



## PLANNING AND ZONING COMMISSION AGENDA – Regular Meeting

Monday, December 10, 2018  
Ketchum City Hall  
480 East Avenue North, Ketchum, ID 83340

1. 4:15 PM - SITE VISIT - Hemingway School, 920 Campus Way Meet at Front Entrance to School  
(Hemingway School Sub, Lot 1, Block 1)
2. 4:40 PM – SITE VISIT– Cookbook Restaurant, 271 Seventh Street East (Lot 4, Block 13)
3. 5:00 PM – SITE VISIT – Two Six Zero Mixed Use Building, 260 N. First Ave. (AM Lot 5A, Block 38)
4. 5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho
5. **ACTION ITEM - ELECTION OF MEETING CHAIR** – Elect Chairperson for this meeting only.
6. **PUBLIC COMMENT** - Communications from the public for items not on the agenda.
7. **CONSENT CALENDAR—ACTION ITEMS**
  - a. Minutes: November 13, 2018
  - b. Findings of Fact and Conclusions of Law for the Neeley Garage
8. **COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE**

[Discussion of Sign Permit Application from Cookbook Restaurant.](#)
9. **PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS**
  - a. **ACTION - Hemingway School**: 920 Campus Way (Hemingway School Sub, Lot 1, Block 1) Commission will consider and take action on a request for a Plat Amendment by the City of Ketchum and the Blaine County School District.
  - b. **ACTION – Two Six Zero Mixed-Use Building**: 260 N. First Ave. (AM Lot 5A, Block 38) The Commission will consider and take action on a Pre-Design Review Application for a three-story commercial/multi-residential structure.
  - c. **ACTION – Cherp Conditional Use Permit**: 270 Northwood Way, Unit 201 (Redfish Light Industrial Condo Unit 201) The Commission will consider and take action on an application for a Conditional Use Permit submitted by Mia L Cherp for the proposed conversion of existing condominium unit #201 to a residential use in the Redfish Light Industrial Condominiums, located in the Light Industrial Number 2 (LI-2) Zoning District. *Staff recommends continuance to January 14, 2019.*
10. **STAFF REPORTS & CITY COUNCIL MEETING UPDATE**
11. **ADJOURNMENT**

*Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.*



# Planning and Zoning

## Regular Meeting

~ Minutes ~

480 East Avenue North  
Ketchum, ID 83340  
<http://ketchumidaho.org/>

Maureen Puddicombe  
208-726-7801

Tuesday, November 13, 2018

5:30 PM

Ketchum City Hall

1. **5:00 PM - SITE VISIT – Neeley Detached Garage—420 N Canyon Run Blvd**
2. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**

The meeting was called to order by Vice-Chair Neil Morrow.

Attendee Name	Title	Status	Arrived
Neil Morrow	Vice-Chair	Present	
Tim Carter	Commissioner	Present	
Jennifer Cosgrove	Commissioner	Present	
Matthew Mead	Commissioner	Present	
Kurt Eggers	Commissioner	Present	

3. **ACTION ITEM - ELECTION OF MEETING CHAIR – Elect Chairperson for this meeting only.**

**Motion To:** Elect Vice-Chair Neil Morrow as acting chairperson for this meeting.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Kurt Eggers, Commissioner
<b>SECONDER:</b>	Mathew Mead, Commissioner
<b>AYES:</b>	Neil Morrow, Tim Carter, Jennifer Cosgrove, Matthew Mead, Kurt Eggers

4. **PUBLIC COMMENT - Communications from the public for items not on the agenda.**

Acting Chairperson Neil Morrow called for Public Comment.

No Comments were made.

Senior Planner Brittany Skelton introduced Jennifer Cosgrove, newly appointed commissioner.

5. **CONSENT CALENDAR—ACTION ITEMS**

- a. **ACTION – Meeting Dates for 2019:** Approval of regular meeting schedule for 2019.  
There were no objections to the meeting schedule for 2019.

**Motion to:** Approve Planning and Zoning Commission meeting dates for the year 2019.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Kurt Eggers, Commissioner
<b>SECONDER:</b>	Tim Carter, Commissioner
<b>AYES:</b>	Neil Morrow, Tim Carter, Jennifer Cosgrove, Matthew Mead, Kurt Eggers

- b. **ACTION**—Minutes: Approval of minutes for the meeting of October 8, 2018.

Commissioner Kurt Eggers noted the misspelling of a name.

**Motion To:** Approve minutes of October 8, 2018 with edits as noted.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Kurt Eggers, Commissioner
<b>SECONDER:</b>	Mathew Mead, Commissioner
<b>AYES:</b>	Neil Morrow, Tim Carter, Jennifer Cosgrove, Matthew Mead, Kurt Eggers

- c. **ACTION**—Findings of Fact and Conclusions of Law: 420 Sage Rd Solar Energy Mountain Overlay Design Review
- d. **ACTION**--Findings of Fact and Conclusions of Law: Kingen Variance Request

**Motion To:** Approve Findings of Fact and Conclusions of Law for the 420 Sage Road Solar Energy Project and the Kingen Variance Request.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Tim Carter, Commissioner
<b>SECONDER:</b>	Kurt Eggers, Commissioner
<b>AYES:</b>	Neil Morrow, Tim Carter, Jennifer Cosgrove, Matthew Mead, Kurt Eggers

## 6. PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

- a. **ACTION** - Stevens Subdivision: 314 River Run Dr. (Sun Valley Sub. 1st Addition, Lot 19) The Commission will consider and take action on a final plat subdivision application by Travis and Haley Stevens to subdivide 314 River Run Drive, an existing 22,704 square foot lot containing a single family home, located in the Limited Residential (LR) zone, into two lots – proposed Lot 19A and proposed Lot 19B.

Overview of the Stevens Subdivision was presented by Senior Planner Brittany Skelton.

Commissioner Kurt Eggers commented on the fire easement of less than 20 feet. He felt he could not approve the subdivision with the limited fire access. Senior Planner Brittany Skelton gave an overview of the Fire Marshall's comments indicating that Ketchum's Code is more restrictive than the State Code and while this project does not meet Ketchum's Code it does comply with the State code.

Commissioner Matthew Mead deferred to the Fire Marshall and Vice-Chair Neil Morrow agreed.

**Motion To:** Approve the Stevens Subdivision Final Plat Application with Conditions 1-7 and authorize acting Chair-person Neil Morrow to sign the Findings of Fact and Conclusion of Law for this application.

<b>RESULT:</b>	<b>ADOPTED [4 TO 1]</b>
<b>MOVER:</b>	Matthew Mead, Commissioner
<b>SECONDER:</b>	Tim Carter, Commissioner
<b>AYES:</b>	Neil Morrow, Tim Carter, Jennifer Cosgrove, Matthew Mead
<b>NAYS:</b>	Kurt Eggers

- b. **ACTION - Argyros Performing Arts Center Sign Variance:** 120 S. Main St. (Lot 4A, Block 1). Continued from September 10, October 8, 2018. The Commission will consider and take action on a request for a variance by Timothy Mott for an outdoor digital poster for the Argyros Performing Arts Center.

Planner Abby Riven presented the background for the requested sign variance. She indicated Staff recommends approval of this application.

The Commission discussed the operating features of the sign as to the brightness, Dark Sky compatibility, hours of operation, and the frequency of the changing images on the sign as it related to driver distraction.

Commissioner Kurt Eggers asked why the changing sign was needed. Mott replied it would inform the public as to the multiple current and future events. He explained it was more in keeping with the modern architecture of the building.

Eggers thought the Variance was a questionable vehicle for the sign approval. Although he liked the sign, it is not currently allowed by the Ketchum Sign Ordinance. Commissioner Mead felt the same, questioning the sign as an "undue hardship" to the theatre. Commissioner Jen Cosgrove thought this is a way of the future and the Commission would have the opportunity to amend the code to accommodate such updated signage while preserving Ketchum's small-town feel. Commissioner Tim Carter liked the lighted sign but questioned the Variance. Commissioner Cosgrove thought the acceptable parameters should be written into the code and not left to a Variance which could be open to interpretation.

Vice-Chair Neil Morrow opened the floor to public comment. No comment was given.

The Commission discussed the feasibility of amending the Zoning Code to address the changing sign technology. Commissioner Cosgrove also questioned the motion of the sign. Commissioner Mead also objected to the lighted and moving sign. He was concerned with creating a precedent.

Senior Planner Skelton informed the Commission that this is a site-specific application for this sign for this specific type of business. Commissioner Carter was in favor of granting a temporary approval, but Commissioner Eggers was opposed to approving it when it is not allowed by the code. Commissioner Cosgrove supported approaching it as a code amendment rather than a variance. Chair Morrow asked if the sign could be placed within the building. Tim Mott, of the Argyros, commented the sign could not be placed in the lobby area. He noted there are several other lighted signs in town with much brighter lights.

Commissioner Morrow proposed a provisional approval of a specific time period. Tim Mott stated that if a temporary approval was granted, and in a year's time it was deemed inappropriate, he would be willing to remove the sign.

The Commission asked about the procedure for a Code Text Amendment and Planner Skelton defined the process. Commissioner Carter thought the Code should be amended with this being the test case. Commissioner Morrow favored the amendment process, as opposed to the Variance, including the time conditions discussed. Commissioner Mead wanted to add Condition 7 as to the time period of the conditional approval.

**Motion To:** Approve the Variance for the Argyros Theatre sign with Conditions 1 and 2, Condition 3 to add a 30-second minimum for the changing of each poster, Conditions 4-6 as written, and the addition of Condition 7 for the temporary approval for a period of one year

from the date of installation, to be re-evaluated at that time to comply with any revision of the Sign Ordinance. If the sign is not in compliance with the Code at that time, Argyros Theatre agrees to discontinue the use of the sign. In the event of public complaint, Staff will work with the Applicant to resolve that complaint.

<b>RESULT:</b>	<b>ADOPTED [4 TO 1]</b>
<b>MOVER:</b>	Tim Carter, Commissioner
<b>SECONDER:</b>	Jennifer Cosgrove, Commissioner
<b>AYES:</b>	Morrow, Carter, Cosgrove, Eggers
<b>NAYS:</b>	Mead

- c. **ACTION** - 100 Northwood Way CUP Amendment: 100 Northwood Way (Lot 9, Northwood Light Industrial) The Commission will consider and take action on an application to amend an existing Conditional Use Permit to allow three new residential units in a proposed mixed-use building at 100 Northwood Way (Northwood Light Industrial Subdivision: Lot 9) in the Light Industrial 2 (LI-2) Zoning District.

Planner Abby Rivin gave the background for the Conditional Use Permit for an additional residential unit on the second floor of a mixed-use building.

Commissioner Matthew Mead asked about the parking provided for this project. Planner Rivin replied the parking meets the current regulation. Commissioner Eggers asked if there were any changes to the footprint of the building. Rivin replied that the ground floor is unchanged. The original second floor deck would now be enclosed as a residential unit. Architect for the project, Michael Barker, clarified the parking area and number of parking spaces.

Chair Morrow opened the floor for Public Comment. No comments were made.

**Motion To:** Approve the proposed Amendment to the 100 Northwood Way Conditional Use Permit finding that the application meets the standards for approval and authorize the Acting Chair Neil Morrow to sign the Findings of Fact.

<b>RESULT:</b>	<b>ADOPTED [ 4 TO 0 ]</b>
<b>MOVER:</b>	Matthew Mead, Commissioner
<b>SECONDER:</b>	Tim Carter, Commissioner
<b>AYES:</b>	Morrow, Carter, Mead, Eggers
<b>ABSTAIN:</b>	Cosgrove

- d. **ACTION** - Neeley Detached Garage: 420 N. Canyon Run Dr. (Lot 33A Sun Valley Subdivision, Ketchum Townsite) The Commission will consider and take action on a Design Review Application for a proposed detached garage associated with an existing single-family residence. 964 sq. ft. of the proposed garage is below grade and encroaches into the required 20 ft setback to the rear property line.

Planner Abby Rivin gave the Design Review for the below grade structure. Staff recommended approval of the project.

There were no questions from the Commission.

No Public Comments were made.

**Motion To:** Approve the Design Review for the Neeley Detached Garage with the added condition that all exterior and landscape lighting be Dark Skies compliant.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Kurt Eggers, Commissioner
<b>SECONDER:</b>	Tim Carter, Commissioner
<b>AYES:</b>	Morrow, Carter, Cosgrove, Mead, Eggers

## 8. STAFF REPORTS & CITY COUNCIL MEETING UPDATE

Senior Planner Brittany Skelton noted there has not been the usual winter slow-down in applications. The following projects are currently under review:

1. Pre-Application Design Review for the Auberge Resort employee housing project.
2. Pre-Application Design Review for 260 1<sup>st</sup> Ave. Mixed Use Building.
3. Pre-Application Design Review for 760 Washington Ave.
4. Potential 2 lot subdivision at the end of Warm Springs.
5. Re-Plat of Hemingway School property.
6. 320 Leadville Prelim Plat.
7. Cherp Condo CUP in the Redfish Building.
8. Pre-Application Design Review for 316 Sage Road for a single family residence in the Mountain Overlay
9. Subdivision of a residential lot in the Avalanche Zone

## 9. Commission reports and ex parte discussion disclosure

No Comments were made

## 10. ADJOURNMENT

**Motion To:** Adjourn

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Kurt Eggers, Commissioner
<b>SECONDER:</b>	Tim Carter, Commissioner
<b>AYES:</b>	Morrow, Carter, Cosgrove, Mead, Eggers

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Neil Morrow  
Acting Chairperson



City of Ketchum  
Planning & Building

IN RE:	)	
	)	
Neeley Detached Garage	)	
Below Grade Structure Encroachment	)	
Design Review	)	<b>KETCHUM PLANNING AND ZONING COMMISSION</b>
Date: December 10, 2018	)	<b>FINDINGS OF FACT, CONCLUSIONS OF LAW AND</b>
	)	<b>DECISION</b>
File Number: #18-125	)	

**BACKGROUND FACTS**

**PROJECT:** Neeley Detached Garage

**FILE NUMBER:** P18-125

**REPRESENTATIVE:** Michael Blash, AIA

**OWNER:** Jonathan Neeley

**REQUEST:** Design Review approval for the construction of a new detached garage. 964 sq ft of the proposed garage is below grade and encroaches into the 20 ft setback from the rear property line required in the Limited Residential (LR) Zoning District.

**LOCATION:** 420 N Canyon Run Blvd (Sun Valley Subdivision: Lot 33A)

**ZONING:** Limited Residential (LR)

**OVERLAY:** Floodplain Management Overlay (FP): Floodplain Sub-district

**NOTICE:** Notice was mailed to adjacent property owners and published in the Idaho Mountain Express on October 24<sup>th</sup>, 2018.

**BACKGROUND**

The applicant is proposing to construct a detached garage at 420 N Canyon Run Blvd in the Limited Residential (LR) Zoning District. 964 sq ft of the proposed garage is below grade and encroaches into the 20 ft setback from the rear property line required in the LR Zone. On July 16, 2018, the Ketchum City Council approved Ordinance No. 1186 establishing standards of evaluation for the encroachment of below grade structures into required setbacks. The standards of evaluation ensure that the encroachment will not conflict with sensitive soils, riparian areas adjacent to rivers and creeks, drainage patterns, and required easements. All below grade structures proposed to encroach into setbacks required for above grade structures must be reviewed by the Planning and Zoning Commission, ensuring a public process and heightened review. The proposed detached garage is the first Design Review application to utilize the amendments introduced with Ordinance No. 1186.

The property, Lot 33A of Sun Valley Subdivision, is currently developed with an existing single-family residence and a detached structure that contains both an accessory dwelling unit (ADU) and a garage. Detached garages

are permitted as an accessory use to the primary use of single-family residences in the LR Zone. The existing development on the site is accessed from both East and North Canyon Run Boulevards and a 30 ft easement for E Canyon Run Blvd traverses the property. The detached garage will be accessed from an existing paver driveway that currently serves as access to both the single-family residence and detached garage/ADU. As indicated in Exhibit 1, a small area at the east corner of the irregularly shaped lot is located within the Special Flood Hazard Area. Sited to the northwest, no portion of the proposed detached garage encroaches into the floodplain.

**Exhibit 1: 420 N Canyon Run Blvd & Floodplain**

Ketchum Information Map



Made by: Blaine County GIS

**ANALYSIS**

The Design Review application for the detached garage as the design complies with the dimensional standards in the LR Zone and all standards for the encroachment of below grade structures into required setbacks. A complete analysis of this recommendation is contained in Tables 1-5.

**COMPREHENSIVE PLAN ANALYSIS**

The proposed detached garage is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan. The below grade structure will not impact the image or character of the above grade built environment or view of surrounding mountains and natural features. The below grade structure supports compatible residential infill and relieves pressure on the subject lot for above grade bulk and scale.

**Table 1: Comprehensive Plan Analysis**

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
<b>Future Land Use</b>	
<b>Low Density Residential</b>	<b>Primary Uses:</b> Single-family and duplex residences and accessory units.



	<p><b>Secondary Uses:</b> Supporting and complementary uses, including open space and recreation, agriculture/gardens, schools, places of worship, and other public uses. Senior housing facilities are also appropriate if compatible with the surrounding areas.</p> <p>The intent is for the average density of a residential area in this category is not to exceed about five units per acre.</p> <p><b>Characteristics and Location:</b> New residences should be within neighborhoods that have pedestrian-oriented, connected local streets and sidewalks. New housing should also have access to parks, open space, schools, and other civic activities. Neighborhoods within this category should be accessible via local streets with access to collector streets for circulation.</p>
<b>Community Design and Neighborhoods</b>	
<b>Goal CD-1</b>	Our community will preserve its small-town character and the distinct image of neighborhoods and districts.
<b>Policy CD-1.3 Compatible Infill and Redevelopment Projects</b>	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
<b>Policy CD-2.4 Development Designed for Natural Feature Preservation</b>	Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.

**Table 2: City Department Comments**

City Department Comments				
Compliant			City Code	City Department Comments
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>Fire Department:</b>  <i>The construction of the detached garage must comply with the 2012 International Fire and all amendments contained in Chapter 15.08 of Ketchum Municipal Code.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>Streets Department:</b>  <i>No changes are proposed to the existing driveway access from E and N Canyon Run Blvds.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>Utilities:</b>  <i>Below grade structures are not permitted to encroach into utility easements.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>Building:</b>  <i>The project must comply with 2012 International Building Code and Title 15 of Ketchum Municipal Code. The Building Code addresses issues such as fire wall separation, light and ventilation requirements for habitable space, and egress/rescue openings.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>Planning and Zoning:</b>  <i>Comments are denoted throughout the Tables 3-5.</i></p>

**FINDINGS OF FACT**

**Table 3: Zoning Standards Analysis**

Compliance with Zoning Standards				
Compliant			Standards and <i>Commission Findings</i>	
Yes	No	N/A	Guideline	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Lot Area</b>
			<b>Commission Findings</b>	<i>Required: 9,000 square feet minimum. Existing Lot 33A: 53,535sq ft (1.236 acre per plat)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Building Coverage</b>
			<b>Commission Findings</b>	<i>Permitted: 35% Existing: 14% Proposed: 17% (9,058 sq ft building coverage/53,535 sq ft lot area)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Building Setbacks</b>
			<b>Commission Findings</b>	<i>Minimum: Front: 15' Side: &gt; of 1' for every 2' in building height, or 10' Rear: 20' Below grade structures may encroach into required setbacks subject to KMC §17.128.020.K. Proposed: The exposed portion of the detached garage complies with the 20 ft required setback from the rear property line in the LR Zone. As indicated on Sheet A-101 of the Design Review submittal, the below grade portion of the detached garage is setback 2 ft from the property line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Building Height</b>
			<b>Commission Findings</b>	<i>Maximum Permitted: 35' Proposed: The exposed portion of the detached garage is 14'-6".</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.125.030.H	<b>Curb Cut</b>
			<b>Commission Findings</b>	<i>Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: Access to off street parking remains unchanged with this proposal. The detached garage will be accessed from the existing paver driveway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A.2 & 17.125.040	<b>Parking Spaces</b>
			<b>Commission Findings</b>	<i>Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: Dwelling, one-family: 2 spaces per dwelling unit Proposed: The detached garage will contain 5 total parking stalls as indicated on Sheet A-102 of the Design Review submittal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.020 & 17.08.020	<b>Zoning Matrix &amp; Definitions</b>
			<b>Commission Findings</b>	<i>17.18.020: Limited Residential District: The purpose of the LR limited residential district is to identify and preserve residential properties, to prevent overcrowding of land in order to preserve natural features and openness and to encourage the development of low density areas suited for single-family residential purposes.  17.08.020: Terms Defined SETBACK: The minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above grade or below grade building or structure.</i>

**Table 4: Standards for Encroachments of Below Grade Structures into Required Setbacks**

17.128.030.K: Encroachments of Below Grade Structures into Required Setbacks				
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
☒	☐	☐	17.128.020.K (1)	<b>Proposed encroachments shall receive design review approval from the Planning and Zoning Commission.</b>
			<b>Commission Findings</b>	<i>The applicant has submitted a Design Review application for review and approval by the Planning &amp; Zoning Commission.</i>
☒	☐	☐	17.128.020.K (2)	<b>Below grade encroachments into the riparian setback are not permitted</b>
			<b>Commission Findings</b>	<i>Lot 33A does not contain riparian area. A small portion at the east corner of the irregularly shaped lot contains Special Flood Hazard Area. No portion of the proposed detached garage or the existing development encroaches into the floodplain.</i>
☒	☐	☐	17.128.020.K (3)	<b>Construction activity shall not occur on adjacent properties.</b>
			<b>Commission Findings</b>	<i>Construction activity shall not occur on adjacent properties. The applicant has indicated (Sheet A-101) that a construction fence will be placed along the property line and surround the limits of disturbance. Steel shoring will be installed for bank stabilization. The applicant shall submit a construction management plan indicating material storage and contractor parking to be reviewed and approved by the Planning &amp; Building Department prior to issuance of a Building Permit for the project.</i>
☒	☐	☐	17.128.020.K (4)	<b>Encroachment of below grade structures into required setbacks shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</b>
			<b>Commission Findings</b>	<i>The detached garage does not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of Title 17 of Ketchum Municipal Code or other regulating codes, or site features concerning health, safety, and welfare.</i>  <i>The subdivision plat has been included as Attachment C to the Staff Report. A 30 ft access easement (Instrument No. 133547) for E Canyon Run Drive is sited at the east portion of the lot. Sited to the northwest of the lot, the detached garage does not conflict with the easement.</i>  <i>Steel shoring will be utilized for bank stabilization and drainage is proposed to be controlled and maintained through French drains (Sheet A-301).</i>
☒	☐	☐	17.128.020.K (5)	<b>Egress openings required by adopted International Code Council Codes shall not encroach in required setbacks</b>
			<b>Commission Findings</b>	<i>The applicant has not indicated any egress openings for the below grade portion of the garage that extend into the setback.</i>
☒	☐	☐	17.128.020.K (6)	<b>Below grade encroachments into required setbacks shall be located entirely below natural, existing, or finished grade, whichever is lowest.</b>
			<b>Commission Findings</b>	<i>As indicated on Sheet A-201 of the Design Review submittal drawings, the below grade encroachment into the required setback is proposed to be located entirely below finished grade. The Grading Plan on Sheet L-2 of the submittal also indicates that the below grade encroachment will be entirely below finished grade.</i>
☒	☐	☐	17.128.020.K (7)	<b>The ground above below grade encroachments within required setbacks that is not otherwise covered by permitted decks, fences, hedges and walls shall be suitably landscaped in keeping with the general character of the surrounding neighborhood or as otherwise required by this Code.</b>
			<b>Commission Findings</b>	<i>The landscape plan is included on Sheet L-1, L-2, L-3 of the Design Review submittal drawings. The proposed landscaping includes evergreen trees, deciduous trees, groupings of shrubs, planting beds filled with perennials and groundcovers, as well as</i>

				<i>natural grasses. Three Ginnala Maples, shrubs, and natural grasses are proposed to be planted above the below grade portion of the garage. The applicant has proposed a sod roof on the above grade portion of the garage. Sheet A-101 indicates that irrigation will be maintained for adjacent landscaping. The proposed landscape plan including the extension of the existing retaining walls complements the design of the detached garage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.128.020.K (8)	<b>Below grade encroachments into required setbacks shall not interfere with drainage.</b> <b>a. Required drainage plans shall address the ability of drainage to be managed on the subject property with respect to underground encroachments into required setbacks.</b>
			<b>Commission Findings</b>	<i>The drainage plan is indicated on Sheet L-2 and A-301 of the Design Review submittal drawings. The applicant has proposed one (1) 24" drywell and four (4) 12" catch basins in order to control and maintain drainage on site. A series of 6" French drains are proposed to be installed surrounding the detached garage.</i>

**Table 5: Design Review Standards for all projects**

Design Review Requirements IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Commission Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(1) Streets	<b>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</b>
			<b>Commission Findings</b>	<i>N/A. Driveway accesses are existing from N Canyon Run Blvd and E Canyon Run Blvd.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	<b>All street designs shall be approved by the City Engineer.</b>
			<b>Commission Findings</b>	<i>N/A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	<b>All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.</b>
			<b>Commission Findings</b>	<i>N/A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	<b>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</b>
			<b>Commission Findings</b>	<i>N/A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	<b>Sidewalks may be waived if one of the following criteria is met:</b> <ul style="list-style-type: none"> <li>a. The project comprises an addition of less than 250 square feet of conditioned space.</li> <li>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</li> </ul>
			<b>Commission Findings</b>	<i>N/A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<b>Commission Findings</b>	<i>N/A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			<b>Commission Findings</b>	<i>N/A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and</b>

				not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<b>Commission Findings</b>	N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	<b>All storm water shall be retained on site.</b>
			<b>Commission Findings</b>	All storm water shall be retained on site. As indicated on Sheet L-2, storm water will drain to one (1) 24" drywell and four (4) 12" catch basins. All drainage will be collected on site and no storm water will be directed to neighboring properties.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(C)(2)	<b>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</b>
			<b>Commission Findings</b>	The detached garage is not located adjacent to any public or private street. The drainage improvements proposed to be constructed are equal to the limits of disturbance as indicated on Sheet L-2.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(C)(3)	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			<b>Commission Findings</b>	Additional drainage improvements have not been recommended at this stage of the project design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	<b>Drainage facilities shall be constructed per City standards.</b>
			<b>Commission Findings</b>	The proposed drainage treatment satisfies this requirement. See above Staff comment for Ketchum City Code §17.96.060(C)(1).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			<b>Commission Findings</b>	The applicant is aware of this requirement and all necessary utilities shall be improved and installed at the sole expense of the applicant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			<b>Commission Findings</b>	All utilities required to serve the project shall be underground.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(D)(3)	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			<b>Commission Findings</b>	N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<b>Commission Findings</b>	All siding, trim, finishes, and colors of the exposed portions of the detached garage are proposed to match the existing single-family residence (Sheet A-201).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<b>Commission Findings</b>	N/A. There are no identified landmarks on the property.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	<b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b>
			<b>Commission Findings</b>	N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	<b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b>
			<b>Commission Findings</b>	The entrance to the garage door will be accessed off of the existing driveway and is clearly defined. The applicant has proposed a landing adjacent to the garage and steps that lead to the single-family residence.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	<b>The building character shall be clearly defined by use of architectural features.</b>
			<b>Commission Findings</b>	<i>While most of the structure is below grade, the exposed portion of the garage utilizes materials and colors that complement the single-family residence. The applicant has proposed connecting the detached garage to adjacent retaining walls, which reduces the appearance of bulk and flatness.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<b>Commission Findings</b>	<i>The proposed materials and natural colors are compatible with the existing residence and adjacent landscape. No signing is proposed with the detached garage project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>
			<b>Commission Findings</b>	<i>The detached is designed to complement and provide access to the principal building on the site. All colors and materials are proposed to match the existing single-family residence. The extension of the existing retaining walls provide visual interest and definition to the front façade. The proposed plantings minimize any visual impact associated with the detached garage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
			<b>Commission Findings</b>	<i>The below grade encroachment relieves pressure on the lot for the above grade bulk and scale of the existing single-family residence.. The retaining walls adjacent to the exposed garage door provide undulation and relief.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(6)	<b>Building(s) shall orient towards their primary street frontage.</b>
			<b>Commission Findings</b>	<i>N/A. The detached garage will be accessed from the existing driveway.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<b>Commission Findings</b>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<b>Commission Findings</b>	<i>The design of the flat roof, which is a sod roof system over a 60 ml membrane and sloped foam, will sufficiently protect pedestrians accessing the garage through the adjacent landing. As indicated on the Sheet L-2, the proposed grading will prevent snow from sliding onto the adjacent property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<b>Commission Findings</b>	<i>The detached garage is proposed to be accessed from the existing driveway. The applicant has proposed landscape steps leading to the existing single-family residence as indicated on Sheet A-101 of the Design Review submittal drawings.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			<b>Commission Findings</b>	<i>N/A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(3)	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<b>Commission Findings</b>	<i>N/A. Access remains unchanged with this proposal.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(4)	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</b>
			<b>Commission Findings</b>	<i>N/A.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(5)	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			<b>Commission Findings</b>	<i>N/A as access for emergency vehicles, snowplows, and garbage trucks remains unchanged with this proposal.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(1)	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			<b>Commission Findings</b>	<i>N/A as no change to existing snow storage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(2)	<b>Snow storage areas shall be provided on-site.</b>
			<b>Commission Findings</b>	<i>See above Staff comment for Ketchum City Code §17.96.060(H)(1).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(3)	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.</b>
			<b>Commission Findings</b>	<i>See above Staff comment for Ketchum City Code §17.96.060(H)(1).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(4)	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<b>Commission Findings</b>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	<b>Landscaping is required for all projects.</b>
			<b>Commission Findings</b>	<i>The landscape plan is included on Sheet L-1, L-2, L-3 of the Design Review submittal drawings. The proposed landscaping includes evergreen trees, deciduous trees, groupings of shrubs, planting beds filled with perennials and groundcovers, as well as natural grasses. Three Ginnala Maples, shrubs, and natural grasses are proposed to be planted above the below grade portion of the garage. The applicant has proposed a sod roof on the above grade portion of the garage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<b>Commission Findings</b>	<i>See above Staff comment for Ketchum City Code §17.96.060(I)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<b>Commission Findings</b>	<i>See above Staff comment for Ketchum City Code §17.96.060(I)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b>
			<b>Commission Findings</b>	<i>See above Staff comment for Ketchum City Code §17.96.060(I)(1).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	<b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b>
			<b>Commission Findings</b>	<i>N/A.</i>

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning code, Title 17;
3. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Code Title 17;
4. The project **does** meet the standards of approval under Chapter 17.96 and Chapter 17.128 of Zoning Code Title 17;
5. The City of Ketchum Planning Department provided adequate notice for the review of this application;

### DECISION

**THEREFORE**, the Ketchum Planning and Zoning Commission **approves** this Design Review application this Tuesday, November 13<sup>th</sup>, 2018 subject to the following conditions:

1. All governing ordinances pertinent to the Fire Department, Building Department, Utilities Department, Street Department and Ketchum City Engineer shall be met prior to Certificate of Occupancy;
2. Design review approval shall expire one (1) year from the date of the signature of the findings of fact, conclusions of law & decision, unless an extension is requested and granted per Chapter 17.96, Ketchum Municipal Code;
3. Design review elements shall be completed prior to final inspection/occupancy;
4. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. The applicant shall submit a final revised plan for the official Planning Division files. Building Permit plans must conform to the approved mountain overlay design review plans unless otherwise approved in writing by the Commission or Planning Department. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
5. Construction fencing at the limits of disturbance shall be located on the site as approved by the Planning Department prior to any excavation or earthwork;
6. All existing and new exterior lighting must comply with City Code, Chapter 17.132 Dark Skies.
7. Encroachment of below grade structures into required setbacks shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare;
8. Egress openings required by adopted International Code Council Codes shall not encroach in required setbacks; and
9. Below grade encroachments into required setbacks shall not interfere with drainage.

Findings of Fact **adopted** this 10<sup>th</sup> day of December, 2018.

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Neil Morrow  
Acting Chairperson  
Planning and Zoning Commission





## City of Ketchum

### STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION REGULAR MEETING OF DECEMBER 10, 2018

**PROJECT:** Cookbook Restaurant sign

**FILE NUMBER:** P18-146

**APPLICANT:** Peter Burke Smith

**REPRESENTATIVE:** Peter Burke Smith

**OWNER:** City of Ketchum

**REQUEST:** Approval to paint a text phrase on the roof of a building

**LOCATION:** 291 E. 6<sup>th</sup> Street  
(Ketchum Lot 4, Block 14)

**ZONING:** Community Core

**OVERLAY:** Subdistrict 2, Mixed Use

**NOTICE:** None required

**REVIEWER:** Maureen Puddicombe, Planning Technician and Brittany Skelton, Senior Planner

#### BACKGROUND

Signs are regulated by Chapter 17.124, Signage, of the zoning code. Approval or denial of signs is an administrative act and staff is considering approval of this sign permit request. However, due to the unique nature of the sign, staff is bringing the application to the Planning and Zoning Commission so that the Commission may review the application and discuss the points raised in the report and anything additional that the Commission finds relevant. It is common practice for staff to share items that are typically decided administratively with the Commission for informal review and discussion when the subject item is not clearly regulated by the zoning code and staff is making an interpretative decision.

Applicant Peter Burke Smith has requested to paint the phrase "Eat. Drink. Be Nice." on the roof of a building where he and his wife, Vita, are opening a new restaurant named Cookbook. No structural alterations will be made to the roof (that would increase the height of the roof, create a projection above the roof, or other alteration); the phrase will be painted directly on the surface of the roof. The building is located at the intersection of Warm Springs Road and East 6<sup>th</sup> Street, adjacent to the east of the "fork in the road" sculpture and split of Warm Springs Road and Main Street. The building is located below the grade of Warm Springs

Road and the painted phrase will be visible to motorists and pedestrians traveling northbound on Main Street and Warm Springs Road. The phrase will only be visible during the day because there will be no exterior lights directed at the text to make it visible at night.



**Figure 1.**  
**Location, 291 E. 6<sup>th</sup> Street**



**Figure 2.**  
**View of 291 E. 6<sup>th</sup> Street from Warm Springs Road/Main Street split**

The request to paint the phrase on the top of this building pays homage to the iconic Pioneer Cabin, which is renowned for the phrase “the higher you get, the higher you get” that is painted on its roof.



**Figure3. Pioneer Cabin**  
Image sourced from [www.alltrails.com](http://www.alltrails.com)

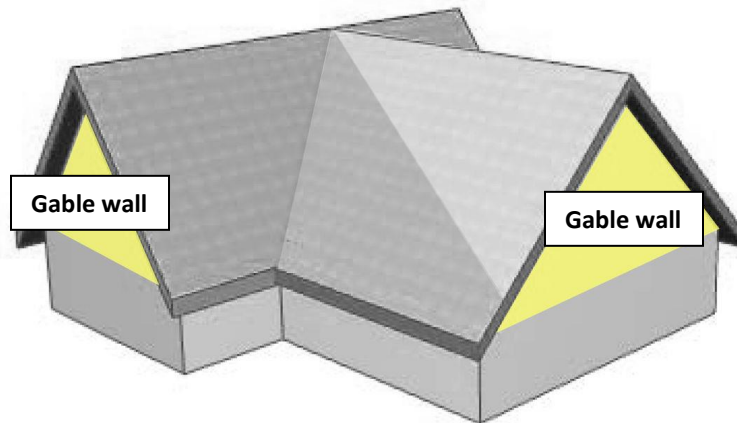


**Figure 4.**  
**Concept for applicant’s proposed text; letters to scale.**

#### ANALYSIS

The purpose and intent of the sign code is to maintain visual attractiveness while allowing for flexibility and creativity of design (§17.127.010). Ketchum Municipal Code D.4 prohibits roof signs, except historic signs or replicas of historic signs as allowed by the title (which permits the sign atop The Casino to remain in place, for example). Absent from the zoning code is a definition of the term “roof sign.” However, the intent of the prohibition of roof signs is largely due to a desire to prohibit billboards and other signs from being placed atop of buildings, obscuring views of the mountains and horizon. For example, the regulations for marquee and wall signs found in Section 17.127.050 state that the signs “shall not extend above the lowest portion of a flat roof, the top of a parapet wall, or above the eave line/fascia of any roof type,” which ensures these sign types will not project above the rooflines. A footnote in the sign ordinance does however allow wall signs to be

“mounted or painted on the gable wall as long as the top of the sign does not extend above the eaves line.” In the illustration below a wall sign could be painted on the gable wall.



**Figure 5.**  
**Gable wall diagram**

Another interpretation of the proposal is that it constitutes public art. Because the applicant’s request is similar in design to the phrase on Pioneer Cabin, and because of the similarities between the two structures – both are characterized by low-pitch grey metal roofs, single-story horizontal masses, and historic age (subject building constructed 1930, Pioneer Cabin constructed 1937) – one could interpret the proposal as homage art rather than a sign. Chapter 17.96 of the zoning code, Design Review, exempts public art from design review regulation.

However, erring conservatively, staff recommends reviewing and approving the proposal as a sign. Category or type of sign aside, the proposal is 16.6 square feet and conforms with the size regulations found in the zoning code. The zoning code permits 16.6 square feet of signage for the subject property on this façade, based on the calculation 50 linear feet divided by 3.

#### RECOMMENDATION

Staff recommends that Commission discuss the sign permit application and provide informal feedback to staff.

Approval of sign permits is an administrative decision; therefore, a recommendation to approve, approve with conditions or modifications, or deny the application is not necessary.

#### Attachments

- A – Application cover sheet
- B – Photo rendering
- C – Dimensioned drawing



## City of Ketchum

December 10, 2018

Ketchum Planning & Zoning Commission  
City of Ketchum  
Ketchum, Idaho

**Recommendation to hold a public hearing and approve the  
Hemingway School Subdivision Amended 2018 plat, including the re-designation of instrument #131882  
and the vacation of certain ROW as noted herein**

Recommendation and Summary

Staff is recommending the Commission adopt the following three motions:

Move to recommend approval to the Ketchum City Council the following:

- (1) Vacation of rights-of-way, including portions of an alley in Block 31, an alley in Block 52, and portions of 9<sup>th</sup> and 10<sup>th</sup> Streets adjoining Hemingway School Subdivision Amended 1997 (collectively “Vacated ROW”) and Campus Way Road Easement Instrument #366600.
- (2) Amendment of the River Drive grant of right of way agreement recorded as Instrument #131882 from a road ROW to a non-vehicular and utility easement.
- (3) Creation of a new 2.99 acre Lot 1B (to be owned by BCSD) and new 15.62 acre Lot 2A (to be owned by Ketchum) Hemingway School Subdivision Amended 2018, wherein (a) the Vacated ROW, (b) Desnoyers Subdivision Lot 8A, (c) Lots 1 and 2 of Block 31 Ketchum Townsite, and (d) Lot 1A and 2 of Block 1 of Hemingway School Subdivision Amended 1997 are amended as shown in **Attachment A**.

The reasons for the recommendation are as follows. The City of Ketchum and BCSD have a long standing and very favorable working relationship. The proposed plat amendment forwards three goals that, in aggregate, benefit BCSD and the City alike. Three goals forwarded by this proposal are to:

- (1) Re-designate instrument #131882 from a road ROW easement to a bike path and utility easement. A memorandum of understanding allowing sheep usage of the re-designated easement is also anticipated.
- (2) Transfer ownership of the tennis courts to the City of Ketchum.
- (3) Transfer ownership of various parcels and un-vacated portions of alleys and roads to BCSD, particularly along the east edge of Hemingway School, to help facilitate the success of K-8 in Ketchum and BCSD’s STEAM program.

See Amended 2018 Hemingway School Subdivision plat in **Attachment A**, as well as the draft findings for the Vacated ROW and amended easement in **Attachment B** and lot line shift in **Attachment C**.

### Introduction and History

There are two lots in the Hemingway School Subdivision Plat as amended in 1997. See **Attachment D**. The two lots total 18.16 acres. The Blaine County School District (BCSD) owns Lot 1A (16.00 Acres) and the City of Ketchum owns Lot 2 (2.16 Acres).

Of note on the 1997 plat is a recorded easement (instrument #131882), which dates back to December 16, 1968 and gives to Ketchum a right of way (ROW) easement for a public road (River Drive). See **Attachment E**.

To accommodate re-designation of instrument #131882 from a road ROW easement to a bike path and utility easement, the City of Ketchum has begun to facilitate stakeholder meetings aimed at possibly re-purposing the upper softball field and shifting the lower softball field to the east. See **Attachment F** for a preliminary draft of the Hemingway School Atkinson Park Impact Study.

### Attachments

A – Hemingway School Subdivision Amended 2018

B – ROW Vacation & Amended Easement Findings (*draft*)

C – Lot Line Shift Findings (*draft*)

D - 1997 Hemingway School Subdivision Plat

E - 1968 River Drive ROW easement (#131882)

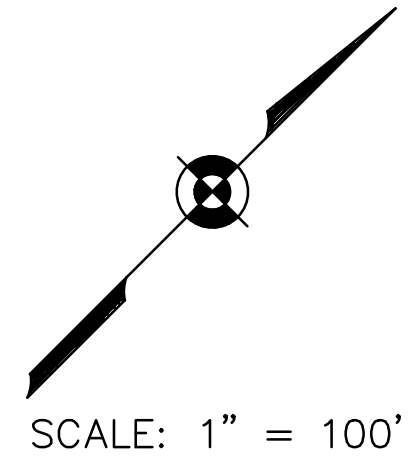
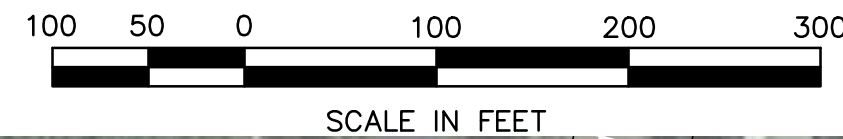
F - Hemingway School Atkinson Park Impact Study (*draft*)

**Attachment A**

# A PLAT SHOWING HEMINGWAY SCHOOL SUBDIVISION AMENDED 2018

WHEREIN DESNOYERS SUBD. AND VARIOUS RIGHTS-OF-WAY ARE VACATED AND INCORPORATED INTO HEMINGWAY SCHOOL SUBDIVISION  
AND THE LOT LINES BETWEEN LOTS 1A AND 2, BLOCK 1, HEMINGWAY SCHOOL SUBDIVISION AMENDED 1997 ARE SHIFTED  
SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

SEPTEMBER 2018





**Attachment B**

**IN RE:** )  
 )  
**Petition to Vacate** ) **KETCHUM PLANNING & ZONING COMMISSION**  
**City Rights of Way** ) **FINDINGS OF FACT, CONCLUSIONS OF LAW**  
 ) **AND DECISION**

**BACKGROUND FACTS**

**APPLICANTS:** City of Ketchum and the Blaine County School District (BCSD).

**REPRESENTATIVE:** Galena Engineering

**REQUEST:** Request to vacate city right-of-way (ROW), including portions of an alley in Block 31, an alley in Block 52, and portions of 9<sup>th</sup> and 10<sup>th</sup> Streets adjoining Hemingway School Subdivision Amended 1997 (collectively “Vacated ROW”) and Campus Way Road Easement Instrument #366600. Further, a request to amend the River Drive grant of ROW agreement Instrument # 131882 from a road ROW to a non-vehicular and utility easement.

**NOTICE:** All requirements of notice have been met. Legal notice was published in the Mountain Express, a newspaper of general circulation, on November 21 and November 28, 2018 and 2018. A notice of the public hearing regarding this matter was mailed by certified mail to property owners within 300 feet of the boundaries of the subject Vacated ROW on November 19, 2018.

**ZONING:** The subject area proposed for vacation is located in the Recreational Use (RU) and General Residential – Low Density Zone (GR-L) Districts.

**GENERAL FINDINGS OF FACT**

1. The applicant is petitioning the City of Ketchum to vacate city, including portions of an alley in Block 31, an alley in Block 52, and portions of 9<sup>th</sup> and 10<sup>th</sup> Streets adjoining Hemingway School Subdivision Amended 1997 (collectively “Vacated ROW”) and Campus Way Road Easement Instrument #366600. Further, There is an existing grant of ROW agreement affecting the western boundary of Lot 1A of Hemingway School Subdivision Amended 1997 that is proposed for modification from a road easement to a utility and non-vehicular easement.
2. The Planning and Zoning Commission conducted a public hearing on this application on December 10, 2018, and recommended approval to the City Council, subject to the proposed conditions below.
3. Based on title and survey work by Galena Engineering, there are utilities within subject ROWs, which will be duly noted within public easements on the final plat.

4. The Campus Way Road Easement (Instrument #366600) is no longer needed for legal access to Desnoyers Subdivision Lot 8A lot, which is being conveyed by Ketchum to BCSD and absorbed within the new Lot 1B of Hemingway School Subdivision Amended 2018.
5. Subject ROW Vacations complies with the Ketchum Comprehensive Plan, including the Core Community Value of helping to build “A Strong and Diverse Economy.” Notably, the transfer of ownership of various parcels and un-vacated portions of alleys and roads to BCSD, particularly along the east edge of Hemingway School, will help facilitate the success of K-8 in Ketchum and BCSD’s STEAM program. Another Core Value of Ketchum’s Comprehensive Plan is “Working as a Region” and “Coordinating with Schools is an identified policy (Policy CHW 3.1). Good schools are one of the keys to Ketchum’s success (Goal E-2). Subject ROW Vacations also embody Ketchum’s ongoing goal to be a High Performing Community, including “promoting ... strong schools” (Goal H1-2), “collaborating with public ... partners” (Goal HI-4), and being “a model for effective local governance” (Goal HI-5).

### **CONSIDERATIONS & RECOMMENDATION**

1. All public rights of way and lands are entrusted to the City for the good of the community and should be evaluated with a long-term perspective.
2. City staff has conducted site visits and, as noted, Galena Engineers has located all utilities on the property, which will be shown within public utility easements on the final plat.

### **PROCESS AND CRITERIA FOR REVIEW**

The Planning and Zoning Commission is a recommending body to the City Council on right of way vacations and has recommended approval of the current application. The Planning & Zoning Commission has conducted a duly-noticed public hearing on the matter. Title 16, Subdivision Ordinance, Ketchum Municipal Code offers the following for Vacations and Dedications:

#### **16.04.050: VACATIONS AND DEDICATIONS:**

- A. *Application: Any property owner desiring to vacate an existing public street, alley or easement right of way, or desiring to dedicate a street or alley right of way shall file an application with the administrator. Upon receipt of the completed application and other information reasonably required by the administrator, the date of acceptance of the application shall be affixed on the application. Thereafter, such application shall be placed upon the commission agenda for consideration at a regular meeting of the commission, and the procedures followed for such vacations shall comply with Idaho Code sections 50-1321, 50-1325 and 50-1306(A), including subsequent amendment or*

*codification.*

- B. *Commission Action: The commission shall consider the application and testimony of the applicant and such other information as may come before it with regard to the proposed vacation or dedication. The commission shall consider the interests of the adjacent property owners, public utilities, conformance of the proposal with the comprehensive plan and the future development of the neighborhood, and shall make its recommendations for accepting or rejecting such application. If dedication of a street is accepted, recommendations for improvements to be made prior to the acceptance shall be made by the commission.*
  
- C. *Council Action: In considering an application for vacation of an existing street, alley or easement right of way, the council shall establish a date for public hearing and give such notice as required by law. The council shall hear and consider the public testimony, applicant testimony, recommendations of the commission, and any other information as may be brought before the council. Whenever the council vacates an existing public street, the city shall provide adjacent property owners with a quitclaim deed for the vacated street as prescribed by law. Such vacation shall become effective upon delivery of such deed(s). When considering an application for dedication to the public of a street, alley or easement right of way, the council may require certain improvements be constructed or performance bond furnished prior to acceptance of the dedication. To complete the acceptance of any dedication, the council shall accept same by resolution or by approval of a final subdivision plat.*
  
- D. *Exemptions: The provisions of this section shall not apply to the widening of any street which is shown in the comprehensive plan or the dedication of non-vehicular easements to the city. (Ord. 316 § 5, 1979)*

Findings:

- 1. This application has been made by the owner of all properties abutting the public right-of-way proposed for vacation, and said request for vacation has been adequately noticed, per I.C. 50-1321.
  
- 2. Portions of the right of way considered for vacation include public utilities, which will be memorialized within public utility easements on the final plat.
  
- 3. The proposed ROW vacations to the alley in Block 31, the alley in Block 52, and portions of 9<sup>th</sup> and 10<sup>th</sup> Streets adjoining Hemingway School Subdivision Amended 1997 are found to be in the public interest. Further, the proposed amendment to the River Drive grant of ROW agreement Instrument #131882 from a road ROW to a non-vehicular and utility easement is also found to be in the public interest.

**CONCLUSIONS OF LAW**

- 1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code.

2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and subdivision ordinance, Title 16.
3. The City of Ketchum Planning Department provided adequate notice of the time, place and summary of the applicant's proposal to be heard by the City Council for review of this application.
4. The proposed vacation **does** meet the standards of approval under Idaho Code Section 50-311 and Ketchum Subdivision Code Title 16, Chapter 16.04.050, subject to conditions of approval.

### **DECISION**

**THEREFORE**, the Ketchum Planning & Zoning **recommends approval** to the Ketchum City Council the request of the City and BCSD to:

1. Amend the River Drive grant of ROW agreement Instrument #131882 from a road ROW to a non-vehicular and utility easement in a form to be approved by the Ketchum Attorney; and
2. Vacate city right-of-way including (a) Campus Way Road Easement Instrument #366600, (b) portions of an alley in Block 31, (c) an alley in Block 52, and (d) portions of 9<sup>th</sup> and 10<sup>th</sup> Streets adjoining Hemingway School Subdivision Amended 1997.

This approval is subject to the following conditions:

1. Based on title and survey work by Galena Engineering, there are utilities within subject ROWs, which shall be memorialized in public utility easements on the final plat prior to recordation.

Findings of Fact **adopted** this 10<sup>th</sup> day of December 2018.

---

Acting Planning & Zoning Commission Chair

**Attachment C**

**CITY OF KETCHUM**  
**TITLE 16, CHAPTER 16.04 SUBDIVISIONS**  
**FINDINGS OF FACT AND DECISION**

**Applicants:** City of Ketchum and the Blaine County School District (BCSD).

**File #18-154:** Readjustment of Lot Lines Adjacent and Including Hemingway School Subdivision Amended 1997. Subject application is located in the Recreational Use (RU) and General Residential – Low Density Zone (GR-L) Districts.

**Findings:**

1. Notices with 10-day comment period were sent to adjacent property owners on the November 19, 2018, informing them of an opportunity to comment on the application. No public comments were received prior to hearing.
2. The proposal complies with the definition of "readjustment of lot lines" in Title 16, Chapter 16.04.
3. There are two lots in the existing Hemingway School Subdivision Plat as amended in 1997. The two existing lots total 18.16 acres. The Blaine County School District (BCSD) owns Lot 1A (16.00 Acres) and the City of Ketchum owns Lot 2 (2.16 Acres).
4. The proposed Hemingway School Subdivision Amended 2018 results in a new 2.99 acre Lot 1B (to be owned by BCSD) and a new 15.62 acre Lot 2A (to be owned by Ketchum). The two new lots total 18.61 acres. The additional 0.45 acres associated with the Amended 2018 plat is the result of adding (a) the Vacated ROW, (b) Desnoyers Subdivision Lot 8A, and (c) Lots 1 and 2 of Block 31 Ketchum Townsite to the existing 1997 Hemingway School Subdivision plat.
5. The existing lot lines of Lots 1A and 2 will be moved to incorporate the 0.45 acres noted in 5(a)-(c) above. The new Lot 1B configuration will add the tennis courts to the existing City of Ketchum soccer and park & recreation building property. The new Lot 2A configuration will add the majority of the vacated roads and alleyways, as well as the Block 31 and Lot 8A to the school property to help facilitate possible future classroom additions to the east-side of Hemingway School.
6. All City and County requirements for final plat submittal, recordation, and signature shall be met.

**Decision:**

**THEREFORE**, the Ketchum Planning & Zoning **recommends for approval** to the Ketchum City Council the request of Ketchum/BCSD to: (1) reconfigure subject lots as depicted in the Hemingway School Subdivision Amended 2018 plat (Attachment A).

Findings of Fact **adopted** this 10<sup>th</sup> day of December 2018.

---

Acting Planning & Zoning Commission Chair

**Attachment D**

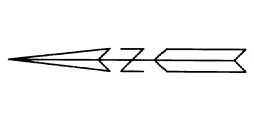


# HEMINGWAY SCHOOL SUBDIVISION AMENDED 1997

Wherein Vacated Sections of Second Avenue & Ninth Street and Block 69 are Added to the Hemingway School Subdivision to Create Lots 1A & 2  
 Located Within Section 13, T.4N., R.17E., B.M., City of Ketchum, Blaine County, Idaho

## AUGUST 1997

A Plat Showing



Scale: 1" = 100'  
 Scale in Feet

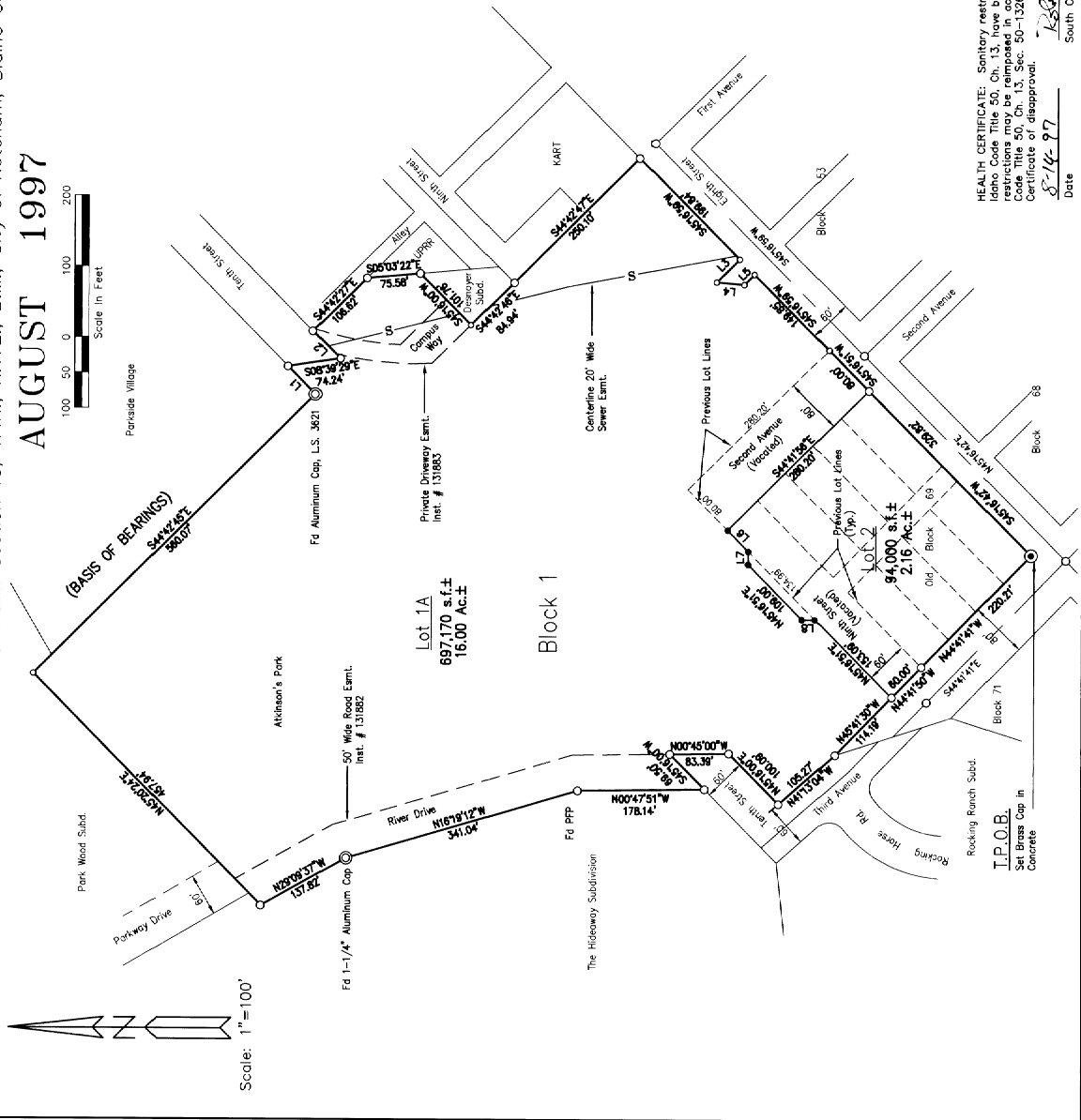
- Legend**
- Found Aluminum Cap
  - Found 1/2" Rebar
  - Found 5/8" Rebar
  - Set 1/2" Rebar, L.S. 3621
  - Set Brass Cap, L.S. 3621
  - Centerline 20' Public Sewer Line Easement
  - - - Easement, Width as Shown

**Notes:**

- A 10' wide public utility easement is reserved centered on all interior and adjacent to all exterior lot lines.

**Line Table**

LINE	DIRECTION	DISTANCE
L1	N45°29'48"E	55.37'
L2	N45°18'00"E	54.23'
L3	N44°59'33"W	45.78'
L4	S05°03'22"W	38.30'
L5	S44°12'48"E	20.97'
L6	S89°43'00"E	18.35'
L7	N00°18'51"E	18.35'



HEALTH CERTIFICATE: Sanitary restrictions as required by the Health Code, Ch. 13, have been satisfied. Sanitary restrictions may be enforced by the Health Department, Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

8-14-97  
 Robert W. E. Walker  
 South Central District Health Dept., ERS

Richard D. Faabry, L.S. 3621  
 Hemingway School Subdivision  
 Amended 1997  
 Galena Engineering, Inc.  
 Ketchum, Idaho  
 Sheet 1 of 2

Job No. 1318-85

**CERTIFICATE OF OWNERSHIP**

This is to certify that we, the undersigned, are the owners in fee simple of the following described parcel of land: A parcel of land located within Section 13, T.4N., R.17., B.M., City of Ketchum, Blaine County, Idaho, more particularly described as follows:  
Lot 1, Block 1, Hemingway School Subdivision and a parcel of land including Block 69, Original Townsite of Ketchum, the alley therein, all of Ninth Street Northwest of said Block 69 and all of Second Avenue Northeast of said Block 69, more particularly described as follows:  
Commencing at the Southerly most corner of said Block 69, which is the REAL POINT OF BEGINNING; Thence North 44°41'41" West 220.21 feet to the most Northwesterly corner of said Block 69; Thence North 44°41'50" West 60.00 feet to a Southerly corner of Lot 1, said Hemingway School Subdivision;  
Thence North 45°16'51" East 409.80 feet to an angle point on the Southerly boundary of Lot 1, Block 1, Hemingway School Subdivision;  
Thence South 44°41'56" East 280.20 feet to the most Southerly most corner of Lot 1, Block 1, Hemingway School Subdivision;  
Thence South 45°16'42" West 329.82 feet to the REAL POINT OF BEGINNING, containing 2.64 Acres more or less.

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said easements. We do hereby certify that all lots in this plat will be eligible to receive water service from an existing water distribution system and that the existing water distribution system has agreed in writing to serve all of the lots shown within this plat.  
It is the intent of the owners to hereby include said land in this plat.

Lynn Flickinger  
Chairperson, Blaine County School District No. 61

Guy Coles  
Mayor, City of Ketchum, Idaho

**ACKNOWLEDGEMENT**

STATE OF Idaho } ss  
COUNTY OF Blaine }  
On this 3 day of July, 1997, before me, a Notary Public in and for said State, personally appeared Lynn Flickinger, known or identified to me to be the Chairperson for the Blaine County School District No. 61, and the individual whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.  
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Cullen W. Walker  
Notary Public  
Reading at Ketchum  
My Commission Expires 3/5/98

**ACKNOWLEDGEMENT**

STATE OF Idaho } ss  
COUNTY OF Blaine }  
On this 3 day of July, 1997, before me, a Notary Public in and for said State, personally appeared Guy Coles, known or identified to me to be the Mayor of the City of Ketchum, Idaho, and the individual whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.  
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Thomas P. Oakes  
Notary Public  
Madras, OR  
My Commission Expires

**COUNTY SURVEYOR'S APPROVAL**

I, Jim W. Koonce, County Engineer for Blaine County, Idaho, have checked the foregoing replat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating thereto.

Jim W. Koonce  
6/26/1997

**SURVEYOR'S CERTIFICATE**

I, Richard D. Fosbury, a duly licensed land surveyor in the State of Idaho, do hereby certify that this plat of Hemingway School Subdivision Amended 1997 is a true and accurate map of the land surveyed under my direct supervision and that it is in accordance with the Idaho State Code relating to plats and surveys.

Richard D. Fosbury  
9/16/1997

**ACKNOWLEDGEMENT**

STATE OF IDAHO } ss  
COUNTY OF BLAINE }  
On this 3 day of August, 1997, before me, a Notary Public in and for said State, personally appeared Richard D. Fosbury, known to me to be the person whose name is subscribed to the above Surveyor's Certificate and acknowledged to me that he executed the same.  
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Cullen W. Walker  
Notary Public in and for the State of Idaho  
Reading at Ketchum  
My Commission Expires 3/5/98

**APPROVAL OF CITY ZONING COMMISSION**

The foregoing replat was approved by the Ketchum City Zoning Commission on this \_\_\_\_\_ day of \_\_\_\_\_, 1997.

Chairman

**APPROVAL OF CITY COUNCIL**

The foregoing replat was approved by the City Council of Ketchum on this \_\_\_\_\_ day of \_\_\_\_\_, 1997.

Debra Bennett  
City Clerk

**CITY ENGINEER'S APPROVAL**

The foregoing replat was approved by Keith O'Connell, City Engineer for the City of Ketchum on this \_\_\_\_\_ day of \_\_\_\_\_, 1997.

City Engineer

Keith O'Connell  
7/1/97  
7653  
KETCHUM, IDAHO

**COUNTY TREASURER'S APPROVAL**

The taxes on the foregoing parcel of land have been paid to this date and this plat of Hemingway School Subdivision Amended 1997 is hereby approved this \_\_\_\_\_ day of \_\_\_\_\_, 1997.

Blaine County Treasurer

**COUNTY RECORDER'S CERTIFICATE**

STATE OF IDAHO } ss  
COUNTY OF BLAINE } as 405/20  
This is to certify that the foregoing replat was filed in the office of the Recorder of Blaine County, Idaho, on this \_\_\_\_\_ day of \_\_\_\_\_, 1997, at \_\_\_\_\_ M., and duly recorded in Plat Book \_\_\_\_\_ at page \_\_\_\_\_.

Debra Bennett  
Ex-officio Recorder

Hemingway School Subdivision  
Amended 1997  
Galena Engineering, Inc.  
Ketchum, Idaho  
Sheet 2 of 2

**Attachment E**

grantee, the receipt of which is hereby acknowledged, has granted, bargained and sold, and by these presents does grant, bargain, sell, convey and confirm unto grantee, and to grantee's heirs and assigns forever, all of the following described property situate in Camas County, State of Idaho:

N $\frac{1}{2}$  NW $\frac{1}{4}$ , S $\frac{1}{2}$  NW $\frac{1}{4}$ , N $\frac{1}{2}$  SW $\frac{1}{4}$ , SW $\frac{1}{4}$  NE $\frac{1}{4}$ , NW $\frac{1}{4}$  SE $\frac{1}{4}$ , Sec. 5 and NE $\frac{1}{4}$ , NE $\frac{1}{4}$  NW $\frac{1}{4}$ , NE $\frac{1}{4}$  SE $\frac{1}{4}$ , Sec. 6, all in Twp. 1 N. R. 16 E., B.M.; Lots 3 & 4, N $\frac{1}{2}$  SW $\frac{1}{4}$ , NW $\frac{1}{4}$ , Sec. 35 and Lots 1 & 2, N $\frac{1}{2}$  SE $\frac{1}{4}$ , S $\frac{1}{2}$  NE $\frac{1}{4}$ , NE $\frac{1}{4}$  NE $\frac{1}{4}$ , Sec. 34, all in Twp. 2 N. R. 15 E., B.M.

(\$24.75 I.R.S.)  
(Affixed and )  
(Cancelled )

TOGETHER with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all estate, right, title and interest in and to the said property, as well in law as in equity, of the grantor.

TO HAVE AND TO HOLD all and singular the above mentioned and described premises, together with the appurtenances, unto the grantee, and to the grantee's heirs and assigns forever. And the grantor, and the grantor's heirs, the said premises in the quiet and peaceable possession of the grantee, and the grantee's heirs and assigns, against the grantor, and the grantor's heirs, and against all and every person and person whomsoever lawfully claiming the same, shall and will WARRANT and by these presents forever DEFEND.

IN WITNESS WHEREOF, the grantor has subscribed this deed the day and year first above written.

T. R. Edholm  
Mary G. Edholm  
Grantor

State of Idaho )  
County of Gooding ) ss.

On this 14th day of October, 1957, before me, the undersigned notary public in and for said state, personally appeared T. R. Edholm and Mary G. Edholm, husband and wife, known to me to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

H. F. LeMoine  
Notary public for the State of Idaho  
Residing at Hagerman in said state.

Filed for record at the request of Murphy & Boller at 9:05 o'clock A. M., January 22, 1958.

George F. McCoy, Ex-Officio Recorder  
By Goldie Ellinger, Deputy

No. 131882

GRANT OF RIGHT OF WAY

BLAINE COUNTY SCHOOL DISTRICT # 61 TO CITY OF KETCHUM

Know All these Men: That Blaine County School District #61, a body corporate and politic, of Hailey, Blaine County, Idaho, being the owners of a certain parcel of land located in the City of Ketchum, Blaine County, Idaho, for and in consideration of the sum of one dollar (\$1.00) and other good and valuable considerations, paid by the City of Ketchum, Blaine County, Idaho, the receipt of which is hereby acknowledged, does hereby give, grant and quit claim to said City of Ketchum, Blaine County, Idaho, an easement of right of way for the construction, improvement, operation and maintenance of a public road, upon and across the following land, lying and being situated in the City of Ketchum, Blaine County, Idaho, to wit:

RIVER DRIVE

A parcel of land lying in the NE  $\frac{1}{4}$  of Section 13, T. 4 N., R. 17 E., B.M., Blaine County, Idaho, more particularly described as follows: Beginning at the Northerly corner of Lot 5, Block 70 of the Original Townsite of the City of Ketchum, Blaine County, Idaho, as filed for record in the office of the Blaine County Recorder; thence North 44°37'21"

West 60.00 feet to a point on the Northwesterly boundary of Tenth Street; thence South 45°22'39" West 56.35 feet along the said Northwesterly boundary of Tenth Street to a point, also said point being the REAL POINT OF BEGINNING; thence North 0°39'21" West 178.11 feet to a point; thence North 16°09'21" West 340.00 feet to a point; thence North 29°09'21" West 137.93 feet to a point; thence North 45°22'39" East 51.88 feet to a point; thence South 29°09'21" East 157.46 feet to a point; thence South 16°09'21" East 352.50 feet to a point; thence South 0°39'21" East 136.69 feet to a point on the said Northwesterly boundary of Tenth Street; thence South 45°22'39" West 69.47 feet along the said Northwesterly boundary of Tenth Street to the point of beginning, comprising 0.75 acres, more or less.

In Witness whereof, we have hereunto set our hands and seal this 16th day of December, 1968.

(SEAL) Blaine County School District #61

By Carl Pothier  
Chairman, Board of Trustees

ATTEST:

W. B. Mallory  
Clerk of the Board

STATE OF IDAHO }  
County of Blaine } ss.

On this 16th day of December, in the year 1968, before me, a Notary Public in and for said State, personally appeared Carl Pothier and W. B. Mallory known to me to be the Chairman and Clerk respectively of the Board of Trustees of Blaine County School District #61, Blaine County, Idaho.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last above written.

(SEAL)

Louise Bowlden  
Notary Public for Idaho  
Residing at Hailey

Filed for record at the request of G. R. Kneeland at 11:10 o'clock A. M., January 22, 1969.

George F. McCoy, Ex-Officio Recorder  
By Goldie Ellinger, Deputy

No. 131883

GRANT OF RIGHT OF WAY

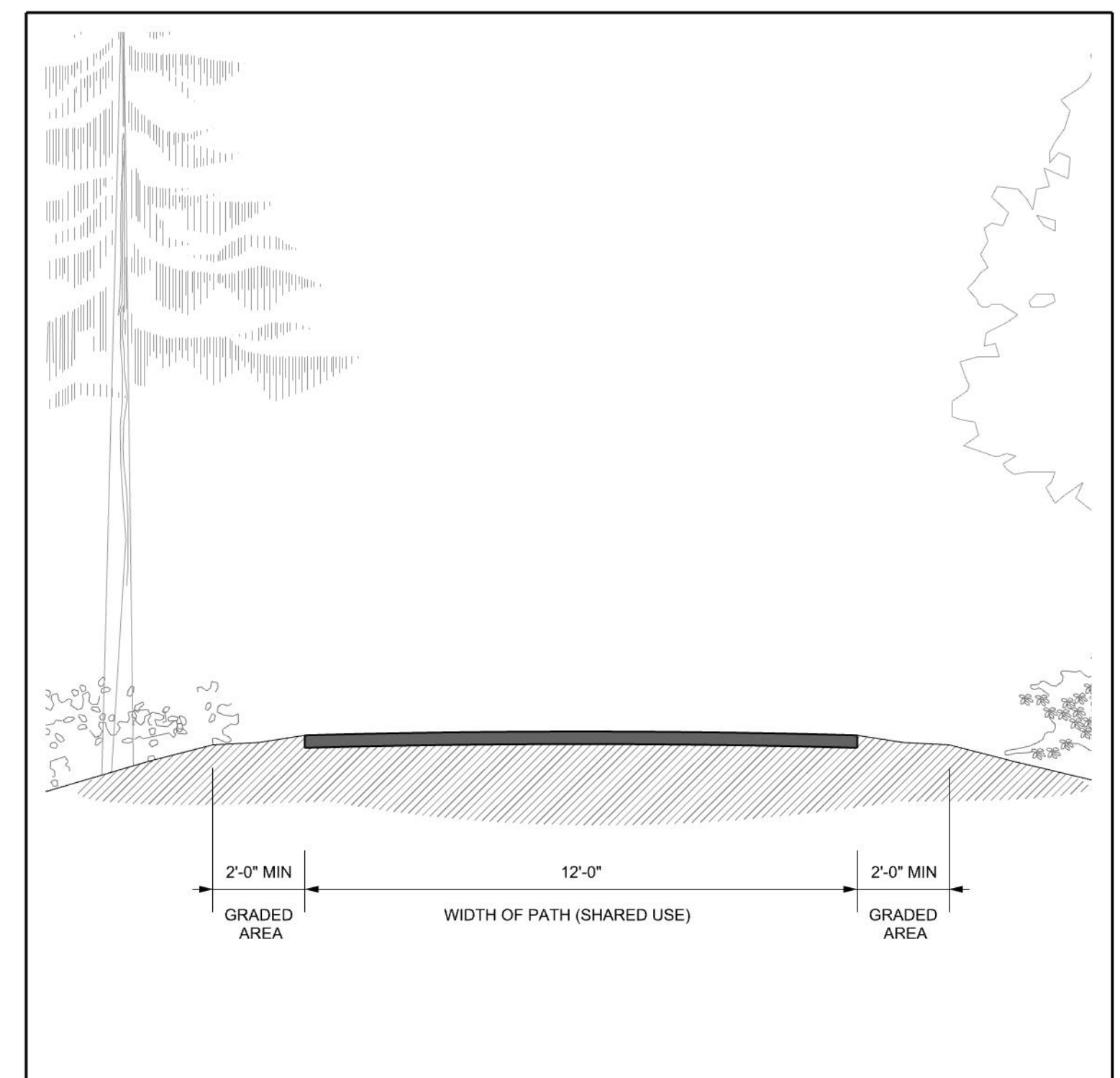
BLAINE COUNTY SCHOOL DISTRICT # 61 TO CITY OF KETCHUM

Know All these Men: That Blaine County School District #61, a body corporate and politic, of Hailey, Blaine County, Idaho, being the owners of a certain parcel of land located in the City of Ketchum, Blaine County, Idaho, for and in consideration of the sum of one dollar (\$1.00) and other good and valuable considerations, paid by the City of Ketchum, Blaine County, Idaho, the receipt of which is hereby acknowledged, does hereby give, grant and quit claim to said City of Ketchum, Blaine County, Idaho, an easement of right of way for the construction, improvement, operation and maintenance of a public road, upon and across the following land, lying and being situated in the City of Ketchum, Blaine County, Idaho, to wit:


CAMPUS WAY

Beginning at the Southerly corner of Lot 8, Block 52 of the Original Townsite of the City of Ketchum, Blaine County, Idaho, as filed for record in the office of the Blaine County Recorder; thence North 45°22'39" East 126.20 feet along the Northwesterly boundary of Eighth Street to a point, also said point being the REAL POINT OF BEGINNING; thence North 4°58'28" West 169.55 feet along a line 60.00 feet Westerly of and parallel to the Westerly boundary of the Union Pacific Railroad to a point of curve; thence Northwesterly along a curve to the left 154.38 feet, said curve having a radius of 606.62 feet, tangents of 77.61 feet, a central angle of 14°34'54", and a long chord of 153.97 feet bearing North 12°15'55" West to a point of reverse curve; thence continuing Northwesterly along a curve to the right 127.53 feet, said curve having a radius of 666.62 feet, tangents of 63.96 feet, a

**Attachment F**



**BIKE PATH SECTION**

  
 1/64" = 1'-0"

**HEMINGWAY SCHOOL  
ATKINSONS' PARK IMPACT STUDY**

October 31, 2018



City of Ketchum  
Planning & Building

STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
MEETING OF DECEMBER 10, 2018

**PROJECT:** 260 N 1<sup>st</sup> Avenue Mixed-Use Building

**FILE NUMBER:** P18-143

**APPLICANT:** Galena Peak Partners LLC

**REPRESENTATIVE:** Hollis Rumpeltes Architects AIA

**REQUEST:** Pre-Application Design Review of a new three-story, 49,802 sq ft mixed-use building containing 5 commercial spaces and 30 residential units.

**LOCATION:** 260 N 1<sup>st</sup> Avenue (Ketchum Townsite: Block 38: Lot 5A)

**NOTICE:** Noticing is not required for Pre-Application Design Review. A courtesy notice was mailed to adjacent property owners on November 30<sup>th</sup>, 2018.

**ZONING:** Mixed-Use Sub-District of the Community Core (CC-2)

**REVIEWER:** Abby Rivin, Associate Planner

**BACKGROUND**

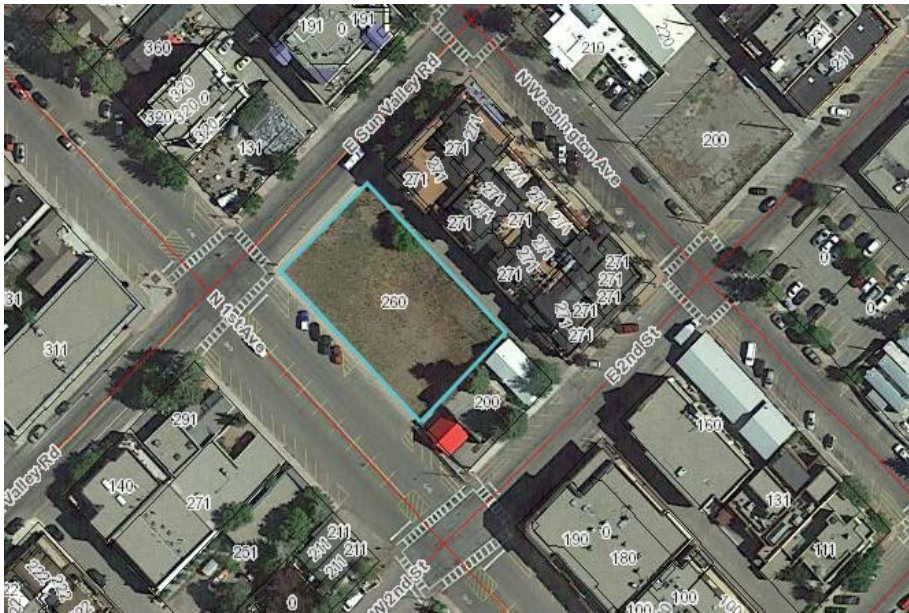


Figure 1. Location Context, 260 N 1st Ave

The subject Pre-Application Design Review request is for the development of a new 49,802 sq ft mixed-use building on an undeveloped lot located at 260 N 1<sup>st</sup> Avenue (Ketchum Townsite: Block 38: Lot 5A). The subject site is located within the Mixed Use Sub-district of the Community Core (CC-2).

The applicant is Galena Peak Partners LLC represented by Hollis Rumpeltes Architects AIA. The three-story building will be comprised of 5 commercial spaces, 30 residential units, and include an underground parking garage and storage area. As noted in the cover



letter submitted with the Pre-Application Design Review and included as Attachment B to the Staff Report, all of the commercial and residential units will be available to lease. With a total of thirty (30) residential units proposed, the multi-family residential apartment project will increase the supply of workforce housing within the City of Ketchum. In 2007, three Ketchum Townsite lots were combined through a lot line shift to create amended Lot 5A, which has a total area of 16,507 sq ft (.38 acres). Existing development within Block 38 adjacent to undeveloped Lot 5A includes the Copper Ridge development, Durance Cycleworks, and a personal training studio. The total proposed gross floor area of the mixed-use building is 37,098 sq ft with a Floor Area Ratio (FAR) of 2.25, which is the maximum FAR permitted with the inclusionary housing incentive in the CC-2 Zone (Ketchum Municipal Code §17.124.040.A).

The project is subject to Pre-Application Design Review per Ketchum Municipal Code (KMC) §17.96.010.C.1. The purpose of Pre-Application Design Review is to allow the Commission to exchange ideas and give direction to the applicant on the “design concept,” while keeping in mind the purpose of Chapter 17.96 Design Review and the application of the associated evaluation standards. Per KMC §17.96.040.C4, the Administrator has waived certain submittal requirements as it was determined that some of the information was not necessary for the Commission to exchange ideas and give direction to the applicant on the design concept. See Staff analysis below for a discussion regarding the outstanding items that will need to be addressed at Design Review.

### **ANALYSIS**

Staff recommends advancement of the Pre-Application Design Review for the 260 N 1<sup>st</sup> Avenue Mixed-Use Building to Design Review. The applicant is aware of the outstanding action items to be submitted for Design Review described below. A full analysis and explanation of this recommendation is detailed within the Staff Report. The following items will need to be addressed by the applicant prior to Design Review approval.

#### **Outstanding Action Items:**

- The Design Review application requires an exterior lighting plan indicating the location, height, type, lumen output, and specifications for fixtures (KMC §17.96.040.C.2h). The applicant has included an example of a dark sky compliant lighting fixture in the *Existing Similar Project Types* (Attachment G) submitted with the Pre-Application as an indication of the type of fixture that may be selected for the mixed-use building.
- The applicant must submit one 11” x 17” materials and colors sample board showing all exterior materials used on the façade of the structure (KMC §17.96.040.C.2i). The applicant has included specifications for two (2) of the proposed materials (Stonewood siding/panel and corrugated metal panels) included as Attachment F to the Staff Report. The applicant has indicated that material samples will be presented to the Commission for review at the meeting. Examples of additional materials and colors that the applicant may utilize for the mixed-use building is included in the *Existing Similar Project Types* (Attachment G) submitted with the Pre-Application Design Review.
- The applicant must submit a drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4).
- The applicant must submit a utilities plan indicating the location and size of water and sewer mains as well as gas, electric, TV and phone services (KMC §17.96.040.C.2c & KMC §17.96.060.D.1-3).
- The applicant must submit a landscape plan including species type, size, and quantity (KMC §17.96.040.C.2e & KMC §17.96.060.I.1-4).
- The applicant must provide a snow storage plan with the snow storage area calculation (snow storage areas shall not be less than 30% of improved parking and pedestrian circulation areas) and include associated dimensions (KMC §17.96.060.H).
- The applicant must submit a construction management plan showing where staging will occur, where materials are stored, and a parking plan for contractors (KMC §17.96.040.C.2j).
- The Roof Plan (Sheet A2.5) of the Pre-Application submittal indicates the siting of a stair tower, trellis courtyard, and mechanical equipment affixed to the roof. The applicant must indicate the setback of

all proposed non-habitable structures affixed on the roof at Design Review. All non-habitable structures located on building roof tops must be setback 10 ft from all building facades.

- The project design incorporates sloped roofs, balconies, and trellises. The applicant has not specifically indicated whether these design elements are intended for weather protection. Per KMC §17.96.060.F.8, building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties. The applicant shall address weather protection for gathering and circulation at Design Review.
- The applicant must provide a public amenity, such as a bench, as well as a street light (KMC §17.96.060.J.1)
- The applicant is required to install one (1) bicycle rack, able to accommodate at least two (2) bicycles, for every four (4) parking spaces as required by the proposed use (KMC §17.96.070.F.1). Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles (KMC §17.96.070.F.3).
- The applicant shall note the length of all architectural projections including trellises and overhangs over the property line at Design Review. Roof overhangs shall not extend more than three (3') feet over a public sidewalk (KMC §17.96.070.B.6). Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way (KMC §17.96.060.G.2)

Prior to issuance of a Building Permit, an Exceedance Agreement addressing the square footage above the permitted 1.0 Floor Area Ratio and the associated community housing contribution is required (KMC §17.124.040.B). The Project Data Sheet included as Attachment D to the Staff Report indicates that ten (10) of the residential units will be deed restricted, community housing units.

#### 1<sup>st</sup> Avenue Access to Parking Garage

The applicant has proposed accessing the underground parking garage from of 1<sup>st</sup> Avenue. While Ketchum Municipal Code §17.96.070 and §17.125.030 require that surface parking lots be accessed from the alley and located in the rear of a building or lot, underground parking garages are not subject to the same standard. The applicant has indicated that mirrors as well as sensor lights serving as a pedestrian warning will be installed to enhance safety. The Ketchum Traffic Authority recommends that no curb cuts should be permitted if there is alley access available to serve the development. Comprised of the City Administrator, Chief of Police, Planning Director, Superintendent of Streets, and one representative of the Ketchum City Council, the Ketchum Traffic Authority was created to advise the Mayor and City Council on all matters related to traffic, parking, and the regulation of vehicular and pedestrian use of the City's streets, alley, and rights-of-way. The Ketchum Traffic Authority has provided the following policy recommendation pertaining to alley access versus street access:

In the downtown core and tourist zone, no curb cuts should be permitted if there is alley access. The reasons:

- Having multiple curb cuts creates safety and congestion issues. When a curb cut is off the street, people tend to stop traffic to make left turns into the driveway. Couple this with traffic accessing projects from the alley, it presents safety and congestion issues.
- Driveways intersecting sidewalks create a safety hazard for pedestrians and bicyclists. It was noted one of the highest rates of pedestrian and vehicle collisions take place at driveways. Cars making left turns into driveways typically speed up while entering a driveway because of the limited gaps in on-coming traffic. Cars turning right or left out of the driveway do not think to look for pedestrians and bicyclists.
- Mid-block driveways are counter to creating a safe and engaging pedestrian downtown.
- Driveways that traverse the sidewalk present ADA challenges. Because driveways typically have sloped aprons, this conflicts with the requirement of a maximum 2% slope for sidewalks. Driveways also break-up the elevation of the sidewalk presenting an uneven surface for people with disabilities.
- Driveways remove on-street parking that support local businesses.

Staff recommends the Planning & Zoning Commission consider the Ketchum Traffic Authority’s recommendation that no curb cuts be permitted if there is alley access available to serve the development as well as the applicant’s presentation of the site design and determine whether or not the proposed curb cut along 1<sup>st</sup> Avenue is appropriate for this particular development.

**COMPREHENSIVE PLAN ANALYSIS:**

The proposed mixed-use building project demonstrates three of the Core Community Values contained in the 2014 Comprehensive Plan—A Strong and Diverse Economy, Vibrant Downtown, and a Variety of Housing Options. The project is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

**Table 1. Comprehensive Plan Analysis**

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
<b>Future Land Use</b>	
<b>Mixed-Use Commercial</b>	This Mixed-Use Commercial category is intended to promote a wide range of land uses, including offices, medical facilities, health/wellness-related services, recreation, government, residential, and services. General retail is limited to the downtown core. (Areas in the ACI with this designation will require evaluation with regard to the provision of access, utility service, safety, and environmental impacts.)
<b>Community Design and Neighborhoods</b>	
<b>Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods</b>	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
<b>Policy CD-1.3 Compatible Infill and Redevelopment Projects</b>	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
<b>Housing</b>	
<b>Goal H-1</b>	Ketchum will increase its supply of homes, including rental and special-needs housing for low-, moderate-, and median income households.
<b>Policy H-1.2 Local Solutions to Attainable Housing</b>	The City of Ketchum will place greater emphasis on locally-developed solutions to meet the housing needs of low-, moderate-, and median-income households. The City further recognizes that such needs likely will not be met solely through private development. To facilitate affordable housing opportunities, the City will look to new funding mechanisms, and encourage a broad range of regulatory incentives and options for community housing. These may include unit buy-downs, unit reuse, density increases, and height bonuses.
<b>Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas</b>	Housing should be integrated into the downtown core and light industrial areas, and close to the ski base. The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.
<b>Goal H-3</b>	Ketchum will have a mix of housing types and styles.
<b>Policy H-3.1 Mixture of Housing Types in New Development</b>	The City should encourage the private sector, through land-use regulations and incentive programs, to provide a mixture of housing types with varied price ranges and densities that meet a variety of needs. The City will evaluate the use of incentives, such as flexibility in height, density and parking requirements to achieve greater housing diversity. Additionally, the City will promote the siting of higher density housing near public transportation, the ski base areas, shopping, and designated neighborhoods and districts.
<b>A Strong and Diverse Economy</b>	
<b>Policy E-1(b) Downtown as a</b>	The community will strive to maintain a single concentrated commercial and retail core. The City will reinforce the downtown core’s role as a major asset and visitor attraction by

<b>Major Community Asset and Tourism Attraction</b>	encouraging businesses that fit the downtown character and by developing policies, programs, investment strategies, and organizations that help retain downtown business.
<b>Mobility</b>	
<b>Policy M-1.3 Compact Development and Housing Downtown and in Activity Centers</b>	Encourage compact development, mixed uses, and additional housing density in the downtown and in high-activity areas. This will increase opportunities for walking, bicycling and transit ridership and reduce vehicle traps.
<b>Future Land Use</b>	
<b>Goal LU-2</b>	Support infill and redevelopment in the downtown, major activity areas and specific areas that can take advantage of proximity to services and transportation.
<b>Policy LU-2.1 Infill and Redevelopment</b>	Support intensification of land uses on appropriate infill and redevelopment sites in the following areas: downtown, industrial areas, St Luke’s Hospital/McHanville/Cold Springs Canyon, Warm Springs area, and existing neighborhoods with significant vacant parcels.
<b>Policy LU-2.2 Compatible Residential Infill</b>	Appropriate types of infill include the new residential units on vacant lots/areas, additions to existing units, accessory dwelling units, and residential units with businesses. Ensure that residential infill is compatible in character and scale within the surrounding neighborhood.
<b>LU-2.3 Land Use Patterns for a Dynamic and Thriving Downtown</b>	Commercial strip development along arterial streets and high intensity retail and office uses outside the downtown core will be discouraged, except to provide neighborhood-scale retail and service uses.

**Table 2. Requirements for All Applications**

City Department Comments				
Compliant			City Code	City Standards and City Department Comments
Yes	No	N/A		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>17.96.040</b>	<b>Complete Application</b> <i>See list of Outstanding Action Items.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>Fire Department:</b> <i>It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.</i></p> <p><i>The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.</i></p> <p><i>Approved address numbers and unit numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.</i></p> <p><i>Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.</i></p> <p><i>An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (<a href="http://www.ketchumfire.org">www.ketchumfire.org</a>) and the National Fire Protection Association</i></p>

		<p><i>Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.</i></p> <p><i>NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal’s office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.</i></p> <p><i>Note: An NFPA 13 Fire Sprinkler System shall be installed throughout the entire building.</i></p> <p><i>Note: A “Class 1” fire standpipe shall be installed in the #1 Staircase with all outlets on intermediate floor landings to include basement level.</i></p> <p><i>An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (<a href="http://www.ketchumfire.org">www.ketchumfire.org</a>) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.</i></p> <p><i>Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.</i></p> <p><i>An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.</i></p> <p><i>Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.</i></p> <p><i>An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded “On-Sites” can be found at <a href="http://www.ketchumfire.org">www.ketchumfire.org</a>.</i></p> <p><i>Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at <a href="http://www.ketchumfire.org">www.ketchumfire.org</a>.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p><b>Streets Department &amp; City Engineer:</b></p> <ul style="list-style-type: none"> <li>• <i>The City has found that when deep excavations are necessary directly adjacent to sidewalks, substantial damage occurs to the sidewalks during construction requiring replacement at the owner’s expense.</i></li> <li>• <i>All drainage shall be retained on site including water from roof drains. Roof drains are not permitted within City ROW.</i></li> <li>• <i>Sidewalks must provide a minimum 5’ clearance around all obstacles (street trees and grates, lights, etc.). The sidewalk/curb/gutter along 1<sup>st</sup> Avenue is in poor condition and will likely require replacement. The existing sidewalk along Sun Valley Road does not meet 8’ width standard and the applicant shall improve the sidewalk up to City standards (12.04.030, section m, #4).</i></li> <li>• <i>A detailed construction activity plan compliant with section 15.06 of Ketchum Municipal Code will be required. The plan should address: how materials will be off loaded at the site, a plan for coordinating with neighbors on temporary ally closures, etc.</i></li> <li>• <i>Design shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.</i></li> <li>• <i>Soil nail walls are not permitted within the City of Ketchum.</i></li> </ul>

			<ul style="list-style-type: none"> <li>Sidewalk snow removal will be the responsibility of the property owner.</li> <li>Per IBC, impervious surfaces within 10' of a building foundation (i.e. sidewalks) are required to provide positive drainage away from the building.</li> <li>Lighting shall be provided and the installation of all required street lights shall meet City ROW standards.</li> <li>All proposed street trees must include electrical outlets.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Utilities:</b> <ul style="list-style-type: none"> <li>The applicant must submit a utilities plan must indicating the location and size of water and sewer mains at Design Review (KMC §17.96.040.C.2c &amp; KMC §17.96.060.D.1-3).</li> <li>The Utilities Department will provide further comment at Design Review following the submittal of the required utilities plan.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Parks/Arborist:</b> <ul style="list-style-type: none"> <li>The applicant must submit a landscape plan at Design Review (KMC §17.96.040.C.2e &amp; KMC §17.96.060.I.1-4).</li> <li>The City Arborist will provide further comment at Design Review following the submittal of the required landscape plan.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Building:</b> The building must meet 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Planning and Zoning:</b> Comments are denoted throughout the Staff Report. See list of Outstanding Action Items to be submitted at Design Review.

**Table 3: Zoning Standard Analysis**

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Lot Area</b>
			<i>Staff Comments</i>	<b>Required:</b> 5,500 square feet minimum <b>Existing:</b> 16,507 square feet existing
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	<b>Floor Area Ratios and Community Housing</b>
			<i>Staff Comments</i>	<b>Permitted in Community Core Mixed-Use Sub-district (CC-2)</b> <b>Permitted Gross FAR: 1.0</b> <b>Permitted Gross FAR with Inclusionary Housing Incentive: 2.25</b> Proposed Mixed-Use Building Gross Floor Area: 37,098 sq ft Lot 5A Area: 16,507 sq ft FAR Proposed: 2.25 (37,098 sq ft/16,507 sq ft lot area) Increase Above Permitted FAR: 20,591 sq ft 20% of Increase: 4,118 sq ft Net Livable (15% Reduction): <b>3,500 sq ft</b> Community Housing In-Lieu Fee: <b>\$833,112</b>  The Project Data Sheet included as Attachment D indicates that ten (10) of the studios and 1 bedroom apartments will be deed restricted, community housing units. 4,612 sq ft within the mixed-use building will be dedicated to community housing, which is 1,112 sq ft more than the developer is required to provide. Prior to issuance of a Building Permit, an Exceedance Agreement addressing the square footage above the permitted 1.0 Floor Area Ratio and the associated community housing contribution is required (KMC §17.124.040.B).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Building Setbacks</b>
			<i>Staff Comments</i>	<b>Required:</b> Front (N 1 <sup>st</sup> Avenue): 5' average Street Side (Sun Valley Road): 5' average Adjacent to alleyway (Rear): 3'

				<p><i>Interior Side: 0'</i>  <i>Cantilevered decks and overhangs: 0'</i>  <i>Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof from all building facades: 10'</i></p> <p><b>Proposed:</b>  <i>Front (N 1st Avenue): 5' average</i>  <i>Street Side (Sun Valley Road): 5' average</i>  <i>Adjacent to alleyway (Rear): 3'</i>  <i>Interior Side: 5' - ¼"</i>  <i>Cantilevered decks overhangs: 0'</i></p> <p><i>Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof from all building facades: Sheet A2.5 of the Pre-Application submittal indicates the siting of a trellis courtyard and mechanical equipment affixed to the roof. The applicant shall indicate the setback of all proposed non-habitable structures affixed on the roof at Design Review.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p><b>Building Height</b></p> <p><b>Maximum Permitted: 42'</b>  <b>Non-habitable structures located on building roof tops: 10'</b>  <b>Roof top solar and mechanical equipment above roof surface: 5'</b></p> <p>HEIGHT OF BUILDING/CC DISTRICT: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within forty feet (40') of the front elevation or within thirty five feet (35') of the rear facade.</p> <p><b>Proposed:</b>  <b>Building Height: 41'-8"</b>  <b>Non-habitable Stair Tower: 38" above the 42' plane</b>  <b>Total Building Height with Non-habitable Structures: 44'-10"</b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	<p><b>Curb Cut</b></p> <p><b>Required:</b>  <i>A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking.</i></p> <p><b>Proposed: 12.9% (22 ft) of the linear footage along 1<sup>st</sup> Avenue.</b></p> <p><i>The Ketchum Traffic Authority recommends that no curb cuts should be permitted if there is alley access available to serve the development.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.40	<p><b>Parking Spaces</b></p> <p><i>The mix of uses in the proposed development require twenty-eight (28) total parking spaces, eight (8) of which may be accommodated with the on-street credit applicable to developments in the Community Core (KMC §17.125.050.C) and twenty (20) of which must be provided on-site. The credit spaces are only credited for the non-residential parking demand of the project. The applicant has provided twenty-four (24) on-site parking spaces. The parking requirements and configuration of on-site parking spaces are detailed below.</i></p> <p><b>17.125.040 Off Street Parking and Loading Calculations:</b></p>

			<p><b>A.1. Multiple Uses:</b> Lots containing more than one use shall provide parking and loading in an amount equal to the total of the requirements for all uses, unless a use is exempted by this chapter or a reduction is approved through a shared parking plan or Parking Demand Analysis in compliance with this chapter.</p> <p><b>Non-residential, in zoning districts other than LI-1, LI-2, and LI-3:</b> 1 parking space per 1,000 gross square feet.</p> <p><b>Residential multiple-family dwelling within the Community Core (CC) District and the Tourist (T) District, Tourist 3000 (T-3000), and Tourist 4000 (T-4000):</b> Units 750 square feet or less: 0 parking spaces Units 751 square feet to 2,000 square feet: 1 space Units 2,001 square feet and above: 2 parking spaces</p> <p><b>17.125.040(C) Exemptions: In the Community Core (CC) and Tourist (T) zoning districts the following uses meeting the definitions found in 17.08.020 are exempt from providing off street parking:</b> a. Community housing.</p> <p><b>Required:</b> Five (5) Commercial Spaces: 8,000 gross sq ft requires 8 parking spaces Ten (10) deed restricted residential units ranging from 400-526 sq ft require 0 parking spaces. Twenty (20) 20 residential units ranging from 840-1,466 sq ft require 20 parking spaces</p> <p>Per KMC §17.125.050.C, four (4) on street parking spaces per 5,500 sq ft of lot area may be credited toward the required parking demand after the required four (4) space minimum on site is satisfied. At 16,507 sq ft in total area, Lot 5A is eligible for twelve (12) on street credit space for the non-residential parking demand of the project.</p> <p>Total Parking Spaces Required On-Site: 20 <b>Proposed: 24 parking spaces.</b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.18.130 &amp; 17.18.20</b></p> <p><b>Zoning Matrix</b></p>
			<p><b>Staff Comments</b></p> <p><b>17.18.130: Community Core District</b> <b>A. Purpose:</b> The purpose of the CC community core district is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum's historical and geographic context while providing diversity. Compatible mixed uses including retail, office, residential and cultural uses are encouraged. Commercial uses are concentrated in the CC district which is consistent with the city's comprehensive plan and the downtown master plan.</p> <p><b>17.08.020 – Definitions</b></p> <p><b>MIXED USE:</b> Properties on which various uses, such as office, commercial, institutional, and residential, are combined in a single building or on a single site in an integrated development project with significant functional interrelationships and a coherent physical design.</p> <p><b>FLOOR AREA, GROSS:</b> The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and fifty percent (50%) of atriums over eighteen feet (18') plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three (3) or more sides by building walls are included. Four (4) parking stalls for developments on single Ketchum town site lots of five thousand six hundred (5,600) square feet in size or less are not included in the gross floor area calculation.</p>



**Table 4: Design Review Standards for all projects**

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	<b>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</b>
			Staff Comments	<i>The subject property is a corner lot with street frontage along 1<sup>st</sup> Avenue and Sun Valley Road. The applicant has proposed vehicular access to the underground parking garage from 1<sup>st</sup> Avenue.</i>  <i>The Ketchum Traffic Authority recommends that no curb cuts should be permitted if there is alley access available to serve the development.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	<b>All street designs shall be approved by the City Engineer.</b>
			Staff Comments	<i>The street design does not change with this proposal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	<b>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</b>
			Staff Comments	<i>Sidewalks are existing along both Sun Valley Road and 1<sup>st</sup> Avenue equal to the length of the property lines. The existing sidewalk adjacent to Sun Valley Road does not meet standards and the applicant will be required to extend the sidewalk width to 8 ft. The sidewalk/curb/gutter along 1<sup>st</sup> is in poor condition and will likely require replacement. The City has found that when deep excavations are necessary directly adjacent to sidewalks, substantial damage occurs to the sidewalks during construction requiring full or almost replacement at the owner’s expense.</i>  <i>The sidewalks must provide a minimum 5 ft clearance around all obstacles (street trees and grates, lights, etc.). All sidewalks shall be constructed to City standards contained in KMC §12.04.030.M as well as all applicable City right-of-way standards.</i>  <i>See Table 2 for comment from the City Engineer &amp; Streets Department.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(2)c	<b>Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</b>
			Staff Comments	<i>The existing sidewalk adjacent to Sun Valley Road must be widened to 8 ft in order to meet the City’s right-of-way standards. The sidewalk, curb, and gutter adjacent to 1<sup>st</sup> Avenue is in poor condition and will likely require replacement. If substantial damage occurs to the sidewalks during construction, the Streets Department will require replacement at the owner’s expense. The sidewalks must provide a minimum 5 ft clearance around all obstacles (street trees and grates, lights, etc.). All sidewalks shall be constructed to City standards contained in KMC §12.04.030.M as well as all applicable City right-of-way standards. See Table 2 for comment from the City Engineer and Streets Department.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	<b>Sidewalks may be waived if one of the following criteria is met:</b> <ul style="list-style-type: none"> <li>a. The project comprises an addition of less than 250 square feet of conditioned space.</li> <li>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</li> </ul>
			Staff Comments	<i>N/A. The project qualifies as a substantial improvement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>

			<i>Staff Comments</i>	<i>The applicant shall extend the width of the existing sidewalk adjacent to Sun Valley Road to 8 ft. Any portion of the existing sidewalk adjacent to 1<sup>st</sup> Avenue damaged during construction shall be replaced and improved to City standards by the applicant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			<i>Staff Comments</i>	<i>The proposed sidewalk will provide a pedestrian connection to the existing walkway adjacent to Lot 8 of Block 38. The sidewalk will provide pedestrian access to and around the building by connecting to a proposed walkway adjacent to the interior property line.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</b>
			<i>Staff Comments</i>	<i>N/A, Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	<b>All storm water shall be retained on site.</b>
			<i>Staff Comments</i>	<i>The applicant must submit a drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b &amp; KMC §17.96.060.C.1-4).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	<b>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</b>
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(C)(1). All drainage improvements shall require approval from the Streets Department prior to issuance of a Building Permit for the project.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(C)(1).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	<b>Drainage facilities shall be constructed per City standards.</b>
			<i>Staff Comments</i>	<i>The applicant must submit civil drawings for the required Drainage Plan at Design Review. Drainage facilities shall be constructed per City standards and require approval from the Streets Department prior to issuance of a Building Permit for the project.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			<i>Staff Comments</i>	<i>Not depicted. The applicant must submit a Utilities Plan at Design Review. See Staff comment from the Utilities Department in Table 2.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			<i>Staff Comments</i>	<i>Not depicted. The applicant must submit a Utilities Plan at Design Review. See above Staff comment for Ketchum Municipal Code §17.96.060(D)(1).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(D)(1).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<i>Staff Comments</i>	<i>Building elevations are included on Sheets A0.4, A0.5, A0.6, A0.7, and A0.10 of the submittal. Proposed materials include Stonewood siding and panels as well as perforated/corrugated metal panels. No signage is indicated on the proposed building facades. One 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure must be submitted at Design Review.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<i>Staff Comments</i>	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	<b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b>
			<i>Staff Comments</i>	<i>N/A. The proposed building is new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	<b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b>
			<i>Staff Comments</i>	<i>The elevations indicate that the building entryway adjacent to 1<sup>st</sup> Avenue is clearly defined by a sidewalk extension and associated trellis feature. The building provides unobstructed pedestrian access to the sidewalks adjacent to 1<sup>st</sup> Avenue and Sun Valley Road. The applicant has also proposed a walkway adjacent to the interior property line. A Deck Encroachment Easement (Instrument No. 405813) is recorded to the subject property to benefit adjacent Lot 8. The applicant shall coordinate with the adjacent property owner to remove encroachments not included in the associated easement including the retaining wall in order to accommodate the proposed mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	<b>The building character shall be clearly defined by use of architectural features.</b>
			<i>Staff Comments</i>	<i>The building utilizes two forms of balconies in conjunction with vertical and horizontal elements as well as material differentiation to break up the mass of the mixed-use building. The two forms of balconies proposed include (1) a solid parapet with a steel handrail and (2) a steel mesh system. Each façade, including the interior- and alley-facing facades (Sheet A0.6) incorporate material differentiation to provide undulation and relief and to reduce the appearance of bulk and flatness. Specifications for the associated materials and colors shall be submitted by the applicant for the Design Review application.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<i>Staff Comments</i>	<i>Building elevations are included on Sheets A0.4, A0.5, A0.6, A0.7, and A0.10 of the submittal. Proposed materials include Stonewood siding and panels as well as perforated/corrugated metal panels. One 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure must be submitted for the Design Review application.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>
			<i>Staff Comments</i>	<i>The building elevations indicate that street trees will be incorporated into the project design. No accessory structures, fences, or walls have been proposed with the mixed-use building project. The applicant must submit a landscape plan including species type, size, and quantity at Design Review (KMC §17.96.040.C.2e &amp; KMC §17.96.060.I.1-4).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
			<i>Staff Comments</i>	<i>The proposed elevation views provided by the applicant demonstrate that all building walls provide undulation and relief, serving to reduce the appearance of bulk and flatness at all façades. The applicant is proposing a variation in architectural features and materials along all façades, which serve to provide depth and reduce the appearance of bulk and flatness.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	<b>Building(s) shall orient towards their primary street frontage.</b>
			<i>Staff Comments</i>	<i>The proposed building has two street-fronting facades adjacent to Sun Valley Road and N 1<sup>st</sup> Avenue. The front entrance of the proposed mixed-use building orients towards N 1<sup>st</sup> Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<i>Staff Comments</i>	<i>The garbage storage area, indicated on Sheet A2.2, is proposed to be enclosed within the building. The garbage storage is screened from public view and located off of the alley.</i>

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<i>Staff Comments</i>	<i>The project design incorporates sloped roofs, balconies, and trellises, including above the entrance to the building. The applicant has not specifically indicated whether these design elements are intended for weather protection. The applicant shall address weather protection for gathering and circulation at Design Review.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<i>Staff Comments</i>	<i>The proposed mixed-use building provides unobstructed pedestrian access to the sidewalks adjacent to 1<sup>st</sup> Avenue and Sun Valley Road.</i>  <i>The applicant is required to install one (1) bicycle rack, able to accommodate at least two (2) bicycles, for every four (4) parking spaces as required by the proposed use (KMC §17.96.070.F.1). Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles (KMC §17.96.070.F.3). The final siting of the bicycle rack shall be reviewed and approved by the Streets Department prior to issuance of a Building Permit for the project.</i>  <i>No equestrian access is proposed or required.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(2)	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			<i>Staff Comments</i>	<i>KMC §17.08.20 defines awning as a covered architectural projection that extends from the exterior wall of a building for the purpose of providing shade, shelter, or aesthetic value to the building façade. The Architectural Site Plan on Sheet A1.1 indicates that proposed trellises extend over the property line over the sidewalk. The applicant shall note the length of all architectural projections over the property line at Design Review.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<i>Staff Comments</i>	<i>The proposed underground parking area is accessed from 1<sup>st</sup> Avenue as opposed to the adjacent alley.</i>  <i>The Ketchum Traffic Authority recommends new development within the Community Core be accessed from the alley in order to enhance safety for pedestrians and bicyclists.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</b>
			<i>Staff Comments</i>	<i>The curb cut is located more than 20 ft from the intersection of 1<sup>st</sup> Avenue and Sun Valley Road as well as 1<sup>st</sup> Avenue and 2<sup>nd</sup> St.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			<i>Staff Comments</i>	<i>Emergency and service vehicles may access the site from Sun Valley Rd, 1<sup>st</sup> Avenue, and the alleyway, providing unobstructed access for emergency vehicles, snowplows, and garbage trucks.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>

			<i>Staff Comments</i>	<i>The applicant shall submit a plan for snow storage at Design Review. The proposed snow storage areas shall not be less than 30% of the improved parking and pedestrian circulation area.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	<b>Snow storage areas shall be provided on-site.</b>
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(H)(1).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.</b>
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(H)(1).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<i>Staff Comments</i>	<i>The applicant must submit a snow storage plan at Design Review. If the applicant proposes a snow-melt system, Staff encourages the applicant to consider methods and best practices for reducing the energy consumption required for the associated system. Snow melt systems with the public right-of-way require a right-of-way encroachment permit between the City and property owner.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	<b>Landscaping is required for all projects.</b>
			<i>Staff Comments</i>	<i>The applicant must submit a landscape plan including species type, size, and quantity at Design Review (KMC §17.96.040.C.2e &amp; KMC §17.96.060.I.1-4).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<i>Staff Comments</i>	<i>The landscape materials and vegetation types shall be reviewed and approved by the City Arborist. The landscape materials and vegetation types specified shall be readily adaptable to the site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<i>Staff Comments</i>	<i>All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b>
			<i>Staff Comments</i>	<i>The applicant must submit a landscape plan including species type, size, and quantity at Design Review (KMC §17.96.040.C.2e &amp; KMC §17.96.060.I.1-4).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(J)(1)	<b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b>
			<i>Staff Comments</i>	<i>The applicant shall include the installation of a public amenity, such as a bench, for the Design Review application to be reviewed and approved by the Public Works Department (Streets, Utilities, and City Engineer).</i>

**Table 5: Design Review Standards for Community Core Projects**

<b>IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects</b>				
In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core district. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the Community Core.				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070 A(1)	<b>Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</b>
			<i>Staff Comments</i>	<i>The applicant shall install street lights as required by City standards. Public amenities, such as a bench, are also required for the right-of-way improvements and the</i>

				associated plan must be submitted at Design Review. Associated plans for the right-of-way improvements are subject to City standards as well as review and approval from the Public Works Department (Streets, Utilities, and City Engineer). Any public amenities proposed to be installed within the 1 <sup>st</sup> Avenue right-of-way will require a Sidewalk Easement Agreement to ensure safe pedestrian and bicycle traffic.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(A)(2) Streets	<b>Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.</b>
			<i>Staff Comments</i>	<i>The applicant has not included the installation of street trees in the design plans for the right-of-way improvements. All street trees proposed with a minimum caliper size of 3 inches shall be placed in tree grates.</i>  <i>Any trees proposed to be installed within the 1<sup>st</sup> Avenue right-of-way will require a Sidewalk Easement Agreement to ensure safe pedestrian and bicycle traffic. The siting and species of the proposed street trees are subject to review and approval by the City Arborist and the Public Works Department (Streets, Utilities, and City Engineer).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(A)(3)	<b>Due to site constraints, the requirements if this subsection 17.96.070. (A) may be modified by the Public Works Department.</b>
			<i>Staff Comments</i>	<i>N/A. The Public Works Department has not waived the requirements of subsection 17.96.070.A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(1)	<b>Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.</b>
			<i>Staff Comments</i>	<i>All building facades have been designed to include both solid surfaces and window/door openings intended to avoid the creation of blank walls. Similar architectural elements used to create uniformity include a continuity of materials as well as decks, balconies, and trellises at varying heights.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(2)	<b>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</b>
			<i>Staff Comments</i>	<i>The applicant has proposed storefront windows for the five (5) commercial spaces adjacent to Sun Valley Rd and 1<sup>st</sup> Avenue. The applicant shall incorporate landscape planters into the facades fronting pedestrian walkways.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(3)	<b>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</b>
			<i>Staff Comments</i>	<i>The design of the front and street facing façades (N 1<sup>st</sup> Avenue and Sun Valley Road) do not obscure views into windows. The design of the front and street facing façades incorporate windows providing views into the commercial space.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(4)	<b>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</b>
			<i>Staff Comments</i>	<i>The proposed design of the mixed-use building incorporates sloped roofs, which is compatible with the design of the mixed-use building. One 11" x 17" materials and colors sample board showing all exterior materials used including the roofing system of the structure must be submitted at Design Review. Reflective materials are prohibited.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070 (B)(5)	<b>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</b>
			<i>Staff Comments</i>	<i>N/A as the project design does not incorporate any pitched roofs.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(6)	<b>Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</b>
			<i>Staff Comments</i>	<i>The applicant has proposed extending trellises over the public sidewalk. The applicant shall indicate the length of all projections into the City right-of-way at Design Review. Roof overhangs shall not extend more than 3 ft over a public sidewalk.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070 (B)(7)	<b>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</b>

			<i>Staff Comments</i>	<i>N/A. Front porches or stoops are not incorporated in the project design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	<b>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.</b>
			<i>Staff Comments</i>	<i>The trash disposal area is enclosed within the building to the rear of the building adjacent to the alley.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	<b>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</b>
			<i>Staff Comments</i>	<i>The applicant has indicated the installation of mechanical equipment on Sheet A2.5 of the Pre-Application Submittal. The equipment shall be fully screened from public view. Roof mounted mechanical equipment will not exceed five-feet (5') over the maximum building height and must be set back a minimum of ten-feet (10)' from building facades.</i>  <i>The applicant shall note the setback of all mechanical equipment and fixed/unconditioned structures on the roof plan at Design Review.</i>  <i>The final screening, location, and height of all ground and roof mounted mechanical equipment shall be approved upon final inspection and prior to the issuance of a Building Permit.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(1)	<b>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</b>
			<i>Staff Comments</i>	<i>Lot 5A is vacant and the vegetation consists of grass. No healthy or mature trees are located on the site.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	<b>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</b>
			<i>Staff Comments</i>	<i>The applicant must submit a landscape plan including species type, size, and quantity at Design Review (KMC §17.96.040.C.2e &amp; KMC §17.96.060.I.1-4). Trees that are proposed to be placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(3)	<b>The city arborist shall approve all parking lot and replacement trees.</b>
			<i>Staff Comments</i>	<i>N/a as no parking lot or replacement trees are proposed or required.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	<b>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</b>
			<i>Staff Comments</i>	<i>N/A. No parking lots are proposed with the subject submittal.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	<b>Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</b>
			<i>Staff Comments</i>	<i>N/A. See above Staff comment for Ketchum Municipal Code §17.96.060(E)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	<b>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</b>
			<i>Staff Comments</i>	<i>The applicant must submit a landscape plan including species type, size, and quantity at Design Review (KMC §17.96.040.C.2e &amp; KMC §17.96.060.I.1-4). All ground cover and low lying shrubs shall be planted within planters and planter boxes.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	<b>One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.</b>
			<i>Staff Comments</i>	<i>As twenty (28) total parking spaces are required to be provided on site, the applicant shall install a minimum of seven (7) bicycle racks able to accommodate two (2) bicycles. The applicant shall indicate the siting of the proposed bicycle racks at Design</i>

				<i>Review. The final siting of the bicycle racks shall be reviewed and approved by the Public Works Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(2)	<b>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.</b>
			<i>Staff Comments</i>	<i>See Staff comment above. The fraction of the calculation is not equal to or greater than one-half.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	<b>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</b>
			<i>Staff Comments</i>	<i>The applicant shall indicate the siting of the bicycle rack at Design Review. Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>

**STAFF RECOMMENDATION:**

Staff recommends advancement of the Pre-Application Design Review for the 260 N 1<sup>st</sup> Avenue Mixed-Use Building to Design Review provided that all action items are addressed prior to the submission of a Design Review application.

**COMMISSION OPTIONS:**

- Advance the Pre-Application to Design Review.
- Continue the Pre-Application Design Review to a date certain.

**ATTACHMENTS:**

- A. Application Form
- B. Cover Letter
- C. Pre-Application Design Review Submittal Drawings
- D. Project Data Sheet & Additional Dimensional Standards
- E. Existing Site Pictures
- F. Materials information
- G. Existing Similar Project Types



ATTACHMENT A.  
APPLICATION FORM



City of Ketchum  
Planning & Building

Design Review Application

OFFICIAL USE ONLY
File Number:
Date Received:
By:
Pre-Application Fee Paid:
Design Review Fee Paid:
Approved Date:
Denied Date:
By:
ADRE: Yes <input type="checkbox"/> No <input type="checkbox"/>

APPLICANT INFORMATION			
Project Name:		Phone:	
Owner:		Mailing Address:	
Email:			
Architect/Representative:		Phone:	
Email:		Mailing Address:	
Architect License Number:			
Engineer of Record:		Phone:	
Email:		Mailing Address:	
Engineer License Number:			
<i>All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i>			
PROJECT INFORMATION			
Legal Land Description:			
Street Address:			
Lot Area (Square Feet):			
Zoning District:			
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain			
Type of Construction: <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use:		Number of Residential Units:	
TOTAL FLOOR AREA			
	Proposed	Existing	
Basements	Sq. Ft.	Sq. Ft.	
1 <sup>st</sup> Floor	Sq. Ft.	Sq. Ft.	
2 <sup>nd</sup> Floor	Sq. Ft.	Sq. Ft.	
3 <sup>rd</sup> Floor	Sq. Ft.	Sq. Ft.	
Mezzanine	Sq. Ft.	Sq. Ft.	
Total	Sq. Ft.	Sq. Ft.	
FLOOR AREA RATIO			
Community Core:		Tourist:	General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage:			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front:	Side:	Side:	Rear:
Building Height:			
OFF STREET PARKING			
Parking Spaces Provided:			
Curb Cut:	Sq. Ft.	%	
WATER SYSTEM			
<input type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

ATTACHMENT B.  
COVER LETTER



PO Box 1769 [post]  
Sun Valley, ID 83353  
220 River Street, East  
Ketchum, ID 83340  
v 208.721.0633 / 208.721.7160

**13 November 2018**

**Abby Rivin**

City of Ketchum – Design Review Committee  
P.O. Box 2315  
480 East Ave. N.  
Ketchum, ID 83340

Dear Design Review Committee,

We are excited to submit to you for review our Mixed-Use project (“**The Two Six Zero Building**”) located at 260 1<sup>st</sup> Avenue North, Ketchum. A 3 story + basement parking level, multi-residential structure, 49,802 sf, located on the corner of Sun Valley Road and 1<sup>st</sup> Avenue North. All of the commercial / residential units will be available to lease, none for sale, which fills a void in our community’s shortfall of rental properties.

The programming of the building is as follows:

Parking / Basement Level:

- 24 underground car parking spaces with storage for residential units.
- 9’ High Ceiling
- Trash / Recycling area
- Delivery area.
- Multiple Foyer/Entry Stairs for Upper Residential Units
- Mechanical Space

Ground Level:

- Parking access ramp to lower basement level.
- 8’ - 12’-6” High Ceilings.
- Multiple Foyer/Entry Stairs for Upper Residential Units
- Mechanical Space
- (3) 1 bedroom, 1 bath @ 536 square feet each
- (5) Studio apartments ranging from 400 - 526 square feet each
- Trash / Recycling area
- (5) Commercial spaces ranging from 833 – 1,610 square feet each, access from SV Road & 1<sup>st</sup> Ave. N.
- 4 x Common area restrooms (All ADA Compliant)
- Building administration offices / support spaces.
- Landscaped Entry courtyard.

Second Level:

- Stairs / elevators /Access Points to Residential Units
- (4) 1 bedroom, 1.5 bath, office ranging from 896 – 1,009 square feet each

- (2) 2 bedroom, 1 bath @ 848 square feet each
- (2) 2 bedroom, 2 bath ranging from 840 - 1047 square feet each
- (1) Studio Apt @ 404 square feet (Deed Restricted)
- (2) 3 bedroom, 3 bath ranging from 1,427 – 1,466 square feet each
- Balconies and Terraces for Residential Units
- Common Laundry area.
- Mechanical Space

Third Level:

- Stairs / elevators /Access Points to Residential Units
- (4) 1 bedroom, 1.5 bath, office ranging from 896 – 1,009 square feet each
- (2) 2 bedroom, 1 bath @ 848 square feet each
- (2) 2 bedroom, 2 bath ranging from 840 - 1047 square feet each
- (1) Studio Apt @ 404 square feet (Deed Restricted)
- (2) 3 bedroom, 3 bath ranging from 1,427 – 1,466 square feet each
- Balconies and Terraces for Residential Units
- Common Laundry area.

Roof Level:

- Stairs / elevators /Access Points to Roof level
- Roof terrace / dog park
- Outdoor mechanical area.

We have proposed a mix of materials and colors that will hopefully enact a sense of vibrancy to the corner lot of Leadville Ave, Ketchum. Key materials as per sample board images include a Stonewood siding/panel product connected to the building via a “rain-screen” detail. We have anchored the building by proposing the use of perforated / corrugated metal panels. Where the building steps in along the Northern, and Western Facades, the exterior material is broken by using strips of the Stonewood siding as well as a mix of Stonewood paneling which is broken at window / door jambs, headers, sills and mullions.

We are proposing to also break up the building mass / scale by using 2 types of balcony / deck structures. One being a solid parapet condition with metal tube steel placed on top and then the other deck handrails will be a steel mesh system.

We look forward to conversing more about the project at the December 10<sup>th</sup> meeting, please feel free to ask any questions or for additional information that will assist in approving this project to the next level. We are excited to work with you on this project, and we look forward to starting the next phase of the design process.

Sincerely,



Daniel Hollis, Principal



J.J. Rumpeltes, Principal

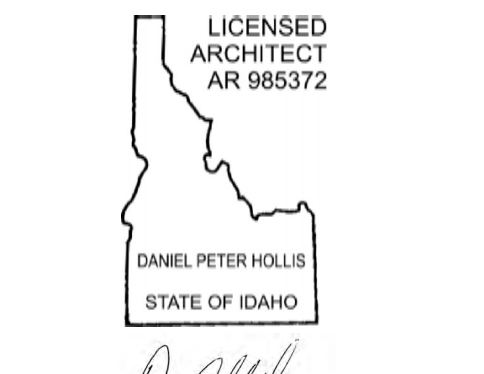
## ATTACHMENT C.

Pre-Application Design Review Submittal Drawings



# ***TWO SIX ZERO***

**MULTI-USE PROJECT**



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION

**SITE VICINITY**  
LOT 5A, BLOCK 38, KETCHUM TOWNSITE, ID.



**SITE VICINITY ZONING**  
LOT 5A, BLOCK 38, KETCHUM TOWNSITE, ID.



**PROJECT DIRECTORY**

**CLIENT & OWNER-BUILDER**  
GALENA PEAK, LLC  
P.O. BOX 5023  
KETCHUM, ID 83340  
CONTACT ARCHITECT FOR ALL CLIENT COMMUNICATIONS

**ARCHITECT**  
HOLLIS RUMPELTES ARCHITECTS, AIA  
PO 1769 (POST)  
SUN VALLEY, ID 83353  
220 RIVER STREET (COURIER)  
KETCHUM, ID 83340  
P: 208.721.0633  
E: J.R@hr-architects.net or danie@hr-architects.net

**CONTRACTOR**

**STRUCTURAL ENGINEER**  
MURAR ENGINEERING & DESIGN, INC  
688 NORTH 9th STREET, (COURIER)  
BOISE, ID 83702  
P: 208.343.4125  
E: Contact@murarengineering.com

**GEOTECHNICAL ENGINEER**  
BUTLER ASSOCIATES, INC  
BOX 1034,  
KETCHUM, ID 83340  
P: 208.720.6432  
E: svgeotech@gmail.com

**MECHANICAL, ELECTRICAL & PLUMBING ENGINEER**

**CIVIL ENGINEER & SURVEYORS**  
GALENA ENGINEERING, INC  
317 N. RIVER STREET,  
HAILEY, ID 83333  
P: 208.788.1705  
E: stymn@galena-engineering.com

**BUILDING ENVELOPE CONSULTANT**

**CODE COMPLIANCE**  
DIA SULLIVAN, ARCHITECT PLLC  
P.O. BOX 233  
WHITFISH, MT 59937  
P: 406.250.1016  
E: dsullivan@cyberport.net

**LANDSCAPE ARCHITECT**

**INTERIOR DESIGNER**

**RES-CHECK**  
JOHN REUTER, GREENWORKS  
P.O. BOX 4714  
KETCHUM, ID 83340  
P: 208.721.2922  
E: jreuter@gmx.com

**PROJECT DATA**

**LEGAL OWNER** GALENA PEAK, LLC  
**OWNER'S ADDRESS** P.O. BOX 5023  
KETCHUM, ID 83340  
LOT 5A, BLOCK 38  
KETCHUM TOWNSITE, ID 83340

**CODE** 2012 IBC  
**ZONING** CC: COMMUNITY CORE #2

**SETBACKS**  
FRONT YARD 5' AVERAGE (1st AVE)  
SIDE YARD 5' AVERAGE (SV ROAD)  
SIDE YARD 0' (5')  
REAR YARD 3' (ALLEY)

**HT LIMITATION** 42' (PROPOSED 41'-8")  
**USE OCCUPANCY** RESIDENTIAL: GROUP R-2  
MECRANTILE: GROUP M

**CONST. TYPE** V-B (SPRINKLED)

**CODE COMPLIANCE:** IBC 2012  
IRC 2012  
IECC 2012  
CMCE 2012  
IFMC 2012  
IPC 2012

**PROVIDE REQUIRED UNDER FLOOR VENTING/  
RADON MITIGATION AS REQUIRED.**

**PROVIDE REQUIRED UNDER FLOOR VENTING  
MOLD MITIGATION AS REQUIRED.**

**PROVIDE UNDER FLOOR (CRAWL SPACE)  
VENTILATION OF 1 SF PER 150 SF OF FLOOR  
AREA**

**FLOOR LIVE LOAD:** 100 PSF, 40 PSF RESIDENTIAL  
**ROOF LIVE LOAD:** 100 PSF (SNOW LOAD)  
**SEISMIC ZONE:** D  
**WIND LOADS:** 115 MPH 3 SECOND GUST (ULT)  
CATEGORY II  
IMPORTANCE FACTOR = 1

**DRAWING INDEX**

GENERAL	ARCHITECTURAL
A0.0 PROJECT DATA / GENERAL NOTES / INDEX	A1.1 SITE PLAN
A0.1 DOOR & WINDOW SCHEDULE	A1.2 ARCHITECTURAL SITE PLAN
A0.2 DOOR & WINDOW SCHEDULE	A2.1 PARKING/BASEMENT FLOOR PLAN
A0.3 DOOR & WINDOW SCHEDULE	A2.2 FIRST FLOOR PLAN
A0.4 EXTERIOR 3D MODEL VIEWS	A2.3 SECOND FLOOR PLAN
A0.5 EXTERIOR 3D MODEL VIEWS	A2.4 THIRD FLOOR PLAN
A0.6 EXTERIOR 3D MODEL VIEWS	A2.5 DIMENSIONED PARKING/BASEMENT FLOOR PLAN
A0.7 EXTERIOR 3D MODEL VIEWS	A2.6 DIMENSIONED FIRST LEVEL FLOOR PLAN
A0.8 EXTERIOR 3D MODEL VIEWS	A2.7 DIMENSIONED SECOND LEVEL FLOOR PLAN
A0.9 EXTERIOR 3D MODEL VIEWS	A2.8 DIMENSIONED THIRD LEVEL FLOOR PLAN
A0.10 EXTERIOR 3D MODEL VIEWS	A2.9 ROOF PLAN
A0.11 EXTERIOR MATERIALS & COLORS SAMPLE BOARD	A2.9.1 FINISH FIRST FLOOR PLAN
A0.12 STAGING AND CONTRACTOR PARKING PLAN	A2.9.2 FINISH SECOND FLOOR PLAN
A0.13 CODE ANALYSIS	A2.9.3 FINISH THIRD FLOOR PLAN
A0.14 CODE ANALYSIS - EXITING PLAN	A2.10 ENLARGED PLAN - LVL 1 UNIT 1
A0.15 RES-CHECK (GREENWORKS)	A2.11 ENLARGED PLAN - LVL 1 UNIT 2
	A2.12 ENLARGED PLAN - LVL 1 UNIT 3
	A2.13 ENLARGED PLAN - LVL 2 UNIT 1
	A2.14 ENLARGED PLAN - LVL 2 UNIT 2
	A2.15 ENLARGED PLAN - LVL 2 UNIT 3
	A2.16 ENLARGED PLAN - LVL 3 UNIT 1
	A2.17 ENLARGED PLAN - LVL 3 UNIT 2
	A2.18 ENLARGED PLAN - LVL 3 UNIT 3
	A2.19 ENLARGED PLAN - LVL 3 UNIT 1B
	A2.20 ENLARGED PLAN - LVL 3 UNIT 2
	A2.21 ENLARGED PLAN - LVL 3 UNIT 2B
	A2.22 REFLECTED CEILING PLAN - 1st FLOOR
	A2.23 REFLECTED CEILING PLAN - 2nd FLOOR
	A2.24 REFLECTED CEILING PLAN - 3rd FLOOR
	A2.25 REFLECTED CEILING PLAN - 3rd FLOOR
	A3.1 EXTERIOR ELEVATIONS (SOUTH & EAST)
	A3.2 EXTERIOR ELEVATIONS (NORTH & WEST)
	A4.1 BUILDING SECTIONS
	A4.2 BUILDING SECTIONS
	A4.3 BUILDING SECTIONS
	A4.4 BUILDING SECTIONS
	A5.1 WALL SECTIONS & DETAILS
	A5.2 WALL SECTIONS & DETAILS
	A7.1 INTERIOR ELEVATIONS
	A7.2 INTERIOR ELEVATIONS
	A7.3 INTERIOR ELEVATIONS
	A7.4 INTERIOR ELEVATIONS
	A7.5 INTERIOR ELEVATIONS
	A7.6 INTERIOR ELEVATIONS
	A7.7 INTERIOR ELEVATIONS
	A7.8 INTERIOR ELEVATIONS
	A7.9 INTERIOR ELEVATIONS
	A7.10 INTERIOR ELEVATIONS
	A8.1 CASEWORK - UNIT #1
	A8.2 CASEWORK - UNIT #1
	A8.3 CASEWORK - UNIT #2
	A8.4 CASEWORK - UNIT #2
	A8.5 CASEWORK - UNIT #3
	A8.6 CASEWORK - UNIT #3
	A8.7 CASEWORK - UNIT #3
	A9.1 STAIR DETAILS
	A9.2 STAIR DETAILS

**AREA CALCULATIONS**

SITE AREA	16,507 SF
PROPOSED BASEMENT FLR AREA	12,703 SF
PROPOSED 1st FLR AREA	12,259 SF
PROPOSED 2nd FLR AREA	12,420 SF
PROPOSED 3rd FLR AREA	12,420 SF
PROPOSED DECK / BALCONY AREA	4,796 SF
<b>NET RESIDENTIAL AREA</b>	<b>37,096 SF</b>
<b>TOTAL GROSS INT BLDG AREA</b>	<b>49,802 SF</b>

**GENERAL NOTES**

- THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS & EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT LEAVING ALL WORK READY FOR USE.
- THESE DRAWINGS, TOGETHER WITH THE SPECIFICATION, AIA GENERAL CONDITIONS DOCUMENT A-201, 1986 EDITION, REPRESENT THE CONTRACT DOCUMENTS.
- THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS IS INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CLIENT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT & COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES & SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL VERIFY & ASSUME RESPONSIBILITY FOR ALL DIMENSIONS & SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES & TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY INFERRED FROM SUCH EXAMINATION.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. **DO NOT SCALE DRAWINGS.**
- ALL DIMENSIONS WHEN SHOWN IN PLAN ARE TO FACE OF EXTERIOR WALL SHEATHING, FACE OF CMU, OR FACE OF INTERIOR STUD, U.N.O.
- ALL DIMENSIONS ARE TO TOP OF FINISHED FLOOR IN SECTION OR ELEVATION, U.N.O.
- THE GENERAL CONTRACTOR SHALL REVIEW ALL BUILDING DIMENSIONS FOR ACCURACY PRIOR TO LAYING OUT ANY PORTION OF BUILDING ON SITE, & SHALL NOTIFY THE ARCHITECT WELL IN ADVANCE OF ANY DISCREPANCIES OR ERRORS.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, WATER LINES, SEWER & STORMWATER LINES, GAS LINES, ETC.

- THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING SITE CONDITIONS TO REMAIN, INCLUDING TREES & SHRUBS, PAVING, FENCES, WALLS, ETC.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL DRAWINGS PRIOR TO THE ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. PRIOR TO ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- SEALANT, CAULKING & FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS & STANDARD INDUSTRY & BUILDING PRACTICES.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS, & WASTE MATERIALS ON A REGULAR BASIS OF ALL SUBCONTRACTORS & TRADES, & SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS INSIDE OR OUTSIDE THE JOB SITE.
- THE GENERAL CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR THE INSTALLATION OF ALL EQUIPMENT, CASEWORK, CABINETS, WOOD TRIM, ACCESSORIES, HANDRAILS, ETC.
- FOR ALL FINISHES AT FLOORS, WALLS, & CEILINGS, REFER TO PLAN.
- DRIVEWAY ORIENTATION, HARDSCAPE, & LANDSCAPE ARE DESIGN-BUILD UNDER THE DIRECT SUPERVISION OF THE GENERAL CONTRACTOR INCLUDED UNDER THIS CONTRACT. FOLLOW LANDSCAPE & ARCHITECTURAL DRAWINGS WHERE APPROPRIATE FOR DESIGN INTENT.
- THE GENERAL CONTRACTOR SHALL ADHERE TO ALL APPLICABLE BUILDING CODES, AS WELL AS CITY, COUNTY, & STATE BUILDING REGULATIONS. ALSO ADHERE TO O.S.H.A. GUIDELINES.

A ANCHOR BOLT	D DET. DET.	S GA.	N NORTH	(IS CONT.)
AB ANCHOR	DEM DETAIL	GA GAUGE	NOT IN CONTRACT	STL STEEL
AC AIR CONDITIONER	DI DIA. DIAMETER	GAU GALVANIZED	NO. # NUMBER	STR STANDARD
AD ADJUSTABLE	DI DA. DIAMETER	GEN GENERAL CONTRACTOR	NOM. NOMINAL	STR STRUCTURE -URAL
ADJ. ADJUSTABLE FLOOR	DI DIA. DIAMETER	GEN. GENERAL	N.R.C. NOISE REDUCTION COEFFICIENT	SUSP. SUSPENDED
ALUM ALUMINUM	DI DIA. DIAMETER	GL GALVANIZED IRON	N.T.S. NOT TO SCALE	SYS. SYMMETRICAL
A+ ANGLE	DI DIA. DIAMETER	GLD GLAZING		T TYPICAL
AND. ANKORED	DI DIA. DIAMETER	GR GRASS		TEL. TELEPHONE
AP ACCESS PANEL	DI DIA. DIAMETER	GRM GALVANIZED SHEET METAL		TEMP. TEMPERATURE
ARCH ARCHITECT	DI DIA. DIAMETER	G.F. GROUND FULT INTERRUPTED CRYSTALLINE WALL BOND		TRG TRUSS & GIRDOR
B BATTERY	DI DIA. DIAMETER	HW HARDWOOD		TRU THROUGH
BO BOTTOM OF	DI DIA. DIAMETER	H H. HT. HIGH HEIGHT		T.O.S. TOP OF SLAB
BRK BRICK	DI DIA. DIAMETER	H.M. HOLLOW METAL		T.O.W. TOP OF WALL
BLK BLDG. BLOCKING	DI DIA. DIAMETER	HOR. HORIZONTAL		U UNLESS NOTED OTHERWISE
BLW BLDG. BLOCKING	DI DIA. DIAMETER	H.P. HIGH POINT		V VENTILATION
BTM BOTTOM	DI DIA. DIAMETER	H.H. H. HT. HIGH HEIGHT		VERT. VERTICAL
BS. BOTH SIDES	DI DIA. DIAMETER	H.H.C. HEATING HEATER		VEST. VESTIBULE
BSMT. BASEMENT	DI DIA. DIAMETER	H.H.C. HEATING HEATER		V.C.T. VENEER PLASTER
C CENTER LINE	DI DIA. DIAMETER	H.H.C. HEATING HEATER		V.F.R. VENT THRU ROOF
CAB. CABINET	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CAP. CAPACITY	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CEM. CEMENT - JOBS	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
C.F. CUBIC FEET	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
C.F.M. CUBIC FEET PER MINUTE	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
C.P. CAST IN PLACE CONCRETE	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CL. CONTROL JOINT	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CLG. CONCRETE MASONRY UNIT	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CLD. CONCRETE	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CMU. CONCRETE MASONRY UNIT	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CONC. CONCRETE	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CONTR. CONTRACTOR	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CO. COLUMN	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
COMM. COMMUNICATION	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CONSTR. CONSTRUCTION	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CONTR. CONTRACTOR	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CORR. CORRIDOR	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
C.P. CONTROL POINT	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CPT. CARPET	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CSE. CRAWLSPACE ACCESS	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
C.S.A. CERAMIC TILE	DI DIA. DIAMETER	H.H.C. HEATING HEATER		
CTR. CENTER	DI DIA. DIAMETER	H.H.C. HEATING HEATER		

**SYMBOLS LEGEND**

(1) ---+--- (A)	GRID NO.	(XX) ---+---	WALL TYPE
(D) XX	DOOR NO.	(GWB-1)	FIN. CLNG. MAT.
(XX)	WINDOW NO.	(WOOD)	FIN. FLR. MAT.
(SD)	INTERCONNECTED, HARDWIRED, BATT. BACKUP SMOKE ALARM / DETECTOR	(EF)	CEILING MOUNTED EXHAUST FAN
(101/AS.X)		(101/AS.X)	ROOM NO. / ENLARGED PLAN & INT. ELEVATION SHEET NO.
(XX/AX)	ELEV. KEY	(ELEV. MARKER)	ELEVATION MARKER
(XX/AX)	SECT. KEY		
(XX/AX)	INT. ELEV. KEY		

REVISION DATE

ISSUE/DATE	PRE-AP DR	11/13/18
DRAWN BY	DPH, JJR	
CHECKED BY	DPH, JJR	
DATE	09/29/18	
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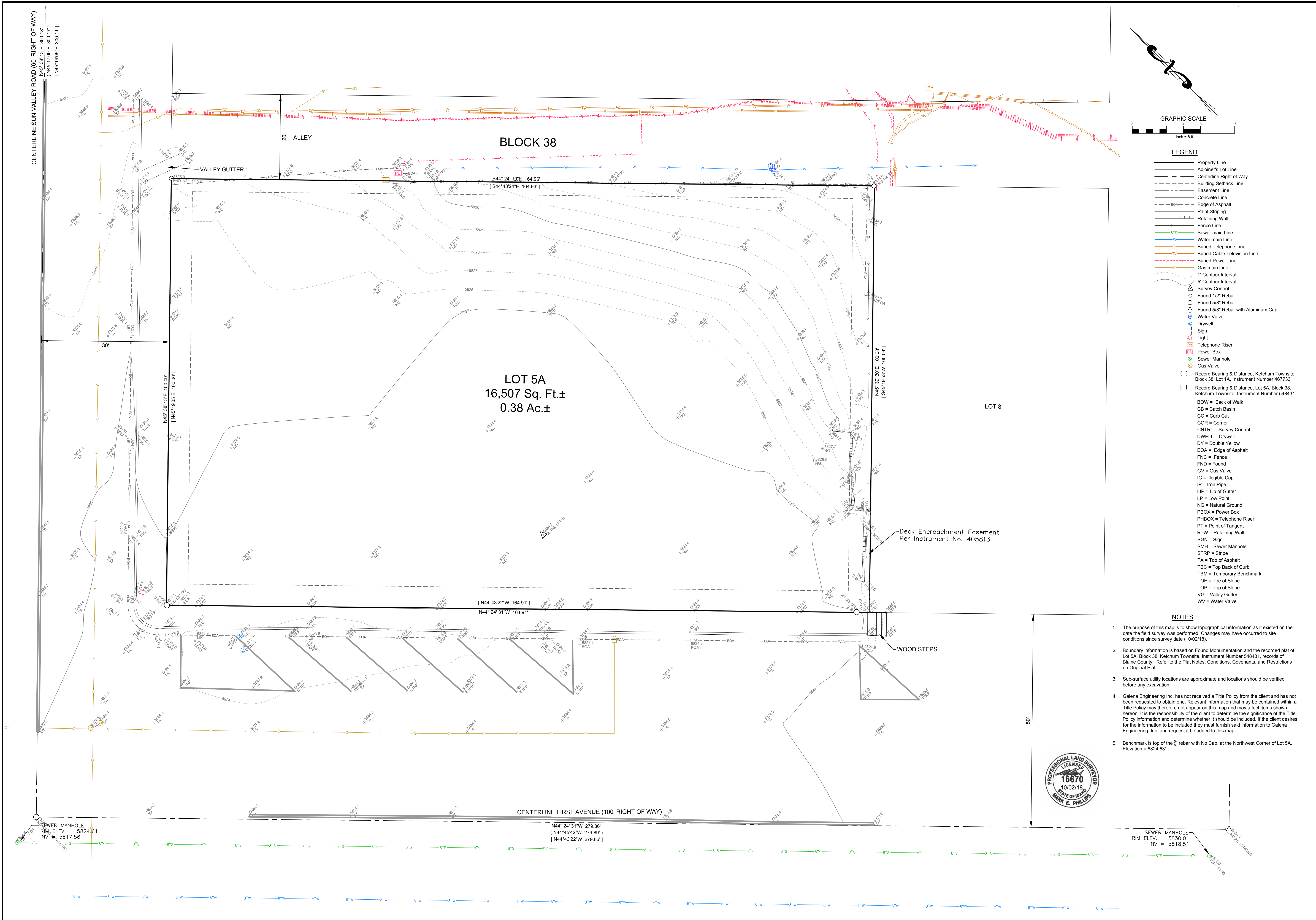
**260 N. 1st AVE  
MIXED USE**

LOTS 5, 6 & 7, BLOCK 38  
KETCHUM TOWNSITE  
KETCHUM, IDAHO

**PROJECT DATA  
GENERAL NOTES**

**A** CATEGORY  
**0.0** SEQUENCE





- LEGEND**
- Property Line
  - Adjoiner's Lot Line
  - Centerline Right of Way
  - Building Setback Line
  - Easement Line
  - Concrete Line
  - Edge of Asphalt
  - Paint Striping
  - Retaining Wall
  - Fence Line
  - Water main Line
  - Buried Telephone Line
  - Buried Cable Television Line
  - Buried Power Line
  - Gas main Line
  - 1' Contour Interval
  - 5' Contour Interval
  - Survey Control
  - Found 1/2" Rebar
  - Found 5/8" Rebar
  - Found 5/8" Rebar with Aluminum Cap
  - Water Valve
  - Drywell
  - Sign
  - Light
  - Telephone Riser
  - Power Box
  - Sewer Manhole
  - Gas Valve
- ( ) Record Bearing & Distance, Ketchum Townsite, Block 38, Lot 1A, Instrument Number 467733
- [ ] Record Bearing & Distance, Lot 5A, Block 38, Ketchum Townsite, Instrument Number 548431
- BOW = Back of Walk  
 CB = Catch Basin  
 CC = Curb Cut  
 COR = Corner  
 CNTRL = Survey Control  
 DWELL = Drywell  
 DY = Double Yellow  
 EOA = Edge of Asphalt  
 FNC = Fence  
 FND = Found  
 GV = Gas Valve  
 IC = Illegible Cap  
 IP = Iron Pipe  
 LIP = Lip of Gutter  
 LP = Low Point  
 NG = Natural Ground  
 PBOX = Power Box  
 PHBOX = Telephone Riser  
 PT = Point of Tangent  
 RTW = Retaining Wall  
 SCN = Sign  
 SMH = Sewer Manhole  
 STRP = Stripe  
 TA = Top of Asphalt  
 TBC = Top Back of Curb  
 TBM = Temporary Benchmark  
 TOE = Toe of Slope  
 TOP = Top of Slope  
 VG = Valley Gutter  
 WV = Water Valve

- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/02/16).
  - Boundary information is based on Found Monumentation and the recorded plat of Lot 5A, Block 38, Ketchum Townsite, Instrument Number 548431, records of Blaine County. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
  - Sub-surface utility locations are approximate and locations should be verified before any excavation.
  - Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
  - Benchmark is top of the 1/2" rebar with No Cap, at the Northwest Corner of Lot 5A. Elevation = 5824.53'



A TOPOGRAPHIC MAP SHOWING  
**LOT 5A, BLOCK 38, KETCHUM TOWNSITE**  
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR HOLLIS REMPELIES ARCHITECTS

PROJECT INFORMATION  
 File: Topo 18-07-01.dwg  
 Date: 11/17/18 AM

FB: 18-07-01	MEP
REUSE OF DRAWINGS	DRAWN BY
These drawings or any portion thereof shall not be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.	SMF
Galena Engineering, Inc.	CHECKED BY
Civil Engineers & Land Surveyors	
317 N. River Street	
Hailey, Idaho 83433	
(208) 786-1705	
(208) 786-4612 fax	
email: galena@galena-engineering.com	

NO.	DATE	BY	REVISIONS

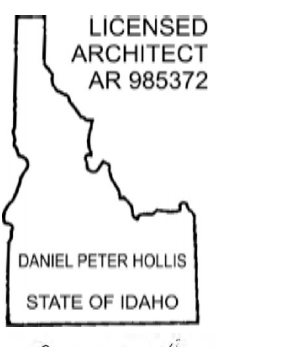
**TOPO**







1 BUILDING MASSING MODEL  
A0.4



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	DATE	09/29/18	
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260 N. 1st AVE  
MIXED USE

LOTS 5, 6 & 7, BLOCK 38  
KETCHUM TOWNSITE  
KETCHUM, IDAHO

BUILDING  
MASSING MODEL

A 0.4  
CATEGORY SEQUENCE

SVR-ARCHITECTURAL PROJECTS\1054-131 & SVR Mixed Use Project\Architectural\1054-00-45-MODEL IMAGES.dwg, 11/27/2018 3:02:26 PM, Adobe PDF



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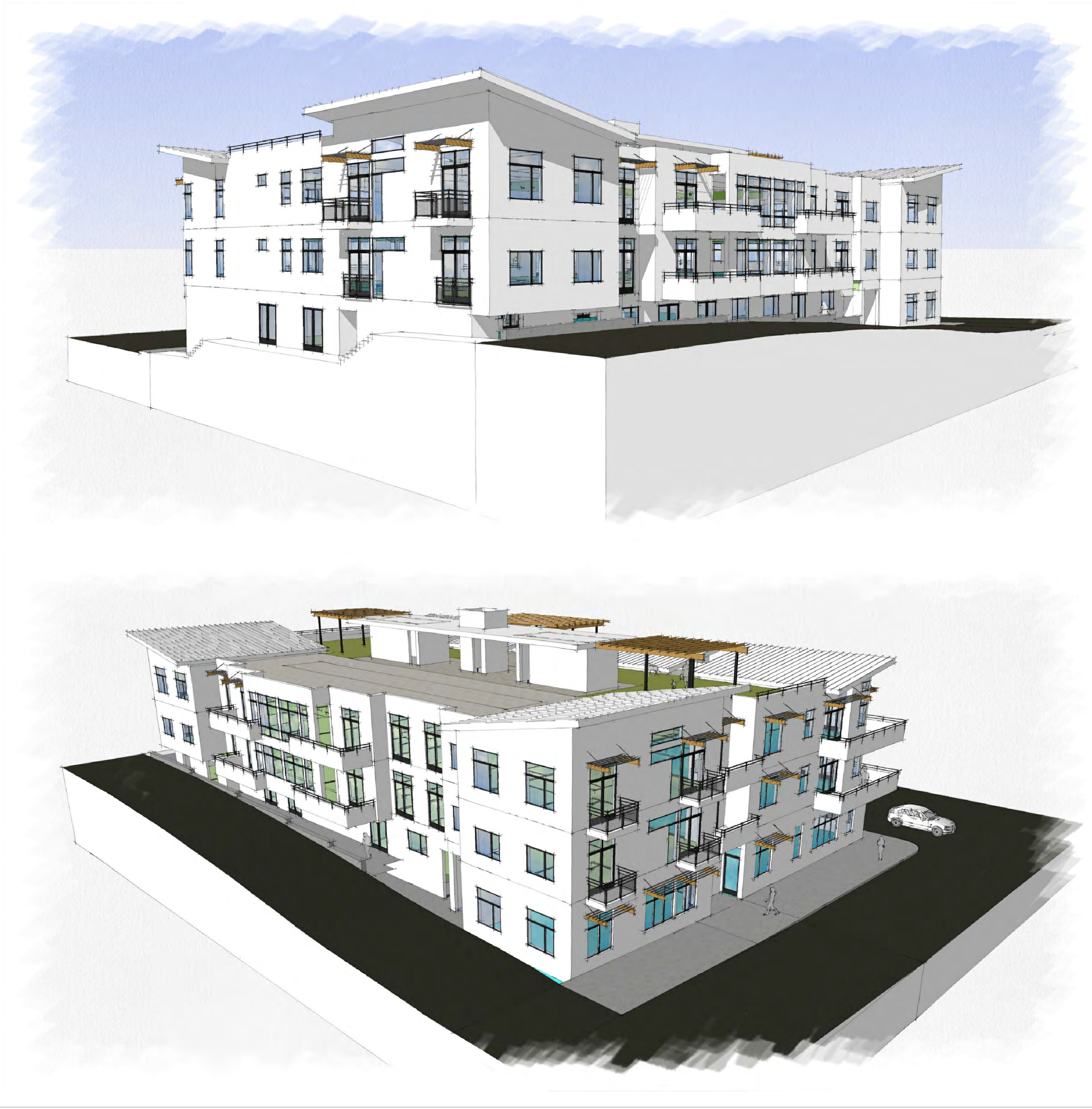
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	CHECKED BY	DPH, JJR	
	DATE	09/29/18	
	JOB NO.	1054	

260 N. 1st AVE  
 MIXED USE

LOTS 5, 6 & 7, BLOCK 38  
 KETCHUM TOWNSITE  
 KETCHUM, IDAHO

BUILDING  
 MASSING MODEL

A 0.5  
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	DATE	09/29/18	
	JOB NO.	1054	

**260 N. 1st AVE  
 MIXED USE**

LOTS 5, 6 & 7, BLOCK 38  
 KETCHUM TOWNSITE  
 KETCHUM, IDAHO

**BUILDING  
 MASSING MODEL**

1 BUILDING MASSING MODEL  
 A0.6

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260 N. 1st AVE  
MIXED USE

LOTS 5, 6 & 7, BLOCK 38  
KETCHUM TOWNSITE  
KETCHUM, IDAHO

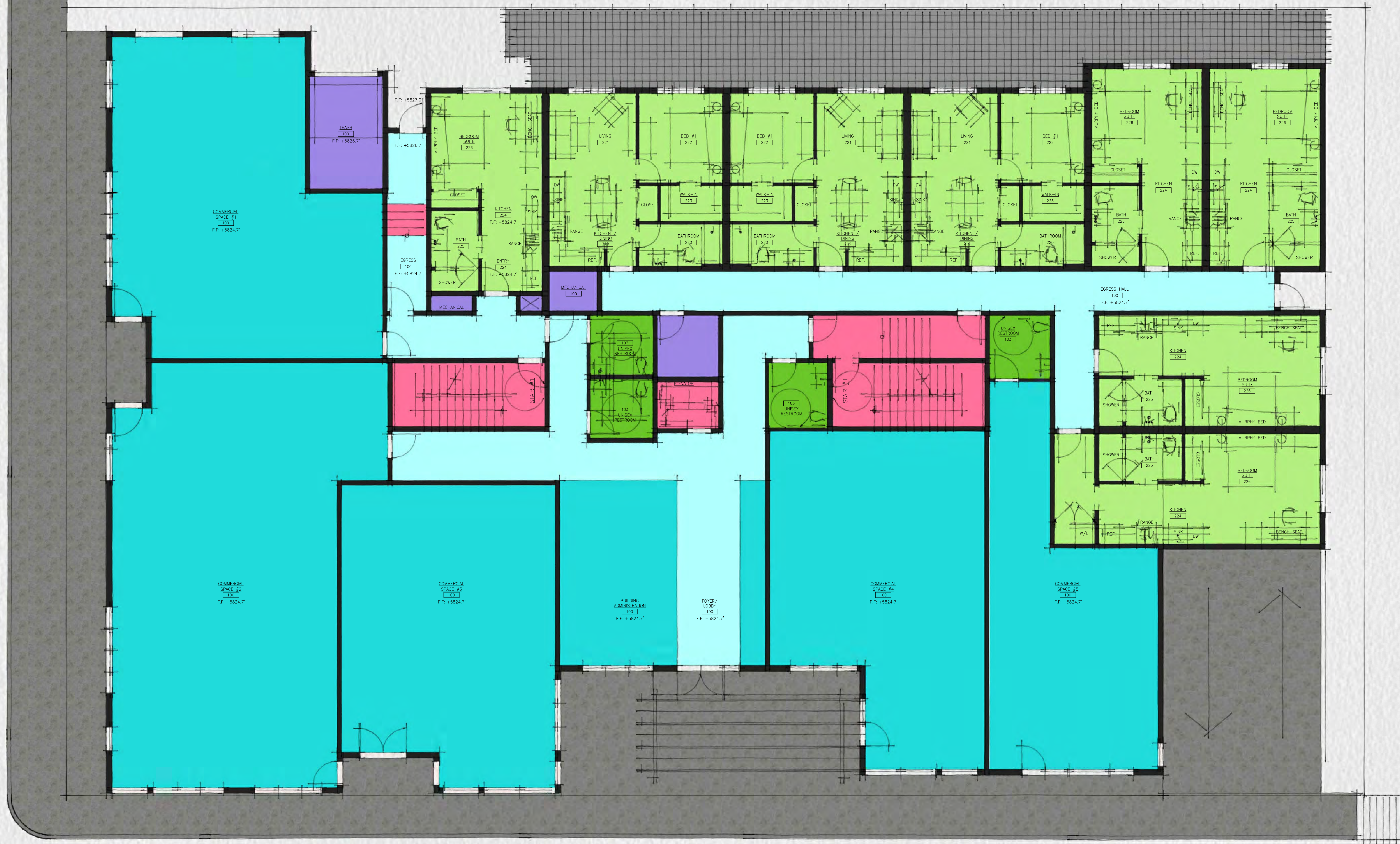
BUILDING  
MASSING MODEL

**A**      **0.10**  
CATEGORY      SEQUENCE



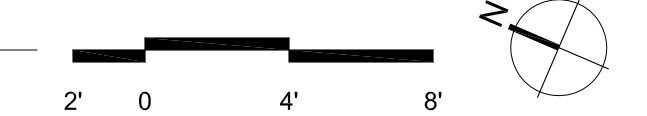


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- INTERIOR CIRCULATION
- (8) DEED RESTRICTED UNITS
- MECHANICAL ROOMS
- COMMERCIAL SPACES
- COMMERCIAL BATHROOMS
- VERTICAL CIRCULATION
- EXTERIOR SIDEWALK

1 GROUND LEVEL FLOOR PLAN  
 A2.2 SCALE: 3/16" = 1'-0"



REVISION DATE	ISSUE/DATE	PRE-AP DR
	11/13/18	DPH, JJR
	09/29/18	DPH, JJR
	1054	

260 N. 1st AVE  
 MIXED USE

LOTS 5, 6 & 7, BLOCK 38  
 KETCHUM TOWNSITE  
 KETCHUM, IDAHO

ARCHITECTURAL  
 FLOOR PLANS

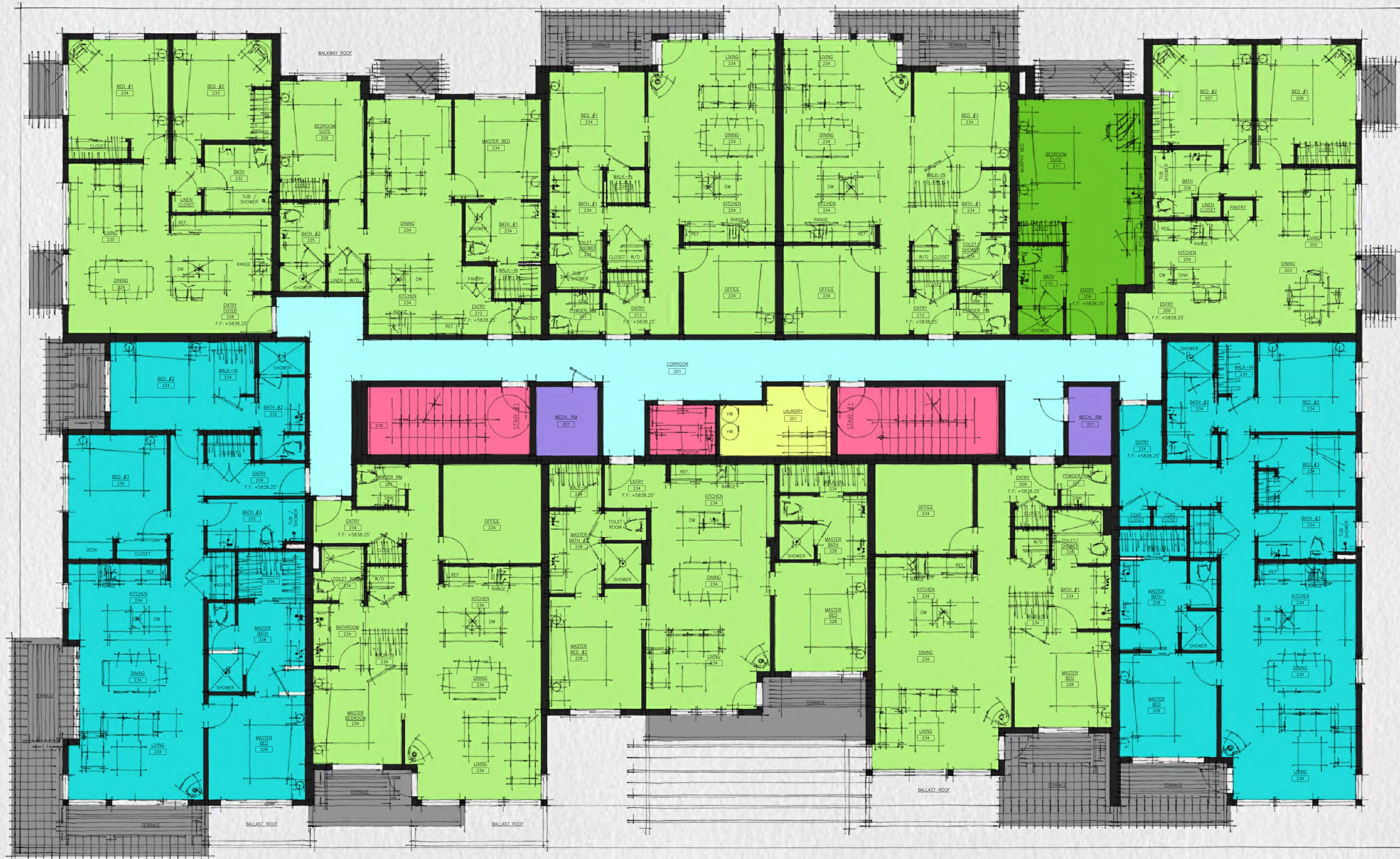
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 CATEGORY      SEQUENCE

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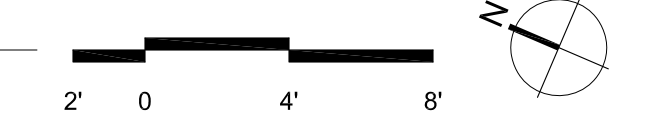


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- INTERIOR CIRCULATION
- LAUNDRY
- (1) DEED RESTRICTED UNIT
- MECHANICAL ROOMS
- (2) 3 BEDROOM APARTMENTS
- (8) 2 BEDROOM APARTMENT
- VERTICAL CIRCULATION
- EXTERIOR DECKS

1 2nd LEVEL FLOOR PLAN  
 A2.3 SCALE: 3/16" = 1'-0"



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	DATE	09/29/18	
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260 N. 1st AVE  
 MIXED USE

LOTS 5, 6 & 7, BLOCK 38  
 KETCHUM TOWNSITE  
 KETCHUM, IDAHO

ARCHITECTURAL  
 FLOOR PLANS

**A** **2.3**  
 CATEGORY SEQUENCE

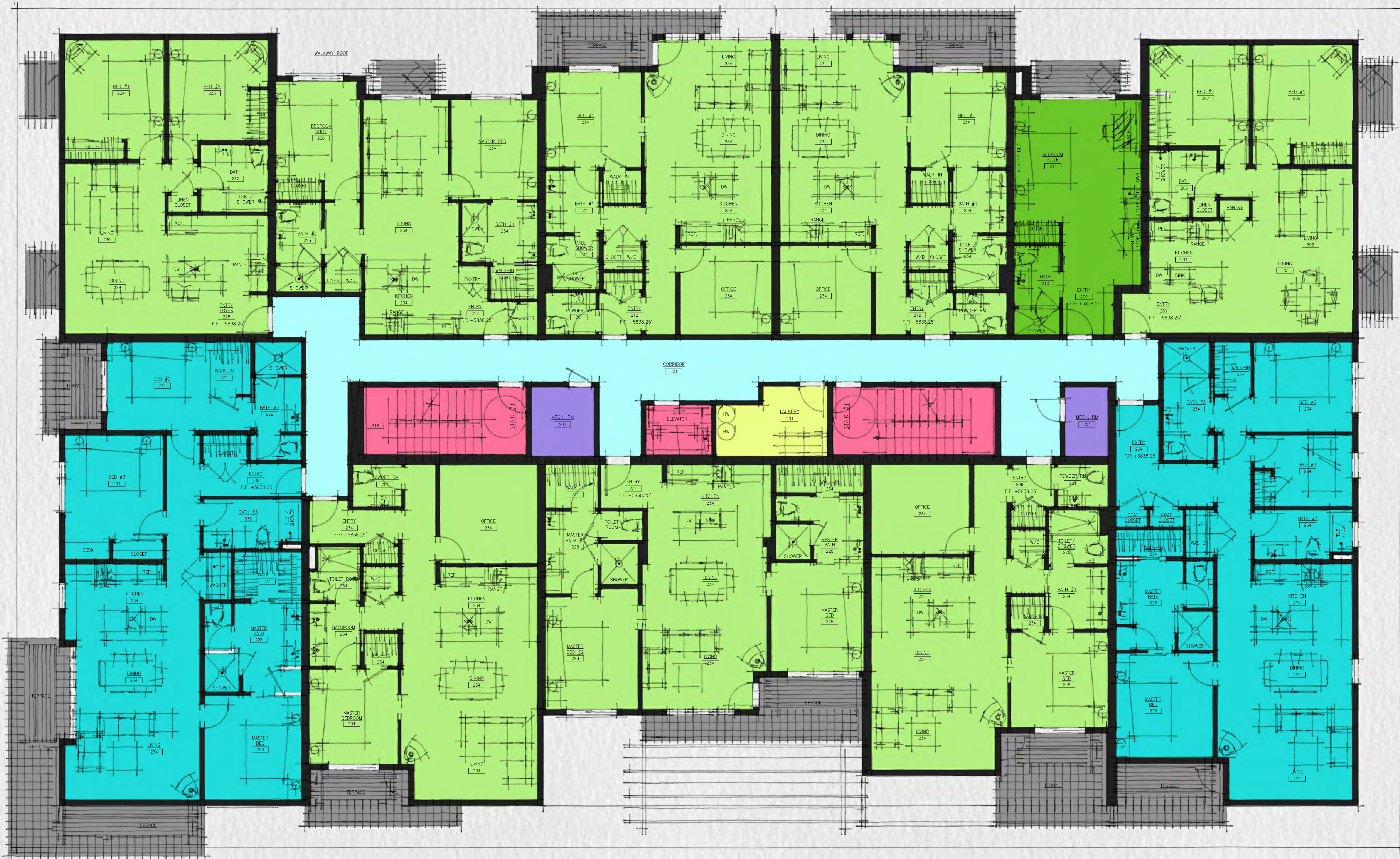
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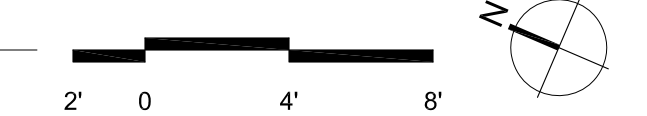
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- INTERIOR CIRCULATION
- (2) 3 BEDROOM APARTMENTS
- (8) 2 BEDROOM APARTMENTS
- LAUNDRY
- VERTICAL CIRCULATION
- MECHANICAL ROOMS
- (1) DEED RESTRICTED UNIT
- EXTERIOR DECKS

1 3rd LEVEL FLOOR PLAN  
 A2.4 SCALE: 3/16" = 1'-0"



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260 N. 1st AVE  
 MIXED USE

LOTS 5, 6 & 7, BLOCK 38  
 KETCHUM TOWNSITE  
 KETCHUM, IDAHO

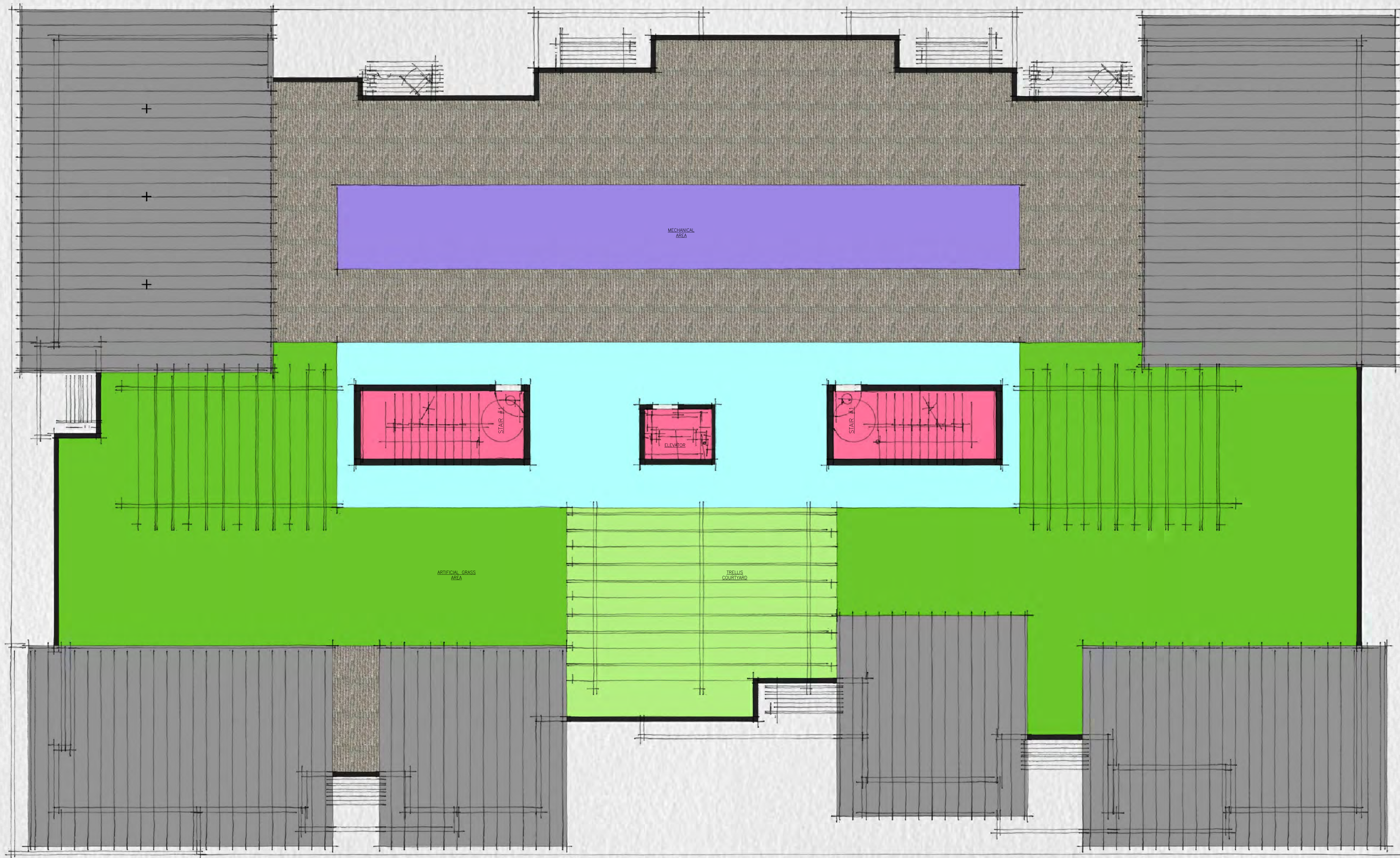
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 FLOOR PLANS

A 2.4  
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- EXTERIOR CIRCULATION
- TRELLIS COURTYARD
- GRASS ROOF
- MECHANICAL AREA
- VERTICAL CIRCULATION
- METAL ROOF

1 ROOF PLAN  
 A2.5 SCALE: 3/16" = 1'-0"



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260 N. 1st AVE  
 MIXED USE

LOTS 5, 6 & 7, BLOCK 38  
 KETCHUM TOWNSITE  
 KETCHUM, IDAHO

ARCHITECTURAL  
 FLOOR PLANS

A 2.5  
 CATEGORY SEQUENCE

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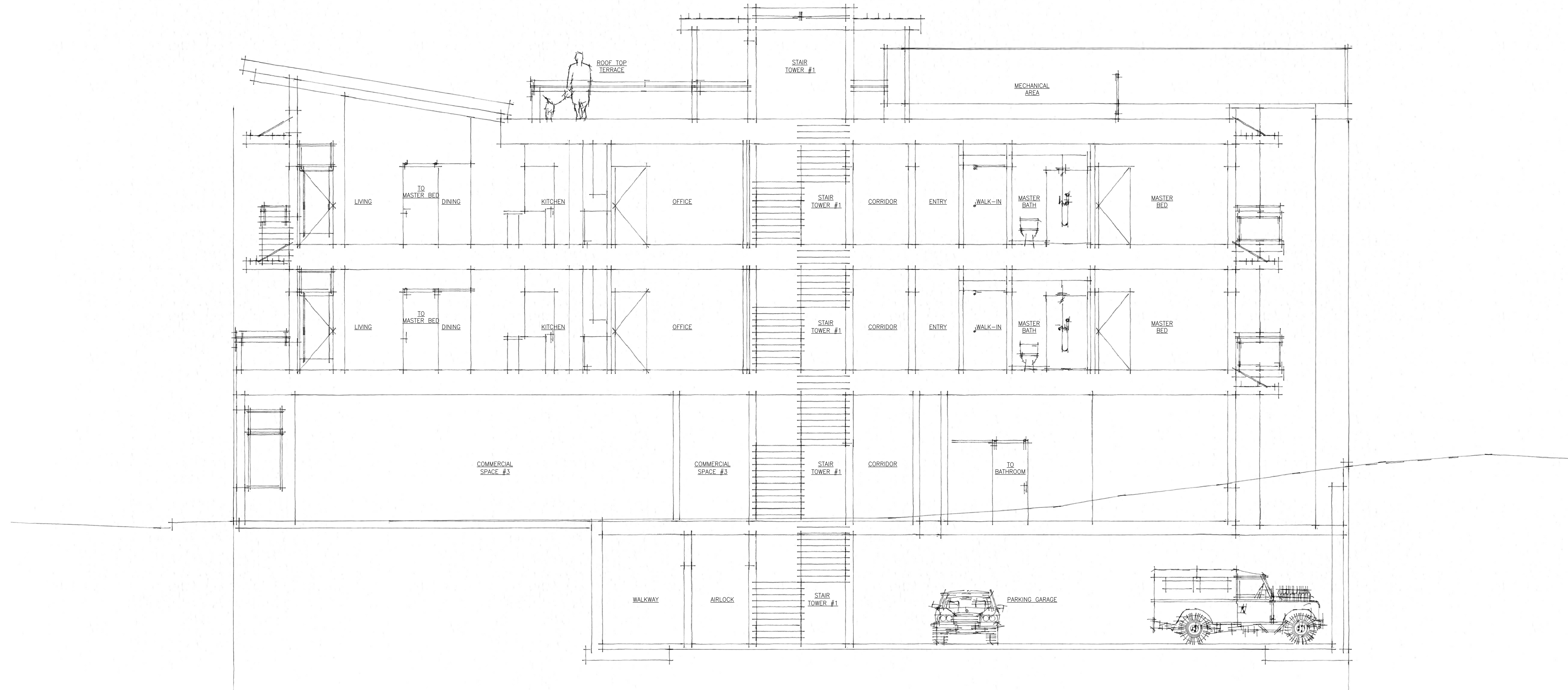




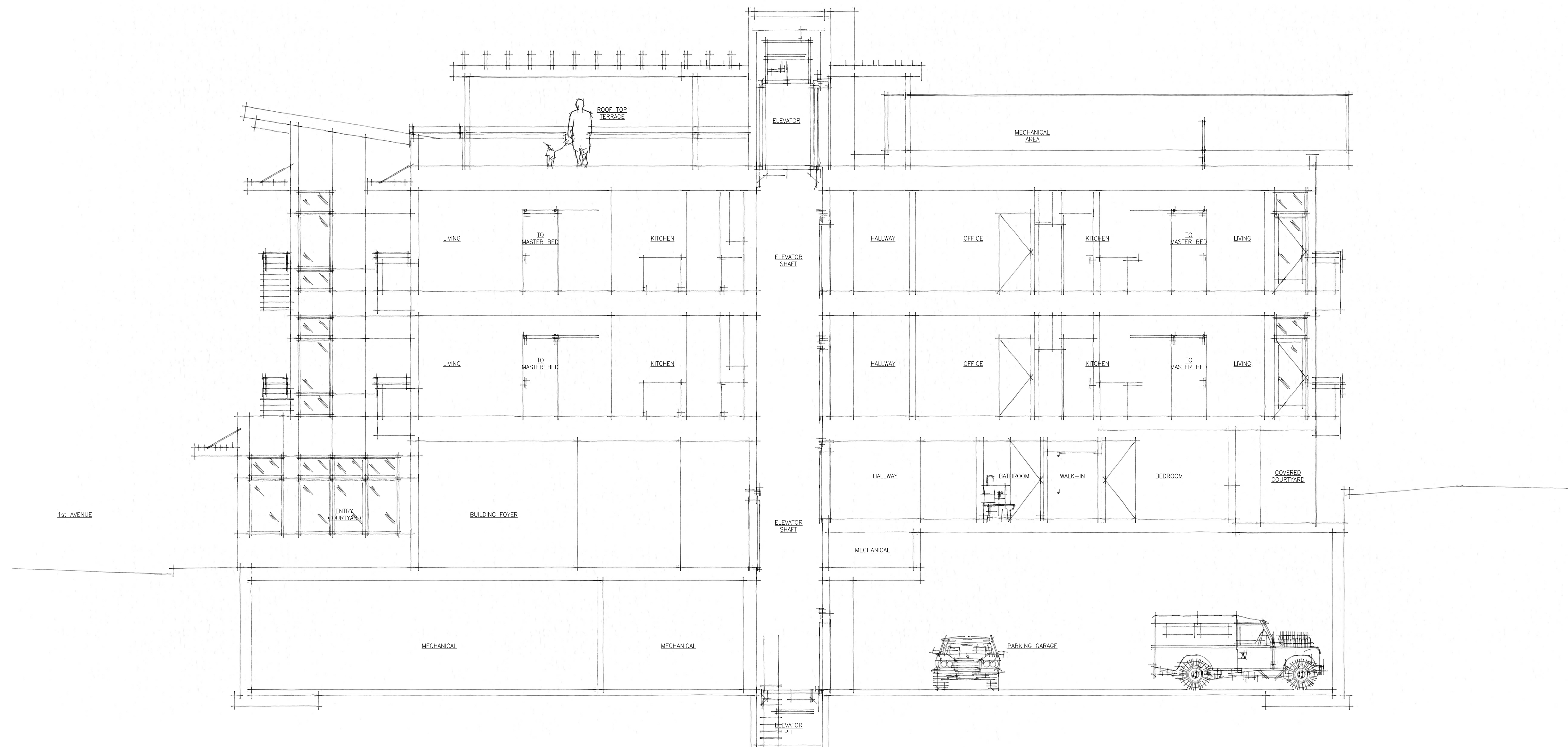




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**2** BUILDING SECTION-DD  
 A4.2 SCALE: 3/16" = 1'-0"



**1** BUILDING SECTION CC  
 A4.2 SCALE: 3/16" = 1'-0"

REVISION DATE

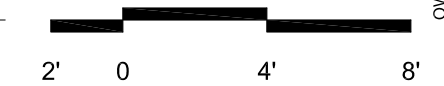
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**260 N. 1st AVE**  
**MIXED USE**

LOTS 5, 6 & 7, BLOCK 38  
 KETCHUM TOWNSITE  
 KETCHUM, IDAHO

ARCHITECTURAL  
 BUILDING SECTIONS

**A** **4.2**  
 CATEGORY SEQUENCE



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## ATTACHMENT D.

Project Data Sheet & Additional Dimensional Standards

# 260 N First Avenue Development Potential

Legal – Ketchum AM Lot 5A Block 38

Parcel Size – 16,507 SF

Dimensions – 165' on First Avenue, 100' on Sun Valley Road

Permissible Gross Density @ 2.25 Floor Area Ratio (FAR) = 37,140 SF

Approximate Net Saleable/Leaseable @ 85% efficiency = 31,570 SF

Community Housing Requirement (net SF)

20% of Gross FAR in excess of 1.0 FAR x 85% = 3510 SF

Can be satisfied on-site, off-site, or by payment in lieu (currently set at \$238/SF)

(10) units will be Deed restricted, mix of studio to 1 bedroom apts (**4,612** proposed sf, meaning that will be in excess **1,102 sf = \$262,276**)

Parking Requirement

Retail and Restaurant - None

Office - one space per 1,000 SF

Residential – one space over 750 (20 spaces required)

Project will provide 24 underground parking spaces, 4 more than requirements.

Maximum Building Height

42 Feet

Stairway/elevator to roof garden may exceed maximum height up to 10 feet

Setbacks

Sun Valley Road - average of 5 feet

1<sup>st</sup> Avenue North - average of 5 feet

Alley - 3 feet

South Side – 0' (we are proposing a 5'-0" setback)

Price \$2,400,000

**From:** [Daniel Hollis](#)  
**To:** [Abby Rivin](#)  
**Subject:** 260 1st Ave North additional info  
**Date:** Wednesday, November 21, 2018 11:44:04 AM

---

Hey Abby,

Here are some additional numbers for the 260 1<sup>st</sup> Ave North Mixed Use project that we didn't submit with the original submittal.

1<sup>st</sup> Ave North average setback of 5' = 800 sf from property line is required, we are proposing 939 sf  
SV Road average setback of 5' = 500 sf from property line is required, we are proposing 551 sf

I think you can see on the building envelope diagrams that our entire building fits within the 42' high envelope, except partial of the stair tower # 1 and the elevator tower which are 38" above the 42' height plane, but we get the extra 10' at these locations as per the code / ordinance of non-habitable structures at 52'

Let me know if you need anything else, have a great turkey day tomorrow.

Regards,

***Daniel P. Hollis***

**Hollis Rumpeltes Architects, AIA, NCARB, LEED AP BD+C**



Office: 208.721.7160

220 River Street

Ketchum, Idaho 83340

Mail: PO Box 1769 Sun Valley, ID 83353

[www.hr-architects.net](http://www.hr-architects.net)

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ATTACHMENT E.  
EXISTING SITE PICTURES



PO Box 1769 [post]  
Sun Valley, ID 83353  
220 River Street, East [courier]  
Ketchum, ID 83340  
v 208.721.0633 / 208.721.7160

## EXISTING SITE PICTURES



Birds eye from NE Corner



Birds eye from North





Birds eye from NW Corner #1



Birds eye from NW Corner #2



Birds eye from West



Birds eye from SW Corner

ATTACHMENT F.  
MATERIALS INFORMATION



PO Box 1769 [post]
Sun Valley, ID 83353
220 River Street, East [courier]
Ketchum, ID 83340
v 208.721.0633 / 208.721.7160

MATERIALS INFORMATION:

Western Rib Siding Reizbond (grey)

Specifications

Material Type:

Western Rib® Metal Roofing and Siding Panels

Rib Distance (Pitch)

7.2"

Rib Height:

1.5"

Available Gauges:

20, 22,24, 26

Substrate:

AZ50 Minimum (Galvalume®/Zincalume®)

Fasteners:

Exposed

Panel Length:

1' to 52'

Recommended Minimum Roof Slope:

1/12

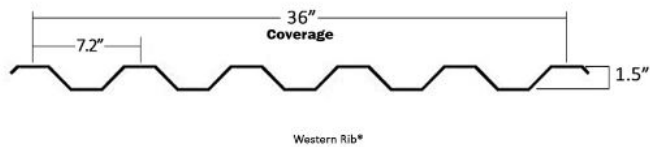
Coverage for Roof and Wall Application:

36"

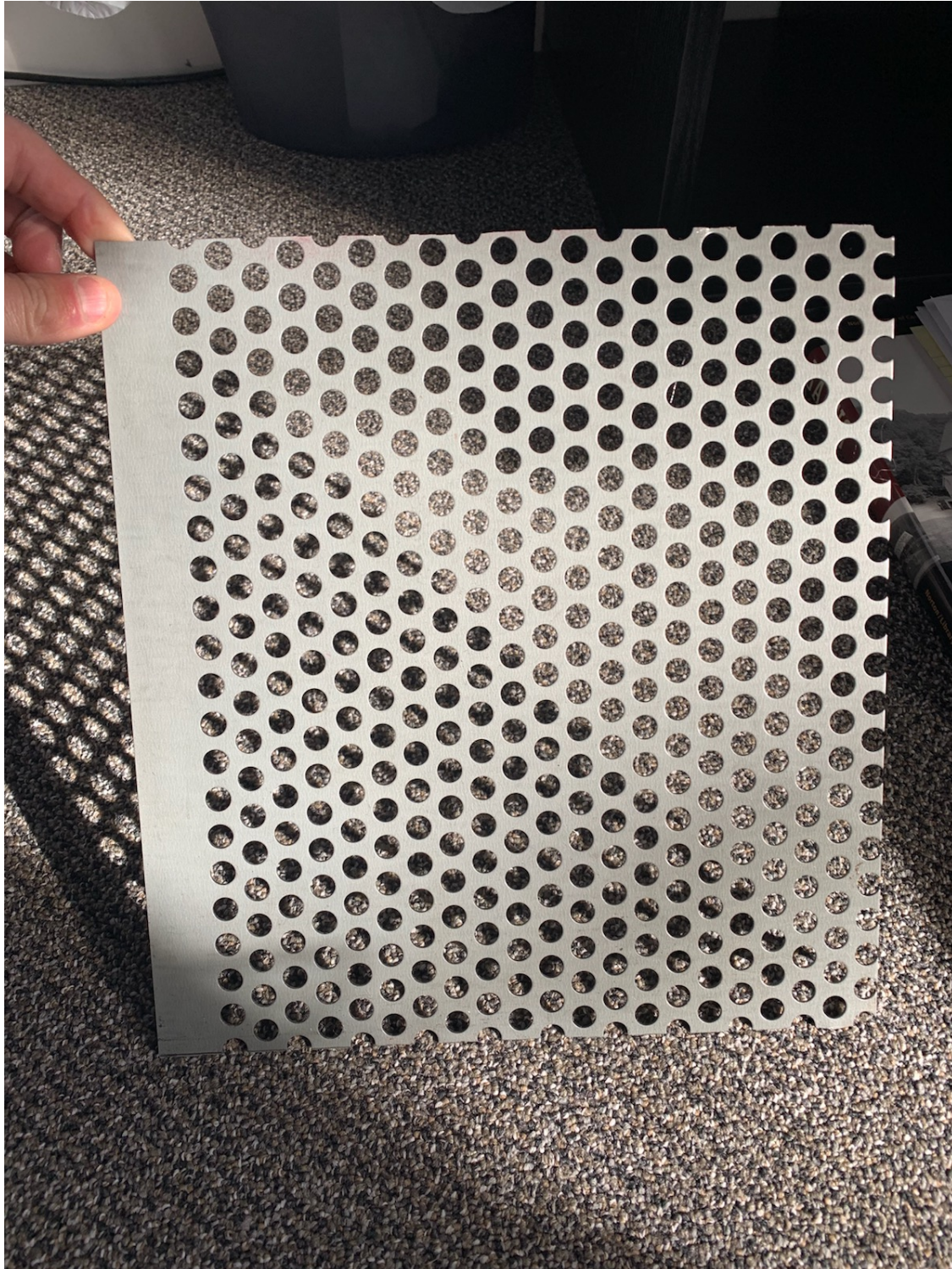
Installation

Can be installed over an open purlin system or a solid substrate.

Use bead mastic on the overlap if used for a roofing application.



## Perforated ZALMAG panels (grey)



# Stonewood Panels / Siding (color unknown)

## About Stonewood Panels

- Solid phenolic panels for use as open joint exterior cladding or interior wall covering
- **Manufactured by Fibersin in Wisconsin, USA**
- Exceptional product quality and competitive pricing
- Reliable, on-time delivery
- **Low minimum orders**

## Cladding Built to Last

- Non-porous surface, easy to clean; graffiti and scratch resistant
- Simplified long-term maintenance, replace singular panels as required
- Highly impact resistant, ideal choice for heavy traffic areas
- Available with Class A or B fire rating
- **Passed stringent NFPA 285 Standard Fire Test for wall assemblies.**
- Standard and custom thicknesses available
- In-house routers can shape panels to specific sizes and shapes
- UV resistant
- Standard ten (10) year warranty

## Panels for Every Purpose

- **Division 07-42 Solid Phenolic Exterior Wall Cladding**
- **Division 09 Finishes (Interior)**
- Suited for all construction types: commercial, hospitality, mixed-use, municipal, multi-family, healthcare and institutional
- Interior panels optimized for use as elevator panels, soffits, entryways, lobbies, common areas and more

## Straightforward Installation and Attachment

- **Attach using non-proprietary exposed fastener systems (exterior) or threaded fasteners (interior)**
- On-site or factory fabrication options
- Self-edging or traditional edge treatments

## Environmentally Responsible

- Proudly offered with Forest Stewardship Council® certification
- Production energy sourced from in-house scrap materials
- Kraft fibers extracted from sustainability-managed forests
- BIFMA® level certified manufacturing facility

## Outstanding Customer Service

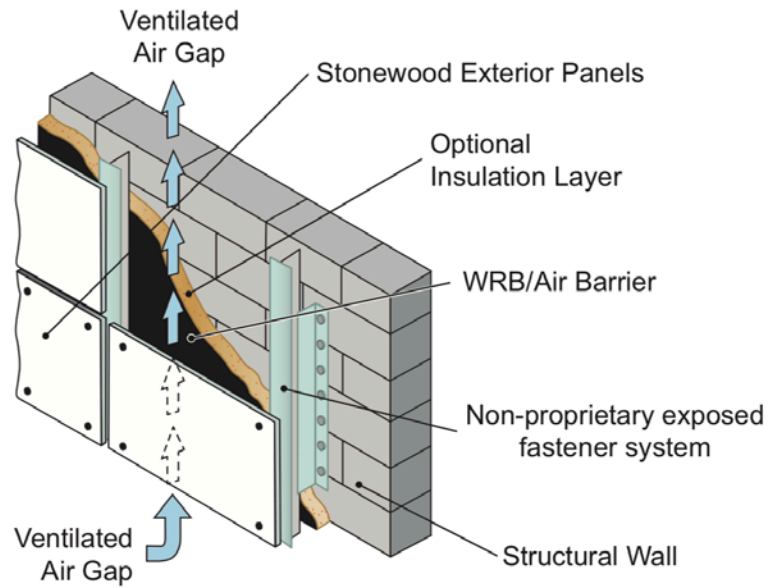
- Wisconsin-based customer service available via phone 7:30am – 4pm CST



- Quick sample turnaround
- Mock-up materials available
- Local representation in most states

<http://stonewoodpanels.com/home/about-stonewood>

### ***Phenolic Exterior Wall Cladding***



### **SECTION 07 42 43 COMPOSITE WALL PANELS**

See pages following for design intent imagery for materials used on previous projects.

ATTACHMENT G.  
EXISTING SIMILAR PROJECT TYPES



PO Box 1769 [post]  
Sun Valley, ID 83353  
220 River Street, East [courier]  
Ketchum, ID 83340  
v 208.721.0633 / 208.721.7160

## EXISTING SIMILAR PROJECT TYPES

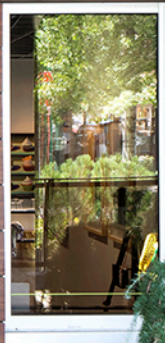
The following pages show similar project types that HRA have completed. These represent a similar material choice, design aesthetic, lighting specs, hand-rail and trellis details. These images will help denote the finish level that HRA proposes for the 260 1<sup>st</sup> Avenue North Mixed use project.

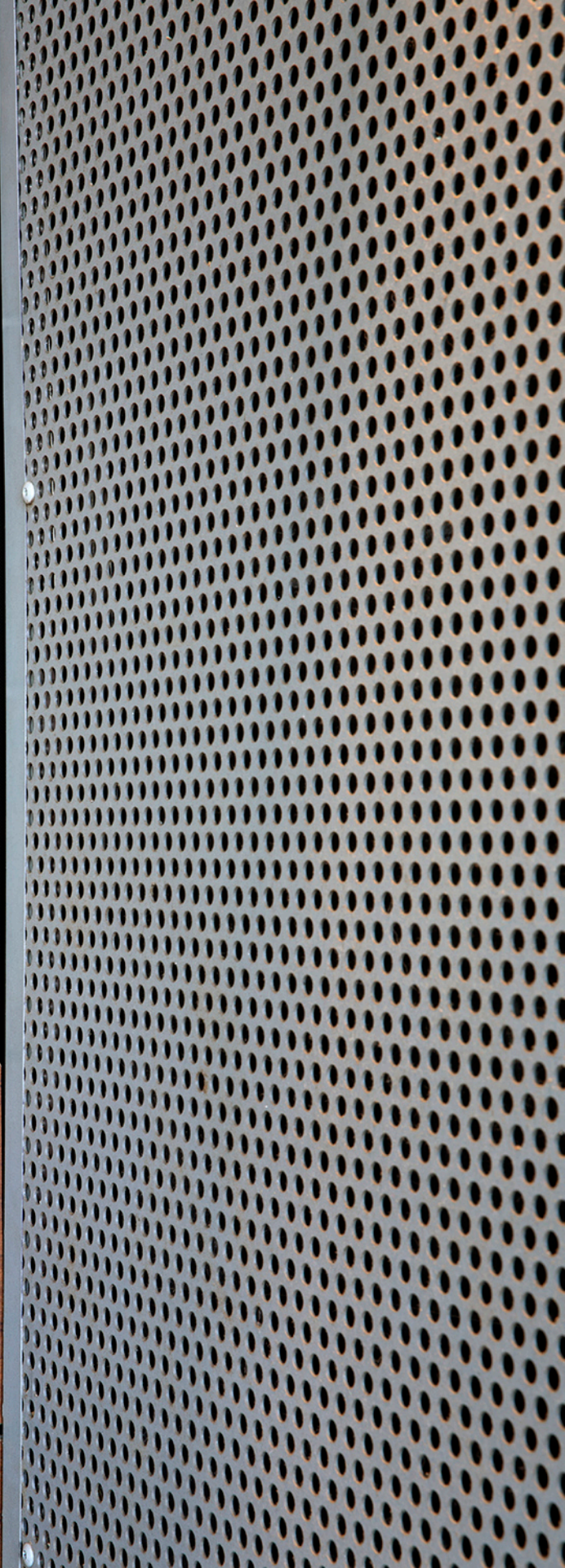




CENTRAL AVENUE REAL























**TUNDRA**



CENTERLYNE

SORRY WE  
ARE  
CLOSED



CENTERLYNE

TUNDRA

**CENTERLYNE**  
WEB & GRAPHIC DESIGN + SOCIAL MEDIA MARKETING + SEO

TUNDRA







CENTERLYNE

TUNDRA

CARS4U2  
208-288-7708  
ID: 1591



TUNDRA



CENTERLYNE  
A COMMUNITY CENTER FOR THE NORTHWESTERN TUNDRA

TUNDRA