	
		<u> </u>		the building orients towards E. 4 <sup>th</sup> St.	
$\boxtimes$			17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and	
			Commission	located off alleys.	
			Findings	Sheet A1.0 and A2.0 of the submittal indicate that the dumpster will be screened and is	
				proposed to be located off the alleyway. The proposed enclosure is pre-finished	
	_		17.96.060(F)(8)	corrugated metal.	
$\boxtimes$			17.50.000(1)(8)	Building design shall include weather protection which prevents water to drip or	
				snow to slide on areas where pedestrians gather and circulate or onto adjacent	
			Commission	properties.	
			Findings	Sheet A3.0 indicates that snow retention bars will be installed on all sloped roofs. The snow retention devices in conjunction with gutters and downspouts will prevent water	
				to drip or snow to slide on areas where pedestrians gather and circulate. Roof	
			17.96.060(G)(1)	overhangs do not extend over the proposed areas for pedestrian circulation.	
$\boxtimes$			17.50.000(0)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing	
			Commission	and anticipated easements and pathways.  The existing pedestrian access connects with adjacent, existing sidewalks and	
			Findings	pathways. There are no existing or anticipated easements on the site as the public	
				entrances to the restaurant and retail spaces are accessed from the sidewalk on E. $4^{th}$	
			17.96.060(G)(2)	Street.  Awnings extending over public sidewalks shall extend five (5') feet or more across	
				the public sidewalk but shall not extend within two (2') feet of parking or travel	
				lanes within the right of way.	
			Commission	Per City Code: 17.08.020, an <b>awning</b> is defined as a covered architectural projection	
			Findings	that extends from the exterior wall of a building for the purpose of providing shade,	
				shelter or aesthetic value to the building facade. The proposed upper-level terrace does	
				not fall into this category as it is sited above the enclosed first-floor.	
$\boxtimes$			17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes	
				vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to	
				adequate sight distances and proper signage.	
			Commission	The proposed on-site loading area is accessed from the adjacent alleyway. The siting of	
			Findings	the loading area and the new bike rack is unlikely to significantly impede pedestrian or	
				vehicle circulation around the site.	
		$\boxtimes$	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the	
				nearest intersection of two or more streets, as measured along the property line	
				adjacent to the right of way. Due to site conditions or current/projected traffic levels	
				or speed, the City Engineer may increase the minimum distance requirements.	
			Commission	No curb cut is proposed. The proposed loading area is located off of the alleyway. An	
			Findings	increase to the minimum distance requirements is not recommended at this time.	
$\boxtimes$			17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage	
				trucks and similar service vehicles to all necessary locations within the proposed	
				project.	
			Commission	Emergency and service vehicles can access the site from N. East Ave., E. 4 <sup>th</sup> St., and the	
			Findings	alleyway, providing unobstructed access for emergency vehicles, snowplows, and	
				garbage trucks.	
$\boxtimes$			17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved	
				parking and pedestrian circulation areas.	
1			Commission Findings	The location of the snow storage area is indicated on Sheet A1.0 of the design review	
			rinuings	submittal. The applicant has provided 350 sq ft of snow storage, which is 44% of the	
				improved pedestrian circulation area. The Streets Department shall review and	

torage areas shall be provided on-site.  Idicant has provided a snow storage area on-site.  Instead snow storage area shall not have any dimension less than five (5') feet all be a minimum of twenty five (25) square feet.  Insposed snow storage areas meet this requirement.  In providing snow storage areas, snow melt and hauling of snow may be all.  In provided a snow storage area on-site.
nated snow storage area shall not have any dimension less than five (5') feet a minimum of twenty five (25) square feet.  posed snow storage areas meet this requirement.  of providing snow storage areas, snow melt and hauling of snow may be
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licant has provided a snow storage area on-site.
aping is required for all projects.
dscape plan is provided on Sheet L1.0 of the submittal. The City Arborist has ed the species types and locations.
pe materials and vegetation types specified shall be readily adaptable to a icroclimate, soil conditions, orientation and aspect, and shall serve to e and complement the neighborhood and townscape.
v Arborist has approved the materials and vegetation types. See above nt for Ketchum City Code §17.96.060(I)(1).
s, shrubs, grasses and perennials shall be drought tolerant. Native species ar nended but not required.
ve comment for Ketchum City Code §17.96.060(I)(1).
aping shall provide a substantial buffer between land uses, including, but not to, structures, streets and parking lots. The development of landscaped courtyards, including trees and shrubs where appropriate, shall be aged.
ping is existing and proposed along both E. 4 <sup>th</sup> St, N. East Ave, and the alley, rovides a buffer between the structures and the street.
sidewalks are required, pedestrian amenities shall be installed. Amenities clude, but are not limited to, benches and other seating, kiosks, bus shelters, eceptacles, restrooms, fountains, art, etc. All public amenities shall receive al from the Public Works Department prior to design review approval from
nmission.
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#### architecture for new development, while maintaining the unique character of existing building stock found in the Community Core. No N/A **City Code** City Standards and Commission Comments Yes 17.96.070 A(1) Street trees, street lights, street furnishings, and all other street improvements shall X be installed or constructed as determined by the Public Works Department. Commission The Public Works Department has approved the proposed street improvements **Findings** including the new bike rack and street tree. 17.96.070(A)(2) $\times$ Street trees with a minimum caliper size of three (3") inches, shall be placed in tree Streets Commission The City Arborist has waived the requirement for a tree grate and has approved the Findings species and siting of the proposed street tree. 17.96.070(A)(3) $\times$ Due to site constraints, the requirements if this subsection 17.96.070. (A) may be modified by the Public Works Department.

		Commission Findings	The City Arborist has waived the tree grate installation requirement.
X		17.96.070 (B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements,
		Commission Findings	materials, and colors as the front façade.  All building facades have been designed to include both solid surfaces and window/door openings intended to avoid the creation of blank walls. Similar architectural elements used to create uniformity include gabled roofs at a 9:12 pitch, vertical siding, and windows with muntins.
×		17.96.070 (B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
		Commission Findings	Storefront windows and doors into the main entrance of the building are proposed.  Landscaping planters are incorporated into the front façade (E. 4 <sup>th</sup> Street), which faces the sidewalk.
$\boxtimes$		17.96.070 (B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
		Commission Findings	The design of the front facing façade (E. 4 <sup>th</sup> St.) does not obscure views into windows.
$\boxtimes$		17.96.070 (B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
		Commission Findings	The applicant has proposed a pitched roof, which is compatible with the overall style and character of the structure.
$\boxtimes$		17.96.070 (B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
		Commission Findings	Snow retention devices, gutters, and downspouts will be installed on all sloped roofs.
X		17.96.070 (B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk.  Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
		Commission Findings	No roof overhangs over a public sidewalk are proposed. The roof overhang extends 2 ft into the required 3 ft setback to the alley. Cantilevered decks and overhangs may extend to the property line in the CC-A Zoning District.
	×	17.96.070 (B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
		Commission Findings	N/A. Front porches and stoops located on the ground floor are not proposed at this time.
X		17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
		Commission Findings	The proposed trash disposal area is located at the rear of the building. The plans indicate that the dumpster will be screened. Access to the trash disposal area will be provided off of the alleyway.
$\boxtimes$		17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
		Commission Findings	All roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Roof mounted mechanical equipment will not exceed tenfeet (10') over the maximum building height and must be set back a minimum of tenfeet (10)' from property lines. Sheet A1.0 indicates that the roof mounted equipment will be screened with a parapet wall and ground mounted equipment will be screened with a low landscape block wall. The final screening, location, and height of all ground and roof mounted mechanical equipment shall be approved upon final inspection and prior to the issuance of a building permit.

$\boxtimes$			17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a	
			Committee to a	new tree. Replacement trees may occur on or off site.	
			Commission Findings	There are currently various sized Aspens trees and 1 hardwood tree on the subject	
			<b>.</b>	property that are proposed to be removed in order to accommodate the new	
				construction. As many of the trees are not mature, the City Arborist has waived the	
				requirement to replace the various sized Aspen trees with new trees. The existing	
			17 06 070(D)(3)	hardwood tree will be replaced by the new proposed street tree.	
Ш	Ш	$\boxtimes$	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be	
			Commission	placed within tree wells that are covered by tree grates.	
			Commission Findings	The City Arborist has waived the requirement to cover the tree well with a grate.	
$\boxtimes$			17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.	
			Commission Findings	The City Arborist has approved the species and location of the proposed street tree.	
		$\boxtimes$	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened	
				from the street.	
			Commission Findings	N/A. No parking lots are proposed with the subject submittal.	
		$\boxtimes$	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree	
				per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters,	
				tree wells and/or diamond shaped planter boxes located between parking rows.	
				Planter boxes shall be designed so as not to impair vision or site distance of the	
				traveling public.	
			Commission Findings	N/A. See above comment for Ketchum City Code §17.96.060(E)(1).	
$\boxtimes$			17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and	
				planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.	
			Commission	All on-site ground cover and low lying shrubs shall be planted within planters and	
			Findings	planter boxes, in conformance with this standard. The City Arborist has approved the	
				location and species of the proposed street tree and has waived the tree grate	
				requirement.	
$\boxtimes$			17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided	
				for every four (4) parking spaces as required by the proposed use. At a minimum,	
				one (1) bicycle rack shall be required per development.	
			Commission	The applicant is proposing the installation of one (1) new bike rack to accommodate	
			Findings	two (2) bikes. An existing bike rack is installed adjacent to the Big Wood Café.	
$\boxtimes$			17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this	
				section results in a fractional number, a fraction equal to or greater than one-half	
				(1/2) shall be adjusted to the next highest whole number.	
			Commission	See comment above. The fraction of the calculation is not equal to or greater than one-	
			Findings	half.	
$\boxtimes$			17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not	
				mounted less than fifty (50') feet from said entrance or as close as the nearest non-	
				ADA parking space, whichever is closest. Bicycle racks shall be located to achieve	
				unobstructed access from the public right-of-way and not in areas requiring access	
				via stairways or other major obstacles.	
			Commission	The bicycle racks are located no less than fifty-feet (50') from entrance of the building.	
			Findings	The bike racks will be visible from the front entrance of the proposed building.	

# **CONCLUSIONS OF LAW**

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;

- 2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning code, Title 17;
- 3. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Code Title 17;
- 4. The City of Ketchum Planning and Building Department provided adequate notice for the review of this application;
- 5. The project does meet the standards of approval under Chapter 17.96 of Zoning Code Title 17.

### **DECISION**

THEREFORE, the Ketchum Planning and Zoning Commission approves this Design Review application this Tuesday, March 27<sup>th</sup>, 2018 subject to the following conditions:

- 1. All departmental conditions as described in Tables 2, 3, 4, and 5;
- 2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
- 3. All building and fire code requirements as dictated by 2012 family of international codes shall apply to all construction onsite;
- 4. Per Title 17, Section 17.96.090: TERM OF APPROVAL: The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations;
- 5. All Design Review elements shall be completed prior to final inspection/occupancy;
- 6. Any work in the right-of-way will require a right-of-way encroachment permit, reviewed and approved by the City before installation;
- 7. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and approved prior the issuance of a Certificate of Occupancy;
- 8. Prior to the issuance of a building permit, the applicant shall verify that all proposed mechanical equipment affixed to the roof of the proposed building is no greater than ten feet in height (10'), and setback ten feet (10') from the property line and fully screened from public view;
- 9. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a building permit is submitted for the project;
- 10. Approval of a condominium plat is required before the residential or commercial units may be sold separately from the Bigwood Mixed-Use building;
- 11. All utilities standards shall be met prior to the issuance of a building permit; and

<ol><li>In addition to the requirements set forth in this De all applicable local, state, and federal laws.</li></ol>	sign Review approval, this project shall comply with
Findings of Fact <b>adopted</b> this 9 <sup>th</sup> day of April, 2018	
	Erin Smith Vice Chair Planning and Zoning Commission



IN RE:			)
			,

Grumpy's CUP Amendment Conditional Use Permit Date: April 9, 2018

File Number: 18-009

KETCHUM PLANNING AND ZONING COMMISSION FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION

**PROJECT:** Grumpy's Restaurant CUP

**FILE NUMBER:** #18-009

**APPLICANT:** Peter Prekeges for Grumpy's INC

**REQUEST:** Proposed amendment to Grumpy's Conditional Use Permit (CUP File Number 98-001)

to allow food and beverage service until 10:00 pm between June 1st and September

30<sup>th</sup>.

**LOCATION:** 860 Warm Springs Rd

(Ketchum Townsite Lot 3 Block 9)

**ZONING:** Light Industrial District Number 1 (LI-1)

**OVERLAY:** None

**NOTICE:** Notice was posted in the Idaho Mountain Express and in three public City locations on

February 28<sup>th</sup>, 2018. Notice was mailed to property owners within a 300 foot radius of the subject property on March 9<sup>th</sup>, 2018. Notice was posted on the subject property on

March 20<sup>th</sup>, 2018.

## **FINDINGS OF FACT**

- 1. The applicant, Peter Prekeges for Grumpy's INC, has requested an amendment to allow food and beverage service until 10:00 pm from June 1<sup>st</sup> through September 30<sup>th</sup>.
- 2. Grumpy's Restaurant has been operating under a valid Conditional Use Permit (CUP) since November 6, 1978.
- 3. In 1978, the CUP was approved by the City Council with the following conditions:
  - a. Applicable to existing building only;
  - b. Required parking provided on-site;
  - c. Beer and wine service only;
  - d. Permit is non-transferable; and

- e. Permit expires 5 years from effective date.
- 4. In November 1983, the CUP was approved with a 5 year time limit as the sole condition.
- 5. In 1988, the CUP was approved for a period of 10 years.
- 6. In 1998, the CUP was approved without an expiration date, but with the following condition:

Permit shall be reviewed by Planning Staff when a written complaint is received. Staff shall verify the compliant and notice the property owner. After two (2) notices, a public hearing before the Commission to review the Conditional Use Permit shall be scheduled and notice.

- 7. The restaurant is located within the Light Industrial Number 1 District (LI-1). In the LI-1 Zoning District, Ketchum City Code §17.12.020 allows restaurants as a conditional use. Food service establishments shall not exceed 1,000 sq ft and serve no later than 9:00 pm unless expressly permitted through approval of the conditional use permit.
- 8. The Planning and Zoning Commission has the discretion to amend the conditions of the CUP to allow food and beverage service to extend later than 9:00 pm.

# **Conditional Use Permit Requirements**

				Conditional Use Requirements		
EVAL	EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code					
A coı	A conditional use permit shall be granted by the Commission only if the applicant demonstrates the following:					
	Compliance and Analysis					
Yes	No	N/A	Code	City Standards and Commission Findings		
□ □ □ 17.116.030.A The characteristics of the conditional use will not		The characteristics of the conditional use will not be unreasonably incompatible with				
				the types of uses permitted in the applicable zoning district.		
			Commission	This standard continues to be met with the proposed amendment. Grumpy's Restaurant		
			Findings	has operated under a valid CUP for nearly 40 years and has demonstrated compatibility		
				with the LI-1 Zoning District. Extending food and beverage service until 10:00 pm from		
				June 1 <sup>st</sup> through September 30 <sup>th</sup> does not conflict with permitted light industrial uses in		
the vicinity of the restaurant.			• •			
□ □ □ 17.116.030.B The conditional use will not materially expression.		17.116.030.B	The conditional use will not materially endanger the health, safety and welfare of the			
				community.		
			Commission	The Commission finds that extending food and beverage service until 10:00 pm from		
			Findings	June 1 <sup>st</sup> through September 30 <sup>th</sup> does not endanger the health, safety, or welfare of the		
				community.		
		The conditional use is such that pedestrian and vehicular traffic associated with the				
			use will not be hazardous or conflict with existing and anticipated traffic in the			
				neighborhood.		
			Commission	Extending food and beverage service for an additional hour during the summer months		
			Findings	is not likely to create pedestrian and vehicular traffic that is hazardous or conflicts with		
				existing or anticipated traffic in the neighborhood. This standard has been met.		
$\boxtimes$			17.116.030.D	The conditional use will be supported by adequate public facilities or services and will		
				not adversely affect public services to the surrounding area or conditions can be		
				established to mitigate adverse impacts.		
			Commission	Public utilities, emergency, and essential services are available to serve the subject		
			Findings	property and a change to the hours of operation is unlikely to impact the provision of		
				these utilities and services.		
$\boxtimes$			17.116.030.E	The conditional use is not in conflict with the policies of the Comprehensive Plan or		
				the basic purposes of this Section.		

Commission Findings	The proposed amendment to the Grumpy's CUP is supported by the following goals and policies of the 2014 Comprehensive Plan:
	<ul> <li>Policy E-1(a): Support for Local, Independent Businesses;</li> <li>Goal E-4: Ketchum will contain a balance of businesses that provide services and shopping for local residents' needs and for tourists; and</li> <li>Goal LU-1: Promote a functional, compact, and mixed-use pattern that integrates and balances residential and non-residential land uses.</li> </ul>

### **CONCLUSIONS OF LAW**

- 1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
- 2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning ordinance, Title 17;
- 3. The Commission has the authority to hear the applicant's Conditional Use Permit Application pursuant Ketchum Municipal Code Title 17;
- 4. The Planning and Zoning Commission's March 27<sup>th</sup>, 2018 public hearing and consideration of the applicant's Conditional Use Permit application was properly noticed pursuant to the Local Land Use Planning Act, Idaho Code Section 67-6512;
- 5. The application meets the standards of approval under Chapter 17.116, Conditional Uses of Ketchum Zoning Code Title 17 and the 2014 Comprehensive Plan;

#### **DECISION**

**THEREFORE**, the Ketchum Planning and Zoning Commission approves this amendment to Grumpy's Conditional Use Permit application to allow food and beverage service until 10:00 pm between June 1<sup>st</sup> and September 30<sup>th</sup> this 27<sup>th</sup> day of March, 2018 subject to the following conditions:

- The Grumpy's Conditional Use Permit is applicable to existing building only;
- 2. The provided required parking on-site shall be maintained by the applicant;
- 3. The Conditional Use Permit allows beer and wine service only;
- 4. The Conditional Use Permit is non-transferable;
- 5. Permit shall be reviewed by Planning Staff when a written complaint is received. Staff shall verify the compliant and notice the property owner. After two (2) notices, a public hearing before the Commission to review the Conditional Use Permit shall be scheduled and notice; and
- 6. This amendment to Grumpy's Conditional Use Permit is based on the application presented and approved at the Planning and Zoning Commission meeting of March 27<sup>th</sup>, 2018.

Findings of Fact <b>adopted</b> this 9 <sup>th</sup> day of April 2018.			
	Erin Smith Vice Chair Planning and Zoning Commission		