



City of Ketchum  
Planning & Building

February 18, 2015

Limelight Hotel Design Review Subcommittee  
City of Ketchum  
Ketchum, Idaho

**MEMO**  
**LIMELIGHT HOTEL DESIGN REVIEW SUBCOMMITTEE**  
**SPECIAL MEETING OF APRIL 22, 2015**

**PROJECT:** Limelight Hotel, formerly Bald Mountain Lodge

**FILE NUMBER:** 07-015

**OWNERS:** Limelight Ketchum LLC , formerly Bald Mountain Lodge LLC

**REPRESENTATIVE:** Don Schuster, VP Hospitality, Aspen Skiing Company

**REQUEST:** Community Core Design Review Modification

**LOCATION:** Ketchum Townsite Amended Lot 1A, Block 20 (151 South Main Street)

**NOTICE:** Notice was posted at City Hall and on the City's website calendar on April 17, 2015.

**ZONING:** Community Core (CC), Subdistrict A, Retail Core

**REVIEWER:** Rebecca F. Bundy, Senior Planner / Building and Development Manager

**ATTACHMENTS:**

- A. Applicant Submittal
- Bicycle Rack Locations, dated April 14, 2015
  - L4.1 Planting Plan, dated March 27, 2015
  - A-211 Exterior Finish Elevations, dated March 27, 2015
  - A-212 Exterior Finish Elevations, dated March 27, 2015
  - A-901 Model Views, dated March 27, 2015
  - C-100 Grading and Drainage Plan, dated April 14, 2015
  - L-1.0 Site Illustrative Plan, dated March 27, 2015
  - Rooftop Equipment Screening, dated April 10, 2015
  - Master Sign Plan, dated April 6, 2015
- B. Planning and Zoning Commission Design Review Modification Findings of Fact, dated April 2, 2015.
- C. Approved Plan Set, dated February 9, 2015

## BACKGROUND

1. The Limelight Hotel Development Agreement calls for a Design Review Subcommittee to be formed to review matters delegated to it by the Commission and any Owner-requested non-material changes to the approved Design Review. The Committee was appointed by the City Council on January 5, 2015. The Committee consists of Rich Fabiano, former Commissioner, Erin Smith, current Commissioner and Micah Austin, Planning and Building Department Director. At their discretion, the Subcommittee may refer items to the full Commission, if they feel the item warrants more review.
2. The Planning and Zoning Commission Design Review Modification Findings of Fact, dated April 2, 2015, delegate the following items to the Subcommittee:
  - Exterior finish materials
  - Exterior lighting plan
  - Bicycle rack plan
  - Utility equipment screening
  - Rooftop mechanical equipment screening
  - Fence and wall design
  - Signage master plan
  - Landscaping
  - Sidewalk and street improvements
3. The applicant is currently seeking approvals for the following items:
  - Exterior finish materials
  - Bicycle rack plan
  - Rooftop mechanical equipment screening
  - Signage master plan
  - Landscaping
  - Sidewalk and street improvements
4. The City Engineer has reviewed and approved the sidewalk and street improvement design, and the City Council will review the design of Washington Avenue, as required by the Development Agreement, on April 20, 2015. Since the approval of the original development agreement in 2010, the City has gained more experience with paver sidewalks and street bulb-outs. The pavers have not held up well under our climate's freeze and thaw cycles, and the bulb-outs have suffered severe damage due to snow removal. The sidewalk design as currently proposed consists of ten foot wide, concrete sidewalks on all four (4) street frontages, with a vertical six (6) inch curb and gutter. The City Council will consider amendment of the Development Agreement on April 20, 2015 to remove the sidewalk requirements therein for bulb-outs and pavers.
5. The City Arborist has yet to comment on street trees, on-site trees and shrub species. He has approved the right-of-way streetscape design.
6. Sections of the Ketchum Municipal Code, Chapter 17.64, Design Regulations, pertaining to the requested approvals are evaluated below:

## Design Review Requirements

### DESIGN REGULATIONS: 17.64.020

Compliant			Standards and Staff Comments	
Yes	No	N/A	Standard Number	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.E.1. All Building Facades	<p>a. Facades shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and glass curtain walls. Blank walls on all facades that front a park, street, avenue, alley, plaza, or other public spaces are prohibited.</p> <p>b. On all facades, a clear visual distinction between each floor shall be provided.</p> <p>c. Stairways shall have a design that is compatible with overall structure. Stairs shall not have a tacked on appearance or look like their design was an addition or afterthought.</p> <p>d. All sides of the facade shall be designed with similar architectural elements, materials, and colors as the front facade. However, the design of side and rear facades may be simpler, more casual, and more utilitarian in nature.</p> <p>e. If a portion of an existing building is modified, it shall use the same building materials, details, and color applications as the rest of the building. For example, if a portion of a brick facade with wood framed windows and doors is modified, the modified portion of the facade shall use bricks, details, and wood frame windows and doors that are compatible with the other parts of the building.</p> <p>f. Additions to existing buildings shall be designed with a style, materials, colors, and details that are compatible with the existing structure.</p>
			<i>Staff Comments</i>	<i>The applicant has included further refinement of the facades. The above criteria continue to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.I. 1. Roofs	<p>a. Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</p> <p>b. A relatively consistent roof design (including overhangs, pitch, fascia, materials and eaves) shall be provided on all sides of the building.</p> <p>c. All roofs shall be designed with snow clips, gutters, and downspouts to prevent water damage and stains on building facades, and to protect pedestrians and adjoining properties from dripping water and sliding snow.</p> <p>d. Mechanical equipment on roofs shall be screened from public view from all sidewalks, plazas, parks, public spaces, and pedestrian walkways.</p> <p>e. Roof overhangs, such as cornices, and eaves, may extend out from the facade of the building. However, roof overhangs shall not extend over a neighboring parcel or more than three feet (3') over a public sidewalk.</p>
			<i>Staff Comments</i>	<i>The Commission has approved the flat roof design, rooftop stair access and elevator overrun, but asked the applicant to provide greater detail on the rooftop mechanical screening. The applicant has determined the necessary height of the cooling towers, proposed to be located at the center of the roof above the main lobby. They are proposed at ten feet in height, with an eight foot tall screening fence. A three foot tall roof pop-up at that location has been eliminated to help lower the height of the cooling towers. The remaining HVAC equipment will be lower than the cooling towers and will be screened by five foot tall screening fences. The rooftop access stair tower and elevator overrun are proposed to be ten feet tall above the roof. By changing to a flat roof design and eliminating the roof pop-up, the tallest rooftop items exceed the allowed building height by about 4.5 feet. The code allows rooftop accesses to exceed the allowed building height by ten feet and does not address the height of rooftop mechanical equipment. Please refer to the applicant's Rooftop Equipment Screening renderings to see the visibility of the rooftop items from vantage points on Main, First and River Streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.Q.1. Mechanical And Electrical Equipment	<p>1. The following shall not be located within the public right of way and shall be screened from public views from streets, pedestrian walkways, sidewalks, plazas, and public spaces:</p> <ul style="list-style-type: none"> <li>a. Electric and water utility meters.</li> <li>b. Power transformers and sectors.</li> <li>c. Heating/ventilation/cooling equipment.</li> <li>d. Irrigation and pool pumps.</li> </ul>

Yes	No	N/A	Standard Number	City Standards and <i>Staff Comments</i>
				<p>e. Satellite dishes greater than eighteen inches (18") in diameter.  f. Antennas.  g. Rooftop mechanical equipment.  h. Other mechanical equipment.</p> <p>2. Appropriate methods of screening include fencing, landscaping, roof parapets, and equipment enclosures. The design of screening devices shall be compatible with the main structure and conform to other sections of this code. Noise levels of mechanical equipment shall be minimized. All utility and communication lines serving the site shall be underground.</p> <p><i>Staff Comments</i>  See the discussion on rooftop mechanical screening above. Screening of ground level mechanical equipment has not been addressed at this time. This standard has been met with the condition that screening of mechanical equipment other than the rooftop equipment should be considered with the future required fence and wall review by the Subcommittee.</p>
☒	☐	☐	17.64.020.R.1. Landscaping: The regulations and guidelines in this subsection apply to private property, including parking lots. Regulations and guidelines for the landscaping of streets are provided in subsection X, "Streets And Streetscapes", of this section.	<p>a. The following areas shall be landscaped and regularly maintained to be free of weeds, overgrown vegetation, and litter:</p> <ol style="list-style-type: none"> <li>(1) Unpaved portions of the site visible from public streets, sidewalks, plazas, parks, and other public spaces.</li> <li>(2) Common outdoor areas within any development.</li> <li>(3) Private and public surface parking lots.</li> </ol> <p>b. Landscaping treatments shall include a combination of trees, grasses, shrubs, flowering plants, and flowers.</p> <p>c. All landscaped areas shall be irrigated with automatic drip irrigation systems that do not produce overspray on surfaces outside the planting area.</p> <p>d. All new trees planted in the community core district shall be species that are recommended and approved by the city arborist. All new trees shall have a caliper size of three inches (3") measured twelve inches (12") from the ground. If the species is not available in this size, a caliper of two and one-half inches (2 1/2"), measured twelve inches (12") from the ground, will be acceptable. Evergreen trees shall be at least eight feet (8') tall when planted. All trees shall have a minimum height of fourteen feet (14') when fully grown.</p> <p>e. In order to provide adequate pedestrian clearance, trees shall be pruned regularly so that there is at least seven feet (7') of vertical clearance between the lowest branches of the tree and the grade of the adjacent sidewalk or pedestrian walkway. They shall also be pruned to maintain the health, vigor, and natural shape of the tree, and to maintain vehicular clearance and sight lines.</p> <p>f. All trees shall have an adequately sized planting area. The size of the planting area shall be based on the amount of room needed for tree roots. Root barriers shall be used when trees are planted near pedestrian walkways and sidewalks.</p> <p>g. Shrubs shall have a minimum five (5) gallon container size.</p> <p>h. An exception to a development specification or design regulation (such as the built to line specification) is allowed if the exception will protect and preserve an established, healthy, and mature tree on the site. In cases where such a tree is protected and preserved, the exception to the development specification or design regulations shall be granted with verification of the city arborist and shall not require approval by the planning and zoning commission or city council. When proposed underground parking prohibits the preservation of mature and healthy trees, an assessment of alternatives shall be made by the planning department, city engineer, city arborist and the applicant. Such an assessment will include consideration of a parking demand plan.</p> <p>i. When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</p> <p>j. All landscaping shall be maintained in a healthy and attractive state and shall be watered, weeded, generally maintained, and replaced (if necessary) by the property owner/property manager.</p> <p>k. Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</p> <p>l. The city arborist shall approve all parking lot trees. Trees that do not drop heavy cones, sap, fruit, and seedlings shall be selected to minimize potential damage to cars in the parking lot.</p> <p>m. All surface parking lots shall be designed with the following landscaping</p>

Yes	No	N/A	Standard Number	City Standards and <i>Staff Comments</i>
				<p>features:</p> <p>(1) The use of porous or pervious surfaces in the parking lot design. These surfaces reduce the volume and rate of storm water runoff and can add to the visual character of the parking lot.</p> <p>(2) Landscaped planters shall be located between public sidewalks and parking lots. Landscaped planters shall be at least five feet (5') wide and shall be planted with a combination of shrubs, trees, and flowering plants. Planter walls shall be limited to a height of twenty four inches (24").</p> <p>(3) Trees may be planted in landscaped planters, tree wells in pedestrian walkways, and/or diamond shaped planter boxes located between parking rows. Diamond shaped planter boxes and tree wells shall be at least five feet (5') square. Tree gates and root guards shall be required for trees planted within pedestrian walkways.</p> <p>(4) Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</p>
			<i>Staff Comments</i>	<p><i>The proposed landscaping includes 15 street trees with grates, 8 on-site trees in planters and a mix of hardscape and landscaping. Specific species are not called out. Deciduous trees are called out at 3 inch caliper and evergreen trees at 10 feet in height. About 100 five gallon shrubs are proposed in addition to some ornamental grasses. Tree grates are proposed for trees located in pedestrian walkways. This standard has been met with the condition that final street tree species shall be approved by the City Arborist prior to installation of said trees.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.U.1. Plazas, Pedestrian Walkways And Courtyards	<p>a. All plazas, pedestrian walkways, and courtyards shall be designed with an ornamental surface that is differentiated from the sidewalk and asphalt streets and parking lots. Appropriate types of ornamental paving include:</p> <p>(1) Natural stone.</p> <p>(2) Turf block.</p> <p>(3) Brick.</p> <p>(4) Concrete unit pavers.</p> <p>(5) Concrete with special textures, colors, and patterns.</p> <p>b. At least two (2) sides of a plaza or courtyard shall be defined by building facades with active ground floor uses (such as restaurants, retail stores, cafes, bars, etc.). Edges that are not defined by building facades shall be defined with landscaping features, such as trees, low planters, seating, a pergola with vines, or sculptures.</p> <p>c. All plazas and courtyards shall be designed with pedestrian amenities, such as seating, outdoor dining tables with umbrellas, winter ice rinks, planters, trees, vine covered pergolas, pedestrian scaled lighting, public artwork, outdoor fireplaces, and fountains.</p> <p>d. Plazas shall be illuminated from dusk to dawn. A combination of overhead lighting and lighted bollards shall be used.</p> <p>e. Plazas, pedestrian walkways, and courtyards that are paved shall be kept clear of snow and ice to ensure that the space is usable throughout the year.</p>
			<i>Staff Comments</i>	<p><i>The civil plans show landscape plans show a mix of regular concrete and decorative concrete on the sidewalk in the public right of way. The landscape plans show a different hardscape surface for the walking and driving areas on-site. Pedestrian amenities, including art work, places to sit, and outdoor fireplaces are proposed. The Subcommittee may approve the design concept as submitted, but, as a condition of approval, final hardscape materials shall be reviewed and approved by the Subcommittee prior to installation.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.W.1. Bicycle Parking	<p>a.</p> <p>(1) All developments within downtown are required to have bicycle parking. The minimum number of bicycle racks shall be determined by whichever of the following is greater:</p> <p>(A) Two (2) bicycle racks per use or business.</p> <p>(B) A number of bicycle racks that equals twenty percent (20%) of the required auto parking.</p> <p>(C) Two (2) bicycle racks per lot.</p> <p>(2) Schools are required to provide a minimum of one bicycle rack per ten (10) students or ten percent (10%) of required auto parking, whichever is greater.</p>

Yes	No	N/A	Standard Number	City Standards and <i>Staff Comments</i>
				<p>Recreation uses are required to provide a minimum of five (5) bicycle racks or ten percent (10%) of required auto parking, whichever is greater.</p> <p>b. A single bicycle rack shall meet the following criteria:</p> <ol style="list-style-type: none"> <li>(1) Support the bicycle upright by its frame in two (2) places.</li> <li>(2) Prevent the wheel of the bicycle from tipping over.</li> <li>(3) A U-lock should be able to lock the front wheel and the down tube of an upright bicycle or lock the rear wheel and seat tube of the bicycle.</li> </ol> <p>c. Two (2) or more single racks may be mounted in a row on a common base or attached in a row to a frame.</p> <p>d. Inverted "U" racks mounted in a row should be placed thirty inches (30") apart (on center) allowing enough room for two (2) bicycles to be secured to each rack and providing easy access to each bicycle.</p> <p>e. The rack should be anchored so that it cannot be stolen with the bikes attached. Racks that are large and heavy enough such that the rack cannot be easily moved or lifted with the bicycles attached do not have to be anchored.</p> <p>f. Bicycle racks may be placed on private property and public sidewalks. In both cases, the racks shall not be placed so that they block the entrance or inhibit pedestrian flow in or out of the building. If placed on a sidewalk or pedestrian walkway, they should be placed so that at least five feet (5') of sidewalk width is maintained.</p> <p>g. Where multiple racks are installed in rows with aisles separating the rows, the following dimensions apply:</p> <ol style="list-style-type: none"> <li>(1) Minimum aisle width should be forty eight inches (48"). The aisle is measured from tip to tip of bike tires across the space between racks.</li> <li>(2) Minimum depth should be seventy two inches (72") for each row of parked bicycles.</li> <li>(3) Areas with a high turnover rate should have a minimum aisle width of seventy two inches (72") and should have more than one entrance.</li> </ol> <p>h. Racks shall be mounted within fifty feet (50') of the entrance it serves, or as close as the nearest car parking space, whichever is closer.</p> <p>i. Racks shall be clearly visible from the entrance it serves.</p>
			<i>Staff Comments</i>	<p><i>12 bicycle racks have been proposed to accommodate parking for 24 bicycles. 24.6 bicycle parking spaces are required, based on the vehicular parking requirement of 123 spaces. However, additional bicycle parking is proposed to be provided on-site and within a 680 sf room in the building. The applicant should provide more information about bicycle parking on-site and within the building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.X.1. Streets And Streetscapes	<p>a. Streetscape improvements shall be designed in compliance with the city approved cross sections for downtown streets.</p> <p>b. On street parallel parking spaces shall have a dimension of eight feet by twenty feet (8' x 20') (for non-ADA accessible spaces). On street angled parking spaces shall be provided at a forty five (45) to sixty degree (60°) angle. Angled parking spaces shall have a depth of eighteen feet (18') (as measured perpendicular from the curb face), and a width of nine feet (9') (as measured perpendicular to the stripes of the parking stall). A minimum distance of twenty feet (20') is required from the crosswalk or stop sign line to the first parking space.</p> <p>c. The sidewalk radius at street intersections shall be minimized to shorten the length of pedestrian crossings and to prevent vehicles from making turns at high speeds. The city of Ketchum streets department and fire department shall determine the minimum sidewalk radius when designing streetscape improvement plans.</p> <p>d. All streetlight fixtures, traffic signals, traffic and directional signs, pedestrian wayfinding signs, parking signs, bicycle racks, parking meters, and fire hydrants shall be located within one to three feet (3') of the curb face.</p> <p>e. All streets shall be designed with streetlights. Streetlights shall be provided along all sidewalks at spacing intervals not to exceed sixty feet (60').</p> <p>f. Streetscape furniture and amenities shall be located to maintain a clear pedestrian path of at least five feet (5') in width.</p> <p>g. If permitted, tables, chairs, and other obstructions used for sidewalk dining shall be located to maintain at least five feet (5') of unobstructed sidewalk width.</p> <p>h. All streetlights, streetscape furniture, and amenities shall be consistent with a city approved list of approved furniture.</p>

Yes	No	N/A	Standard Number	City Standards and <i>Staff Comments</i>
				<p>i. Streetlights shall be scaled to pedestrians and shall be no taller than fourteen feet (14').</p> <p>j. Streetlights shall be equipped with hardware to allow flowerpots and banners to hang from the streetlight. At least seven feet (7') of vertical clearance shall be provided from the sidewalk to the bottom of the flowerpot or banner.</p> <p>k. Community organizations are allowed to hang banners from public streetlights with the approval of a sidewalk use permit. The planning director shall approve all banners that are hung from public streetlights. The Ketchum streets department shall be responsible for hanging all streetlight banners. The city reserves the right to charge a fee for the banners.</p> <p>l. All new public sidewalks shall be heated to facilitate the removal of snow.</p> <p>m. All sidewalks shall be constructed of concrete pavers. Special paving features may be allowed on the sidewalks of unique streets within the downtown, such as Fourth Street and First Avenue.</p> <p>n. The project applicant shall be required to pay for new sidewalk, curbs, and gutters within the public right of way adjacent to the project site when the value of construction exceeds twenty thousand dollars (\$20,000.00).</p> <p>o. Root guards shall be installed for each street tree to minimize damage to the sidewalk.</p> <p>p. All street trees shall be irrigated with automatic drip irrigation systems that do not produce overspray on the sidewalk.</p> <p>q. All new trees shall have a caliper size of three inches (3") measured twelve inches (12") from the ground. If the species is not available in this size, a caliper of two and one-half inches (2 1/2"), measured twelve inches (12") from the ground, will be acceptable. Evergreen trees shall be at least eight feet (8') tall when planted. All trees shall have a minimum height of fourteen feet (14') when fully grown.</p> <p>r. In order to provide adequate pedestrian clearance, trees shall be pruned regularly so that there is at least seven feet (7') of vertical clearance between the lowest branches of the tree and the grade of the adjacent sidewalk or pedestrian walkway. They shall also be pruned to maintain the health, vigor, and natural shape of the tree, and to maintain vehicular clearance and sight lines.</p> <p>s. All trees shall have an adequately sized planting area. The size of the planting area shall be based on the amount of room needed for tree roots. Root barriers shall be used when trees are planted near pedestrian walkways and sidewalks.</p> <p>t. All street trees planted in the community core district shall be species that are recommended and approved by the city arborist.</p> <p><i>Staff Comments</i> The proposed driveway, sidewalk, parking, street tree and street light design has been approved by the City Engineer, Street Superintendent and City Arborist. The City Council will consider the design of Washington Avenue, per the requirements of the Development Agreement, on April 20, 2015.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.Y.1. Signage Plans	<p>a. Exposed support structures for signs, including, but not limited to, posts, poles and sign sides or edges, must be faced or covered with wood, stone or metal which is corrosion resistant, painted or anodized, or such other material as may be approved by the city as a reasonable, natural textured substitute.</p> <p>b. All freestanding signs shall have landscaping around the base of the support structure in order to provide a transition from the ground to the sign.</p> <p>c. All materials should prevent reflective glare.</p> <p>d. Simple and easy to read typefaces should be used on signs. Hard to read and overly intricate typefaces should be avoided.</p> <p>e. Signs that have symbols, characters, or graphics are encouraged. The symbol, character, or graphic should relate to the products sold in the business or to the name of the business.</p> <p>f. Signs that show depth and cast shadows are encouraged. Depth and shadows can be created by mounting individually cut letters and symbols on the sign base or carving letters and symbols into the base of the sign.</p> <p>g. Projecting signs are preferred over portable or sandwich board signs. Projecting signs generally are more effective for increasing visibility to both pedestrians and motorists.</p> <p>h. Sign materials and colors should complement the building facade. Basic and simple color applications are encouraged and vibrant colors should be avoided.</p>

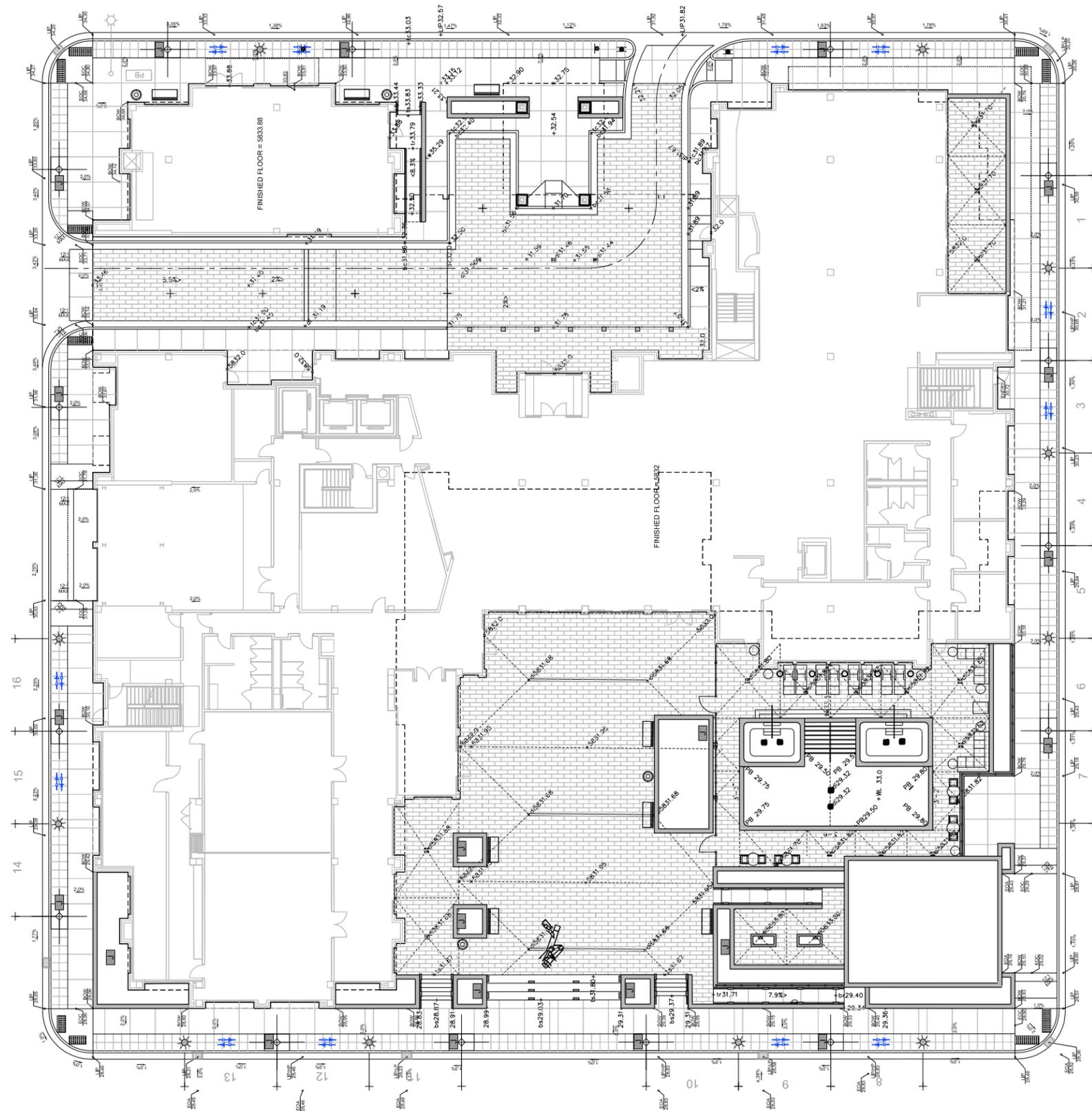
Yes	No	N/A	Standard Number	City Standards and <i>Staff Comments</i>
				<p>i. The color of letters and symbols should contrast the base or background color of the sign to maximize readability.</p> <p>j. Signs shall not cover or obscure windows, doors, storefronts, building entrances, eaves, cornices, columns, horizontal expression lines, or other architectural elements or details.</p> <p>k. Signage on buildings with multiple tenants shall be limited to prevent sign clutter. Individual signs for tenants with ground floor storefront entrances are permitted. A directory sign with the names and suite numbers of all tenants without a ground floor storefront entrance may be provided at the lobby entrance for those tenants.</p> <p><b>l. An address marker shall be provided at the main entrance to all buildings.</b></p>
			<i>Staff Comments</i>	<i>A signage master plan has been submitted, but more information is needed to verify compliance with KMC, Section 17.124.040 Signs. More information shall be supplied at the Subcommittee meeting.</i>

### RECOMMENDED CONDITIONS

1. Screening of mechanical equipment other than the rooftop equipment shall be considered with the future required fence and wall review by the Subcommittee.
2. Final street tree species shall be approved by the City Arborist prior to installation of said trees.
3. Final hardscape materials shall be reviewed and approved by the Subcommittee prior to installation.
4. The Design Review Subcommittee and the City Arborist shall review and approve all landscaping within the public Right of Way and within the resort prior to building permit approval. This shall include review and approval of tree grates, guards, species and caliper sizes.
8. The Design Review Subcommittee shall review and approve certain remaining building and site planning elements including, but not limited to:
  - a) Final composition of all finish materials including, but not limited to, placement of stucco, cor-ten steel and wood siding;
  - b) Final lighting plan - All proposed outdoor lighting, including all balcony, façade and terrace lighting shall be detailed in the building permit plans and shall be dark sky compliant;
  - c) Location and screening of utility meters, transformers, pedestals and traffic light equipment. Plans will need to illustrate how this equipment is screened from public view;
  - d) Detailed fence and wall designs shall be submitted for review and approval by the Design Review Subcommittee; and

**Attachment A.**  
**Applicant Submittal**

- Bicycle Rack Locations, dated April 14, 2015
- L4.1 Planting Plan, dated March 27, 2015
- A-211 Exterior Finish Elevations, dated March 27, 2015
- A-212 Exterior Finish Elevations, dated March 27, 2015
- A-901 Model Views, dated March 27, 2015
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BICYLCE RACK LOCATIONS 4.14.15



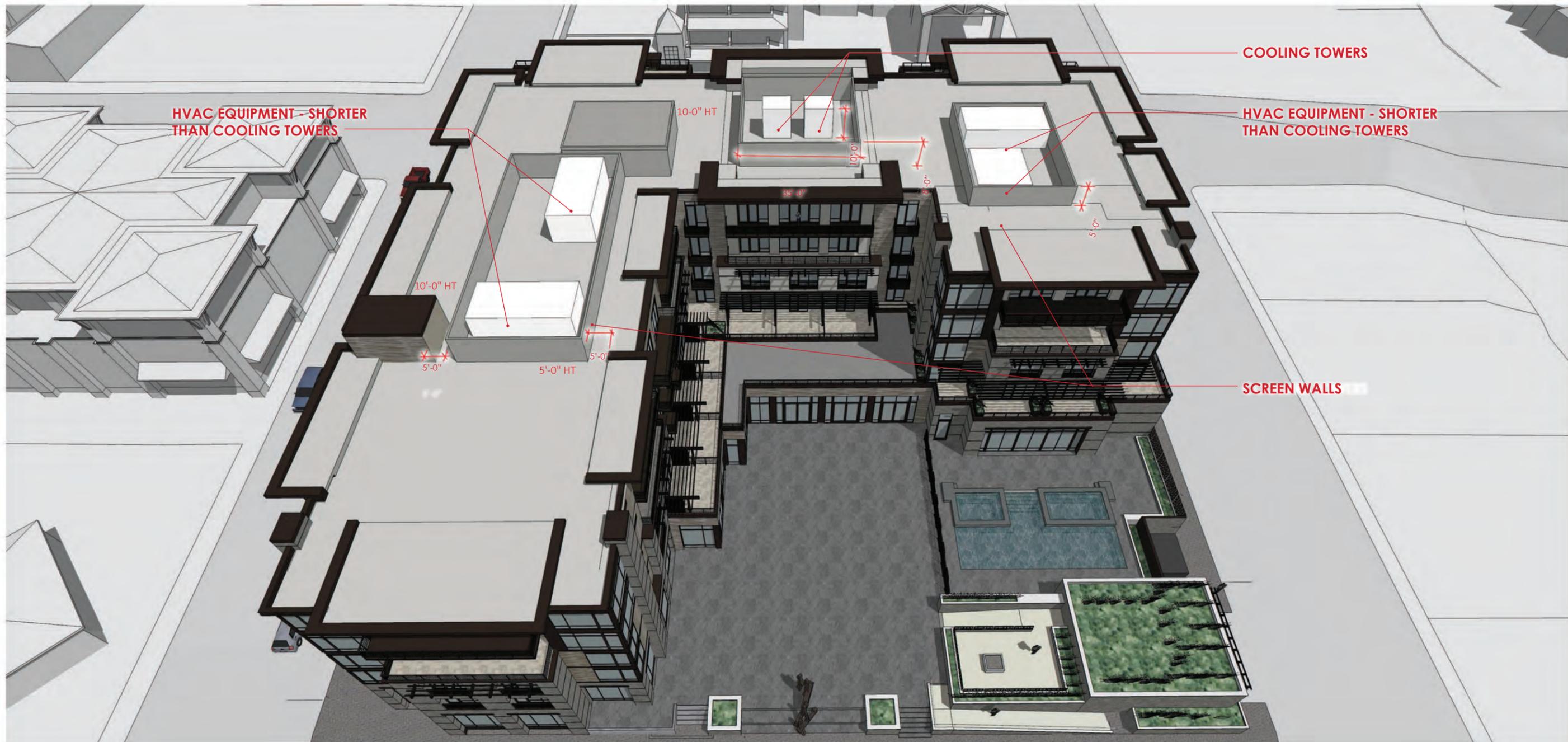








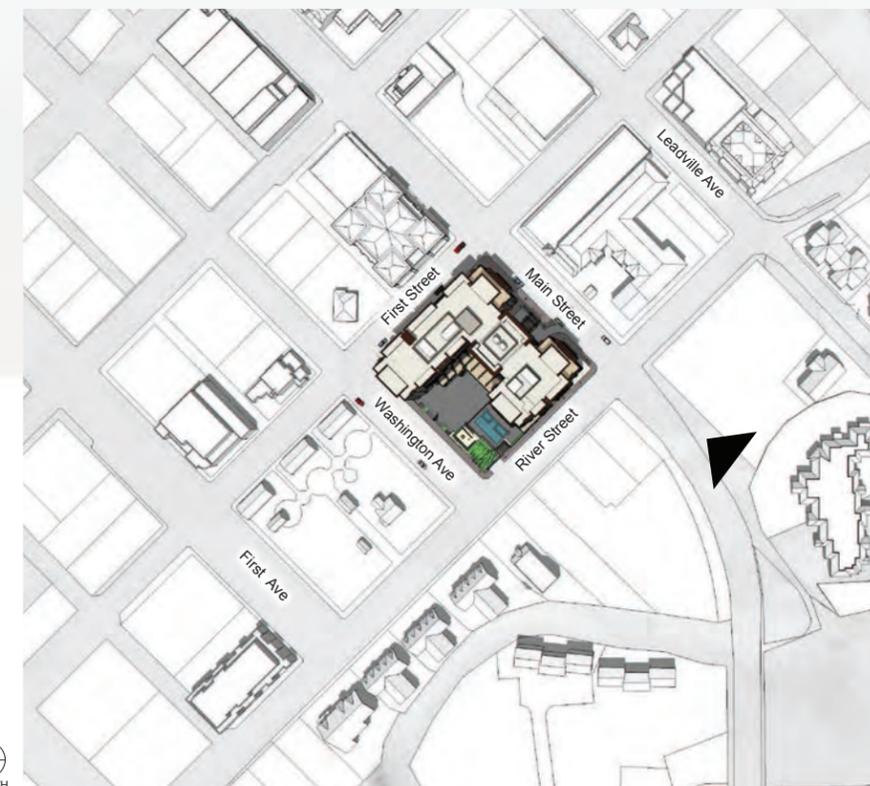




Rooftop Perspective



View From Main St. Approach

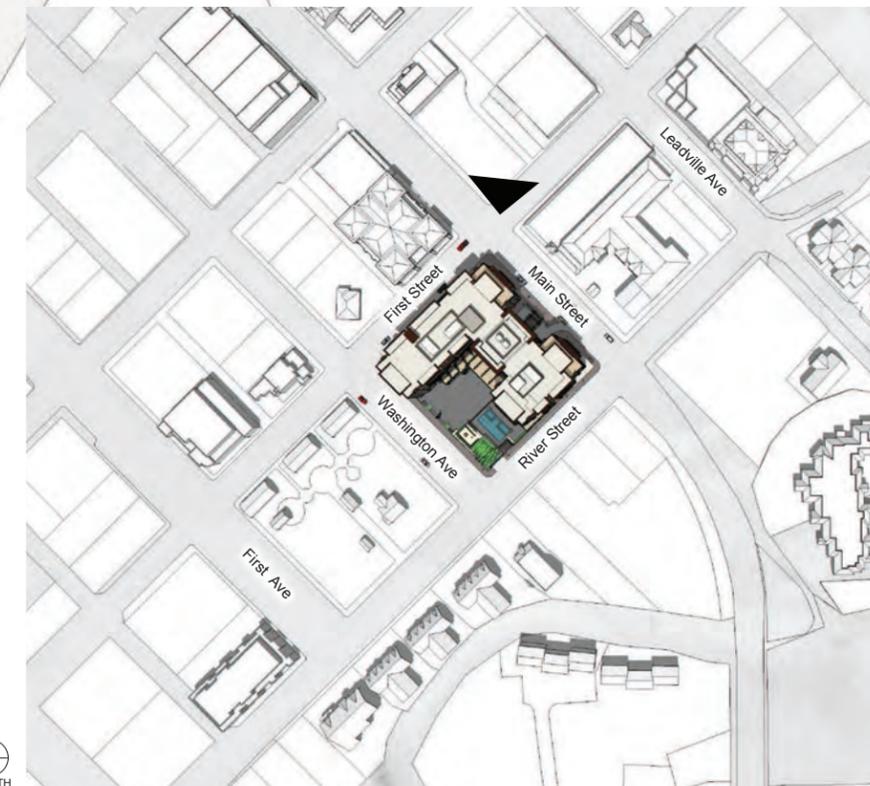


Key Plan





View From Main St. and First St.

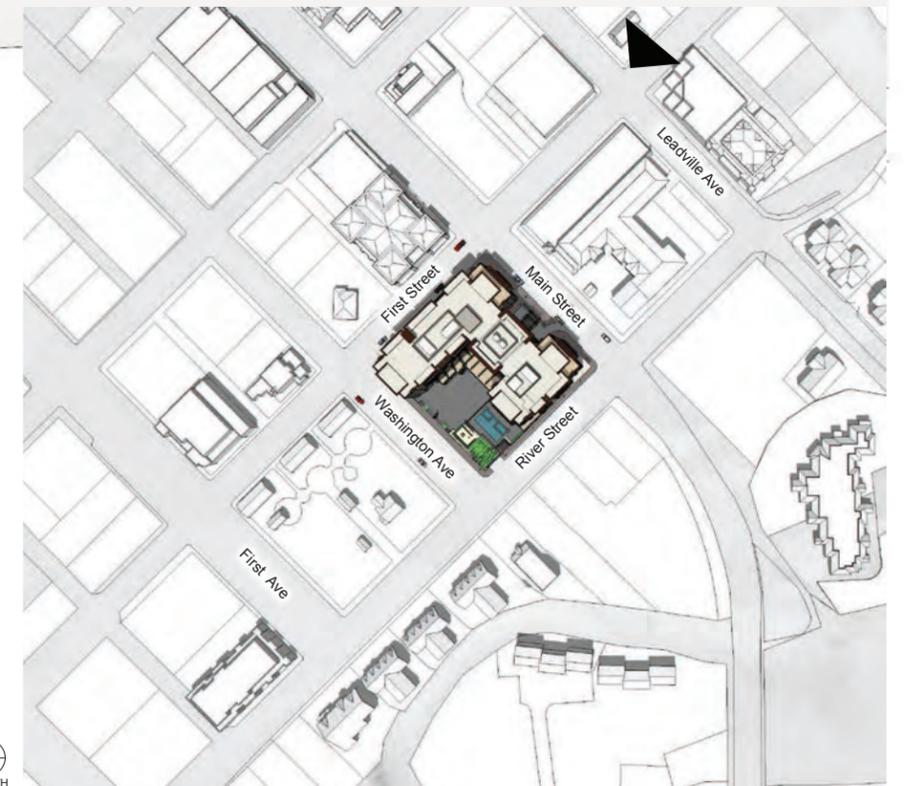


Key Plan





View From First St. and Leadville Ave.

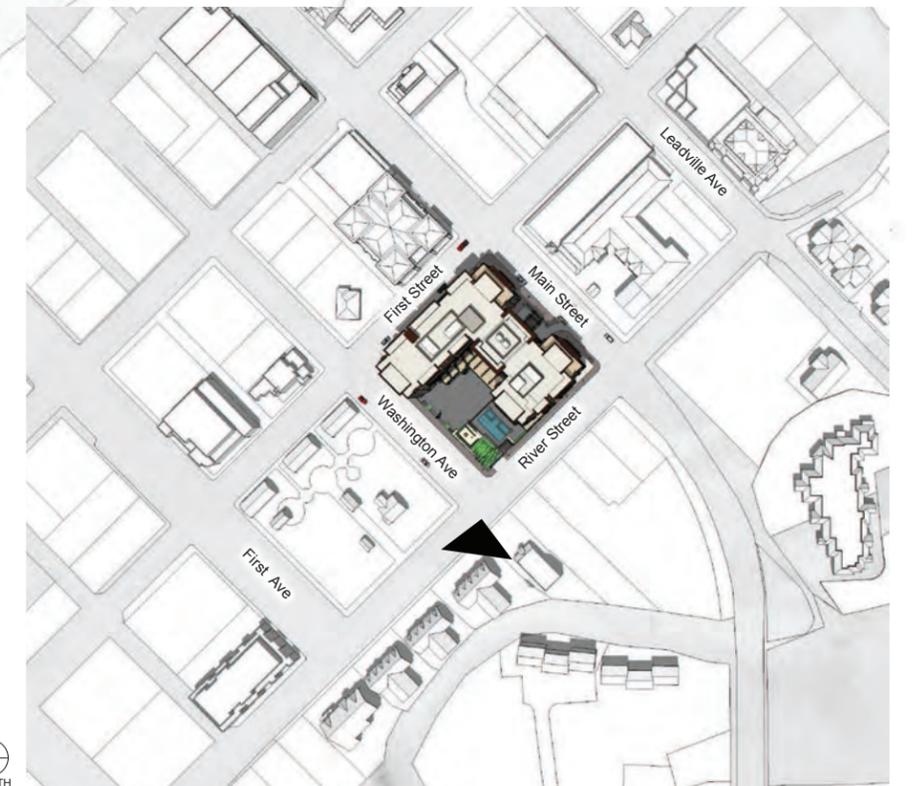


Key Plan





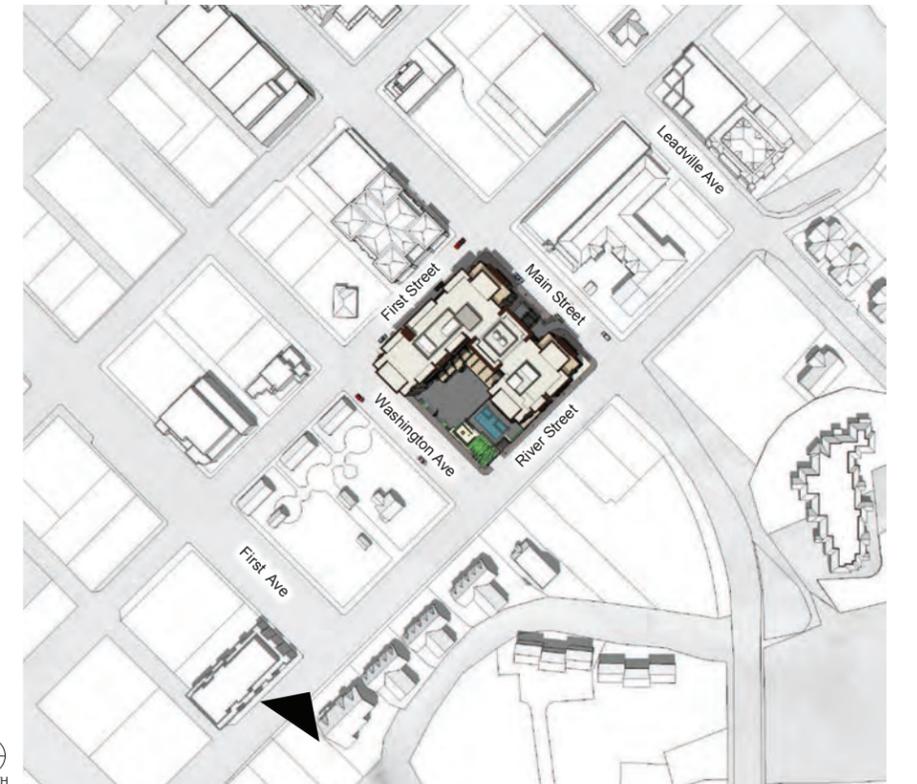
View From Washington Ave. and River St.



Key Plan 



View From First Ave. and River St.



Key Plan 

**Attachment B.**  
**Planning and Zoning Commission Design Review Modification Findings of Fact,**  
**dated April 2, 2015.**

<b>IN RE:</b>	)	
	)	
<b>Limelight Hotel,</b>	)	<b>KETCHUM PLANNING AND ZONING COMMISSION -</b>
<b>(formerly Bald Mountain Lodge)</b>	)	<b>FINDINGS OF FACT, CONCLUSIONS OF LAW AND</b>
<b>Design Review Modification</b>	)	<b>DECISION</b>
	)	
	)	
	)	
<b>File Number: 07-015</b>	)	

**BACKGROUND FACTS**

**PROJECT:** Limelight Hotel, formerly Bald Mountain Lodge

**FILE NUMBER:** 07-015

**OWNERS:** Limelight Ketchum LLC , formerly Bald Mountain Lodge LLC

**REPRESENTATIVE:** Don Schuster, VP Hospitality, Aspen Skiing Company

**REQUEST:** Community Core Design Review Modification

**LOCATION:** Ketchum Townsite Amended Lot 1A, Block 20 (151 South Main Street)

**NOTICE:** Adjacent property owners were mailed notice on Tuesday, February 10, 2015 and a display ad was run in the Idaho Mountain Express on February 18, 2015.

**ZONING:** Community Core (CC), Subdistrict A, Retail Core

**REVIEWER:** Rebecca F. Bundy, Senior Planner / Building and Development Manager

**Regulatory Taking Notice:** Applicant has the right, pursuant to section 67-8003, Idaho Code, to request a regulatory taking analysis.

**GENERAL FINDINGS OF FACT**

1. The Bald Mountain Lodge project (land and entitlements) was purchased by the Aspen Skiing Company from Bald Mountain Lodge, LLC in December 2014. The entitlements include a Development Agreement with a preferred Timeline A, which requires submittal of a building permit by May 31, 2015. With the current Design Review application, the developers are seeking approval of a number of design changes, so that they can proceed with the construction documents for building permit submittal on the preferred timeline.
  
2. On November 24, 2014, the Aspen Skiing Company and the original developers, Bald Mountain Lodge, LLC, conducted a workshop with the Planning and Zoning Commission to get the Commission's feedback on Aspen Skiing Company's proposed modifications to the approved hotel design prior to cementing the sale of the project. At that meeting, it was decided that the proposed programming changes would not necessitate an amendment of the Planned Unit Development (PUD) as approved, since the changes were in keeping with the original approval and code requirements and were minimal

in impact. The Commission decided, however, that the proposed exterior design changes should come before the Commission as a whole for Design Review Modification approval.

3. The Development Agreement calls for creation of a Design Review Subcommittee that will be empowered to approve more minor exterior design changes through the course of the construction project. On December 8, 2014, the Commission nominated Rich Fabiano, former Commissioner, and Erin Smith, current Commissioner, to that subcommittee, along with the Planning and Building Department Director, currently Micah Austin. The nominees were approved by the City Council on January 5, 2015, so the Subcommittee is in place to handle more minor design issues. The original Design Review approval contained conditions of approval authorizing the Design Review Subcommittee to perform final review of a number of Design Review elements, including final landscaping, streetscape design, bicycle parking and signage. Those conditions of approval have been retained in this staff report.

4. The current application is very much in keeping with the changes proposed at the November 24 meeting and also includes elements that reflect the Commission's feedback at that meeting, including removal of the clock tower element at the southwest corner of the building. The current proposal contains the following changes from the original design:

- Building height is reduced five (5) feet with a flat roof configuration to reflect Commission's input;
- The clock tower has been removed from the southeast corner of the building with increased building setbacks above ground level at that corner configuration to reflect Commission's input;
- Ground floor at the corner of Main and River Streets has increased glazing to relate interior lobby space to outdoors;
- Increased upper level setbacks along First and River Streets;
- Fenestration and horizontal relief elements have been increased, including deeper decks and roof overhangs;
- Increased façade articulation on Floor 5, Main Street façade. The residential units have been enlarged within the area of the roof decks to approximately equal the area lost with removal of the clock tower;
- Pedestrian connectivity to Forest Service Park has been enhanced by adding a primary entrance on the west side of the building, a courtyard, steps and bench facing Washington Avenue;
- The green roof at Floor 2 on the Washington Avenue side of the building has been converted to a roof deck, most of it open to the public;
- The First Street vehicular exit from the porte cochere has been eliminated in response to the Commission's concerns about its impact on First Street traffic flows. The porte cochere exit is, therefore, only on to Main Street. However, structure location has not been altered, so the exit could occur on First Street on an as needed basis;
- The applicant has offered to provide signage restricting parking on First Street during morning hours to provide dual use/delivery/garbage truck access;
- Sidewalk and on street parking configurations have been revised with twelve (12) on street parking spaces proposed;
- A substantial amount of hotel back of house has been eliminated. One level of underground structure has been eliminated with pared down back of house, mechanical and parking provided on one (1) underground level; and

- The spa and lower level courtyard have been eliminated, and the pool design has changed to a more rectangular form.

5. The original Bald Mountain Lodge PUD was approved by the City Council on June 7, 2010, and the PUD was amended on May 6, 2014, with no external changes to the building proposed. The following table shows the history of the programming changes since the original PUD approval:

**Table 1: History of Programming Changes**

	Original Approva l	Revised 2013	Proposed Nov 2014	Current Proposal
<b>Project Numbers</b>				
Lot size (sf)	48351	48351	48351	48351
Building height (ft)	68	68	63	63
Parking spaces (#)	125	125	122	124
Number of parking levels	2	2	1	1
<b>Hotel</b>				
Lobby (sf)	5660	4600	12140	5532
Hotel Rooms (total sf)	48380	70448	58142	50414
Hotel Rooms/Suites (#)	82	119	105	98
Avg Size of Hotel Rooms (sf)	590	592	554	456
Lock-off Units (#)	5	0	15	10
Conference/Prefunct space (sf)	5436	8380	4310	4131
Conference Capacity (#)	200	350	175	170
Spa (sf)	5506	3600	0	0
Restaurant/Lounge/Kitchen (sf)	7735	6870	included in lobby	included in lobby
		1 pool	1 pool	1 pool
	1 pool	1 hot tub	2 hot tubs	2 hot tubs
Pool/Hot tubs	1 hot tub			
Fitness (sf)	809	1200	940	930
<b>Residential</b>				
Residential Units (total sf)	40035	18600	32335	30736
Residential Units (#)	26	11	18	14
Avg. Size of Residential Units (sf)	1540	1692	1796	2195
% Hotel vs Residential	74.4	86.7	81.0	78.3
<b>Retail</b>				
Total (sf)	2614	2550	1890	2050

6. Hotel Definition: Using the same methodology as in the original PUD approval and the subsequent PUD amendment, the current proposal continues to meet the definition of "hotel" by limiting the residential components to less than 25% of the total "hotel" square footage.

**Table 2: Hotel Definition**

HOTEL CONFIGURATION	BML-2010 Approved	BML-2013 Approved	LKH-2015 Proposed
Guest Rooms	82	119	98
Sq Ft	59,422	86,329	50,414
Dedicated Units – Lock-Out Units	9	N/A	10
Sq Ft	3,538	N/A	4,776
Hotel Key Count	91	119	108
BOH/Lobbies/Hotel Related Uses Sq Ft (P1,P2,Level 1*)	63,687	60,149	55,621
TTL "Hotel" sq ft (per definition)	126,647	146,478	110,811
Permitted "Non-Hotel" sq ft (25%)	42,215.5	42,215.5	35,387
Proposed Residential Units (4th & 5th Floors minus lock-off units)	26	8	14
Sq Ft	42,215	22,384	30,736
TTL Bldg Sq Ft (includes sub-grade hotel- uses, but not parking)	168,862	168,862	141,547
Pct of Building Area defined as "Hotel"	75.0 %	86.7%	78.3%
Residential sq ft over allowable per definition	0	0	0

7. Parking Requirements: Required parking spaces are pursuant to 17.64.010.E. See table below:

**Table 3: Required Parking**

<b>Parking Requirements:</b>			
Commercial Space:	10,819 sf**	2 per 1,000 sq. ft. =	21.6 spaces
Residential (net)	30,736 sf	1 per 1,500 sq. ft. =	20.5 spaces
Hotel:	108 units	.75 per Room =	81 spaces
<b>Total Spaces Required: 123.1 spaces</b>			
<b>Proposed:</b>			
Garage: 109 spaces	Surface: 3 spaces	On Street Credit*:	12 spaces
<b>Total Spaces Proposed: 124 spaces</b>			

\*Section 17.64.010.E.3 of the Community Core District zoning regulations states that: "Four (4) on street parking spaces per five thousand five hundred (5,500) square feet of lot area may be counted toward the required parking demand."

This would result in an on street parking credit of 35 spaces. However, between Pre-application Design Review and the original Design Review/PUD submittal, staff and the applicant negotiated a parking credit of nine (9) on street spaces, due to vehicular access requirements, desired pedestrian bulb-outs at intersections and other considerations. The current proposal calls for twelve (12) on street parking spaces and still maintains the desired pedestrian bulb-outs. It also provides enhanced pedestrian access between the hotel and Forest Service Park.

\*\*The applicant's parking calculations for the commercial space include 2 spaces per 1000 square feet for the conference/board rooms, breakfast/bar/lobby and lounge (totaling 8,762 square feet), which are required elements of a hotel and should be satisfied by the .75 parking spaces per room hotel parking requirement. Therefore, the project as proposed has 19 more spaces than required by the code.

As condition of approval #9, prior to issuance of a building permit, the applicant shall submit civil engineered street and sidewalk design drawings, showing grading, drainage and details, for review and approval by the Public Works Director.

8. Sidewalk Requirements: The applicant has stated that sidewalks on Main Street shall be eight (8) feet in width, and that the sidewalks on First and River Streets and Washington Avenue shall be ten (10) feet in width. As condition of approval #9, prior to issuance of a building permit, the applicant shall submit civil engineered street and sidewalk design drawings, showing grading, drainage and details, for review and approval by the Public Works Director.

General Requirements for all Design Review Applications				
Compliant			Standards and Conclusion	
Yes	No	N/A	City Code	City Standards and Conclusion
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.080	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	City Department Comments	<b>Police Department</b> <input type="checkbox"/> No comments to date.
				<b>Fire Department</b> <input type="checkbox"/> Condition #1 satisfies Fire Department requirements.
				<b>Public Works Department</b> <input type="checkbox"/> Condition #9 satisfies Public Works Department requirements.
				<b>Building Department</b> <input type="checkbox"/> Condition #1 satisfies Building Department requirements.

Compliance with Zoning District and Overlay Requirements				
Compliant			Standards and Conclusion	
Yes	No	N/A	Guideline	City Standards and Conclusion
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.E	<b>Parking Spaces</b>
			<i>Conclusion</i>	123.1 required 124 proposed (See item 7 above.) <b>This standard may be met with condition of approval #9.</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.F	<b>Sidewalks</b>
			<i>Conclusion</i>	See item 8 above. <b>This standard may be met with condition of approval #9.</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.G	<b>Lot Dimensions</b>
			<i>Conclusion</i>	48,351 sf, 219 ft x 219 ft (no change)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.H	<b>Gross Floor Area/FAR</b>
			<i>Conclusion</i>	Original DR approval: 134,800 FAR 2.8 (allowed to exceed 2.25 due to hotel use) Current proposal: 132,411 FAR 2.74

Design Review Requirements				
EVALUATION STANDARDS: 17.64.010				
Compliant			Standards and Conclusion	
Yes	No	N/A	Standard Number	City Standards and Conclusion
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010(l)(1) Hotel Uses	<b>Number Of Floors:</b> Hotels may build a fourth floor. If a site meets the criteria for five-story hotel site designation, a fifth floor may be built. Five-story hotels may only be approved via a planned unit development (PUD) as outlined in <b>title 16, chapter 16.08</b> of this code. However, with the exception of limited architectural elements, hotel projects may not request waivers to the mass and height specifications of subsection L9c of this section, building type 6 hotel.
			<i>Conclusion</i>	The entitled hotel project has met the requirements for a hotel or received waivers through the PUD process. None of the changes proposed affect the existing approvals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010(l)(1)a	<b>Five-Story Hotel Site Designation Criteria:</b> A property shall meet all of the following criteria to be designated as a five-story hotel site:
			<i>Conclusion</i>	The entitled hotel project has met the requirements for a hotel or received waivers through the PUD process. None of the changes proposed affect the existing approvals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010(l)(2)	<b>Employee Housing:</b> Hotel developments are required to mitigate employee housing impacts at a ratio of twenty five percent (25%) of the total number of employees calculated by the following formula: One employee per hotel room or bedroom. A development agreement or other similar tool shall be utilized to outline employee housing commitments.
			<i>Conclusion</i>	The entitled hotel project has met the requirements for a hotel or received waivers through the PUD process. The Third Amendment to the Development Agreement waives employee housing requirements if a building permit application is submitted by May 31, 2015.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010(l)(3)	<b>Employee Housing Plan:</b> The applicant shall provide an employee housing plan which outlines the number of employees, income categories and other pertinent data. The employee housing plan shall be the basis of the applicant's proposal for the mix of employee housing which addresses the range of employees needed to serve the hotel.
			<i>Conclusion</i>	The entitled hotel project has met the requirements for a hotel or received waivers through the PUD process. The Third Amendment to the Development Agreement waives employee housing requirements if a building permit application is submitted by May 31, 2015.

Yes	No	N/A	Standard Number	City Standards and Conclusion
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010(I)(4)	<p><b>Alternate Means To Satisfy Square Footage:</b> The city council may consider a request by the hotel developer to satisfy any required employee or community housing square footage by alternate means. Off site mitigation, payment of in lieu fees, land in lieu of units, or other considerations may be proposed by the hotel developer. Larger sites are encouraged to include employee and/or community housing on site. The city council has full discretionary power to deny said request.</p> <p><i>Conclusion</i> The entitled hotel project has met the requirements for a hotel or received waivers through the PUD process. The Third Amendment to the Development Agreement waives employee housing requirements if a building permit application is submitted by May 31, 2015.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010(I)(5)	<p><b>Development Agreement:</b> Hotels shall enter into a development agreement with the city as part of the PUD approval process. Said development agreement may address the following subjects: community housing, hotel room uses and restrictions, public access on the property, alternatives and remedies if the hotel use ceases, and any other issue the planning and zoning commission or city council deems appropriate. Said development agreement shall follow the public hearing process as outlined in <u>title 16, chapter 16.08</u> of this code. Said development agreement shall be subject to sections <u>17.154.060</u>, "Enforcement", and <u>17.154.070</u>, "Modification And Termination", of this title.</p> <p><i>Conclusion</i> The entitled hotel project has a valid Development Agreement with the City.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.L. 9. Building Type 6, Hotel a. Applicable Subdistricts: A, B. b. Building Type 6 Site Specifications	<p>A. Main Street or an avenue.</p> <p>B. Sidewalk.</p> <p>C. Setback line: Minimum average setback of 5 feet from the front property line, except in subdistrict A, where no setback is required. Buildings fronting a 60 foot or narrower right of way shall be set back a minimum of 5 feet from the property line. Cantilevered decks and overhangs 8 feet or greater in height above the finish grade below, measured to the underside of the lowest structural element of the deck or eave, may extend to the property line.</p> <p>D. Building zone: 60 to 100 percent of this area shall be occupied by 1 or more buildings.</p> <ol style="list-style-type: none"> <li>1. The minimum building depth shall be 50 feet as measured from the front and rear property line, except a portion of the building may be built anywhere within 30 feet of the front property line.</li> <li>2. Portions of this area not occupied by a building shall be occupied by courtyards, landscaping, hotel entryways, a porte-cochere, or other open space.</li> <li>3. Storefronts, building entrances, and upper floor balconies may be recessed into the facade.</li> </ol> <p>E. Pedestrian entrance: The main pedestrian entrance(s) shall be from Main Street or an avenue.</p> <p>F. All ground floor uses that are intended to serve both hotel guests and the general public (such as a restaurant or retail store) shall have a pedestrian entrance directly from the street.</p> <p>G. Multifunctional zone: This area may be occupied by buildings, usable open space, porte-cochere, loading and unloading zone, valet parking service area, and access to parking facilities. Garbage disposal facilities shall be located in the multifunctional zone.</p> <p>H. Vehicle access points: Access to parking and loading and unloading facilities shall be provided by the alley, except where the development is on a whole city block, then vehicle access, including driveways to a porte-cochere, parking facilities, and loading and unloading zones may be from the side property lines.</p> <p><i>Conclusion</i> The proposed exterior changes to the building do not include setback changes, orientation of the building to the street or parking and loading access. The portions of the site not occupied by building continue to contain hardscape, landscaping and porte cochere. The current proposal has increased the depth of some balconies, serving to provide greater articulation of the facades. Item D, Building zone was granted a waiver through the PUD process.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.L.9.c.	A. First floor ceiling height: 12 feet to 20 feet.

Yes	No	N/A	Standard Number	City Standards and Conclusion
			Building Type 6 Mass And Height Specifications	<p><b>B. Upper floor ceiling heights: 8 feet minimum and up to 80 percent of the height of first floor ceiling.</b></p> <p><b>C. Minimum number of floors: 3.</b></p> <p><b>D. Maximum number of floors: 4.</b></p> <ol style="list-style-type: none"> <li>5 floors may be allowed in locations as designated by city council.</li> <li>On streets and avenues the fourth floor and fifth floor shall be set back from the property line a minimum of 10 feet with an average of 15 feet. The average setback shall be calculated based on the built portion of the fourth and fifth floor facades and shall be calculated for each street or avenue elevation; the calculation of the average setback is not cumulative. In addition to the minimum and average setback requirement from the property line, the fourth and fifth floors shall be set back a minimum of 5 feet from the wall of the third floor.</li> </ol> <p><b>E. Maximum building height:</b></p> <ol style="list-style-type: none"> <li>Three-story hotel: 48 feet.</li> <li>Four-story hotel: 58 feet.</li> <li>Five-story hotel: 68 feet.</li> <li>All buildings greater than 48 feet shall require final approval from the city council.</li> <li>A stairway/elevator shaft providing access to a roof garden may exceed the maximum height by up to 10 feet, provided it is stepped back at least 20 feet from the front and rear property line.</li> </ol> <p><b>F. If the building is not set back from the sidewalk, then the entrance shall be at the grade of the sidewalk. If the building is set back from the sidewalk, then the entrance may be elevated above the sidewalk grade by up to 4 feet.</b></p> <p><b>G. Third floors may be stepped back.</b></p> <p><b>H. Building width: 55 feet minimum.</b></p>
			Conclusion	<p><i>The entitled hotel received waivers for Items B and D.2:</i></p> <p><i>B. The proposed flat roof eliminates the need for a waiver to the ceiling height limit on the 5<sup>th</sup> floor.</i></p> <p><i>D.2. Waivers to the required 4<sup>th</sup> and 5<sup>th</sup> floor setback requirements were granted through the PUD process. The elimination of the clock tower on the 4<sup>th</sup> and 5<sup>th</sup> floors resulted in a decrease of about 256 sf per level. That area has been added back in to residential units 9 and 11 on the 5<sup>th</sup> floor, and the average setbacks on those floors has increased from the original approved design.</i></p> <p><i>E.3. Building height has been reduced to 62.5 feet on Main Street and 65.5 feet on Washington Avenue with replacement of the originally proposed pitched roof with a flat roof.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.L.9.d. Building Type 6 Roof Forms	<p><b>A. Flat roof with parapet or cornice.</b></p> <p><b>B. Hip roof.</b></p> <p><b>C. Gabled roof.</b></p> <p><b>D. Full mansard roof.</b></p> <p><b>E. Dormers.</b></p> <p><b>F. Shed roof: Only allowed where building step backs occur.</b></p> <p><b>G. Appropriate combinations of the above roof forms.</b></p>
			Conclusion	<i>The current proposal replaces the gabled roof with a flat roof with eaves and a low parapet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.L.9.e. Building Type 6 Facade Specifications	<p><b>A. Building cap: The top of the building shall be defined by a cap, such as a cornice or eaves. The top floor of a four- or five-story hotel shall consist of a sloped roof form with dormer or gable end windows.</b></p> <p><b>B. Upper floor facade window fenestration: 30 to 70 percent of each upper floor facade shall be occupied by windows or doors.</b></p> <p><b>C. Ground floor facade window fenestration: 60 to 90 percent of each ground floor facade shall be occupied by transparent windows and doors. This specification does not apply to ground floor facades within the multifunctional zone.</b></p> <p><b>D. Entry door: At least 1 entry door is required for each business with ground floor street frontage.</b></p>

Yes	No	N/A	Standard Number	City Standards and Conclusion
			Conclusion	<p>A. The proposed flat roof has eaves and a low parapet and lowers the building height by five (5) feet from the original proposal. At their November 24, 2014 workshop, the Commission indicated to the applicant that they preferred a flat roof over the former pitched roof because it reduced the height of the building and alleviated issues of snow sliding from the roof onto pedestrians. KMC, Section 17.64.010.C allows the Commission to grant waivers to Section 17.64.010.L, provided that:</p> <ol style="list-style-type: none"> <li>1. The granting of an exception will not be detrimental to the public good.</li> <li>2. The granting of an exception will not be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.</li> <li>3. The granting of the exception will not be detrimental or injurious to property or to the general welfare of the city.</li> <li>4. The exception is to architectural design elements and is not an exception to other development standards such as building height, setbacks, floor area ratio; to any use requirements or restrictions; or to any life safety requirements.</li> </ol> <p>B &amp; C. Façade window fenestration has been modified slightly, but not appreciably; with the exception of additional fenestration at the southeast ground floor corner of the building to provide better visual interaction between the street front and the hotel lobby/dining area.</p> <p>D. The hotel and sports shop continue to each be served by entrance doors. This standard may be met with an exception for a flat roof made by the Commission.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.L.9.f. Building Type 6 Façade Elements	<p>A. Awnings/marqueses may project 3 feet to 6 feet from the facade. At major pedestrian entrances to the hotel, marqueses may extend between 6 feet and up to 2/3 the distance between the front facade and the curb line of the sidewalk. Supporting posts are permitted at these entrances.</p> <p>B. Porte cocheres may project up to 32 feet from the facade. They are not allowed to project over the public sidewalk.</p> <p>C. Balconies/decks may project 3 feet to 6 feet from the facade.</p> <p>D. Colonnades (supporting either a shed roof or balcony/deck) may project from 5 feet to 6 feet from the facade. Supporting posts shall have a square width or diameter of 6 inches to 12 inches.</p> <p>E Vertical clearance: 8 feet minimum.</p> <p>F. Clearance from inside of post/column to facade: 5 feet minimum.</p> <p>G. Prohibited facade elements include external chimneys, external staircases, window security bars, and security roll up doors are prohibited on facades that front a street, avenue, park, and/or plaza.</p>
			Conclusion	<p>A. The depth requirement for marqueses was waived through the original PUD process.</p> <p>B. The current porte cochere has the same dimensions as the original.</p> <p>C – G. Façade elements have not changed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.010.L.9.g. Building Type 6 Use Specifications	<p>A. Upper floor with street frontage: Accommodation, retail trade and retail service uses as permitted by subsection D, table 1 of this section. Parking is prohibited.</p> <p>B. Ground floor with street frontage: Active uses shall occur on the street frontage of ground floors within the building zone (refer to site specifications). Active uses include, but are not limited to, lobby space, guest registration, restaurants, bars, business center, workout facilities, conference facilities, office space and retail stores. This specification does not apply to ground floor uses within multifunctional zone (refer to site specifications, subsection L9b of this section).</p> <p>C. Floors without street frontage: Accommodation, retail trade and retail service, and residential uses as permitted by subsection D, table 1 of this section. Structured parking is permitted.</p> <p>D. Basement: Parking, storage, and accessory uses associated with ground floor and upper floor principal building uses are permitted. A minimum of 50 square feet of storage space is required for each community housing unit within a</p>

Yes	No	N/A	Standard Number	City Standards and Conclusion
				<p>building.</p> <p>E. Street frontage.</p> <p>F. Depth for street frontage uses: Minimum 20 feet.</p> <p>G. Private outdoor space: All residential uses shall have a private outdoor space (such as a deck, balcony, or private porch). The area of each private outdoor space shall be at least 50 square feet, with no dimension less than 6 feet.</p> <p>H. Roof gardens (private and public) are allowed.</p> <p>I. Utility meters, garbage disposal areas, surface parking lots, and loading and unloading facilities shall be located to the rear of the building. Utility meters are allowed in the setback zone if they are enclosed within a utility box.</p>
			<i>Conclusion</i>	<i>The current proposed uses have not changed from the original design.</i>

DESIGN REGULATIONS: 17.64.020				
Compliant			Standards and Conclusion	
Yes	No	N/A	Standard Number	City Standards and Conclusion
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.E.1. All Building Facades	<p>a. Facades shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and glass curtain walls. Blank walls on all facades that front a park, street, avenue, alley, plaza, or other public spaces are prohibited.</p> <p>b. On all facades, a clear visual distinction between each floor shall be provided.</p> <p>c. Stairways shall have a design that is compatible with overall structure. Stairs shall not have a tacked on appearance or look like their design was an addition or afterthought.</p> <p>d. All sides of the facade shall be designed with similar architectural elements, materials, and colors as the front facade. However, the design of side and rear facades may be simpler, more casual, and more utilitarian in nature.</p> <p>e. If a portion of an existing building is modified, it shall use the same building materials, details, and color applications as the rest of the building. For example, if a portion of a brick facade with wood framed windows and doors is modified, the modified portion of the facade shall use bricks, details, and wood frame windows and doors that are compatible with the other parts of the building.</p> <p>f. Additions to existing buildings shall be designed with a style, materials, colors, and details that are compatible with the existing structure.</p>
			<i>Conclusion</i>	<i>The current proposal continues to utilize both solid surfaces and window openings, avoids blank walls and glass curtain walls, provides a clear visual distinction between floors and utilizes similar architectural elements, materials and colors on all facades. No exterior stairways are proposed on the building. There is no existing building on the site, and no addition is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.F.1. Mixed Use/Hotel Building Facades	<p>a. Front building facades, as well as all facades that front a plaza or pedestrian walkway, shall be designed with:</p> <p>(1) Ground floor storefront windows and doors that utilize clear transparent glass in order to provide clear views of storefront displays from the street and/or to allow natural surveillance of the street and adjacent outdoor spaces. Mirror and tinted glass, including solar bronze and interior film, is prohibited.</p> <p>(2) Upper floor window openings that have a vertical orientation and proportion. Mirror and tinted glass is prohibited on upper floor facades.</p> <p>b. Elements of traditional "main street" storefronts shall be used in the facades of traditional mixed use buildings. These elements include recessed entry door(s), display windows, the kickplate or bulkhead, transom windows, cornice and pediment.</p>
			<i>Conclusion</i>	<i>Storefront windows and doors with clear glass are utilized at the ground floor level. Upper floor windows have a vertical orientation. Traditional "main street" elements</i>

Yes	No	N/A	Standard Number	City Standards and Conclusion
				<i>are used, including transom windows, recessed entry doors and display windows.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.64.020.G.1 Multi-Family Home And Urban Residential Building Facades	None.
			<i>Conclusion</i>	<i>None.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.64.020.H. Historic Buildings	None.
			<i>Conclusion</i>	<i>None.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.I. 1. Roofs	<p>a. Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</p> <p>b. A relatively consistent roof design (including overhangs, pitch, fascia, materials and eaves) shall be provided on all sides of the building.</p> <p>c. All roofs shall be designed with snow clips, gutters, and downspouts to prevent water damage and stains on building facades, and to protect pedestrians and adjoining properties from dripping water and sliding snow.</p> <p>d. Mechanical equipment on roofs shall be screened from public view from all sidewalks, plazas, parks, public spaces, and pedestrian walkways.</p> <p>e. Roof overhangs, such as cornices, and eaves, may extend out from the facade of the building. However, roof overhangs shall not extend over a neighboring parcel or more than three feet (3') over a public sidewalk.</p>
			<i>Conclusion</i>	<p><i>The currently proposed flat roof reinforces the horizontal lines of the facades. It will be equipped with internal drains, resulting in no issues from dripping water or sliding snow. Roof overhangs do not extend over neighboring parcels or project more than three (3) feet over the public sidewalk. The current application shows rooftop mechanical screening provided by a screening structure intended to house elevator overruns and rooftop mechanical units. The original Design Review condition of approval #8 addressed this by requiring that a detailed mechanical screening plan shall be submitted for review by the Design Review Subcommittee prior to building permit approval. Staff recommends that condition be made a part of the current approval.</i></p> <p><b><i>This standard may be met with condition of approval #8.</i></b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.J.1. Awnings And Marquees	<p>The following standards apply to projecting awnings and marquees:</p> <p>a. The valance, or front face, of an awning shall not exceed eighteen inches (18") in height.</p> <p>b. Awnings and marquees shall not obscure views into storefront display windows or cover architectural expression lines or details.</p> <p>c. Awnings may have signs (refer to sign ordinance).</p> <p>d. High gloss or plastic materials are prohibited.</p>
			<i>Conclusion</i>	<i>The flat roof above the outdoor dining area at the southeast corner of the building does not obscure views into the lobby/restaurant and contributes to the horizontal design of the facades. No awnings are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.K.1. Balconies	<p>The following standards apply to projecting balconies:</p> <p>a. Balconies may be open or covered with a roof or upper story balcony.</p> <p>b. The distance between roof supporting columns, piers, or posts on balconies shall not exceed their height.</p>
			<i>Conclusion</i>	<i>The design contains many balconies, some covered and some not. All are cantilevered, so no posts are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.64.020.L.1. Colonnades	<p>The following standards apply to projecting colonnades:</p> <p>a. Colonnades may be covered with a roof or a balcony. An enclosed habitable space may occur above the colonnade, as long as it does not occur over the public sidewalk.</p> <p>b. Supporting columns and posts shall be spaced and sized so that they do not block views of storefront windows from the street.</p>
			<i>Conclusion</i>	<i>No colonnades are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.64.020.M.1. Bay Windows	None.

Yes	No	N/A	Standard Number	City Standards and Conclusion
			<i>Conclusion</i>	<i>None.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.64.020.N.1. Front Porches/Stoops	<p>The following standards apply to front porches and stoops:</p> <p>a. Front porches and stoops may be covered with a roof, a balcony, or an enclosed habitable space. However, an enclosed habitable space may not occur within the setback zone.</p> <p>b. Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</p> <p>c. The raised platform of a front porch (not including stairways) shall be at least fifty (50) square feet in size with no one dimension less than six feet (6') in length.</p> <p>d. The raised platform of a stoop (not including stairways) shall be at least twenty five (25) square feet in size with no dimension less than five feet (5') in length.</p>
			<i>Conclusion</i>	<i>No front porches or stoops are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.O.1. Public Open Space	<p>a. Public open spaces shall be designed to enhance the site and/or building as a place for pedestrians and shall include the following:</p> <ol style="list-style-type: none"> <li>(1) Trash receptacles.</li> <li>(2) A combination of landscaping and paved surfaces.</li> <li>(3) Pedestrian scaled lighting.</li> <li>(4) Amenities or features that encourage people to gather. Such features include (but are not limited to) outdoor seating, spas/hot tubs, pools, barbecue facilities, outdoor fireplaces, public art, fountains, kiosks, planters, and outdoor dining areas.</li> </ol> <p>b. Public open spaces shall be usable throughout the year. These spaces shall either be heated for snow removal or maintained to remove snow during the winter months.</p>
			<i>Conclusion</i>	<i>The current proposal offers public open space facing Washington Avenue in the form of a plaza with two (2) flights of stairs down to the sidewalk, a concrete bench, public art and a mix of hardscape and landscaping. In addition, two (2) fire pit areas are proposed to encourage gatherings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.P.1. Service Areas	<p>a. Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views from streets, avenues, alleys, pedestrian walkways, sidewalks, plazas, and public spaces. Trash disposal areas with appropriately designed enclosures or screens may be allowed within rear parking lots, but in no case shall the disposal area be allowed along the street frontage.</p> <p>b. Trash disposal areas shall be screened from public views from all sidewalks, streets, plazas, and public spaces. Trash enclosures shall be used to store outdoor garbage containers or dumpsters.</p> <p>c. Garbage containers or dumpsters shall be kept in enclosures at all times, except when being emptied.</p> <p>d. Trash enclosures shall be maintained and the surrounding area kept free of debris.</p> <p>e. The location of trash enclosures shall not interfere with vehicular and pedestrian access and movement.</p> <p>f. The number of trash receptacles per unit shall be provided based on formulas provided by trash disposal companies.</p>
			<i>Conclusion</i>	<i>The service dock remains in the same location as in the original design with room for two (2) service trucks, dumpsters and recycling bins.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.Q.1. Mechanical And Electrical Equipment	<p>1. The following shall not be located within the public right of way and shall be screened from public views from streets, pedestrian walkways, sidewalks, plazas, and public spaces:</p> <ol style="list-style-type: none"> <li>a. Electric and water utility meters.</li> <li>b. Power transformers and sectors.</li> <li>c. Heating/ventilation/cooling equipment.</li> <li>d. Irrigation and pool pumps.</li> <li>e. Satellite dishes greater than eighteen inches (18") in diameter.</li> <li>f. Antennas.</li> </ol>

Yes	No	N/A	Standard Number	City Standards and Conclusion
				<p>g. Rooftop mechanical equipment. h. Other mechanical equipment.</p> <p>2. Appropriate methods of screening include fencing, landscaping, roof parapets, and equipment enclosures. The design of screening devices shall be compatible with the main structure and conform to other sections of this code. Noise levels of mechanical equipment shall be minimized. All utility and communication lines serving the site shall be underground.</p>
			<p><i>Conclusion</i></p>	<p><i>The current application shows rooftop mechanical screening provided by a screening structure intended to house elevator overruns and rooftop mechanical units. The original Design Review condition of approval #8 addressed this by requiring that a detailed mechanical screening plan shall be submitted for review by the Design Review Subcommittee prior to building permit approval. Staff recommends that condition be made a part of the current approval.</i></p> <p><i>This standard may be met with condition of approval #8.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.64.020.R.1. Landscaping: The regulations and guidelines in this subsection apply to private property, including parking lots. Regulations and guidelines for the landscaping of streets are provided in subsection X, "Streets And Streetscapes", of this section.</p>	<p>a. The following areas shall be landscaped and regularly maintained to be free of weeds, overgrown vegetation, and litter:</p> <p>(1) Unpaved portions of the site visible from public streets, sidewalks, plazas, parks, and other public spaces. (2) Common outdoor areas within any development. (3) Private and public surface parking lots.</p> <p>b. Landscaping treatments shall include a combination of trees, grasses, shrubs, flowering plants, and flowers.</p> <p>c. All landscaped areas shall be irrigated with automatic drip irrigation systems that do not produce overspray on surfaces outside the planting area.</p> <p>d. All new trees planted in the community core district shall be species that are recommended and approved by the city arborist. All new trees shall have a caliper size of three inches (3") measured twelve inches (12") from the ground. If the species is not available in this size, a caliper of two and one-half inches (2 1/2"), measured twelve inches (12") from the ground, will be acceptable. Evergreen trees shall be at least eight feet (8') tall when planted. All trees shall have a minimum height of fourteen feet (14') when fully grown.</p> <p>e. In order to provide adequate pedestrian clearance, trees shall be pruned regularly so that there is at least seven feet (7') of vertical clearance between the lowest branches of the tree and the grade of the adjacent sidewalk or pedestrian walkway. They shall also be pruned to maintain the health, vigor, and natural shape of the tree, and to maintain vehicular clearance and sight lines.</p> <p>f. All trees shall have an adequately sized planting area. The size of the planting area shall be based on the amount of room needed for tree roots. Root barriers shall be used when trees are planted near pedestrian walkways and sidewalks.</p> <p>g. Shrubs shall have a minimum five (5) gallon container size.</p> <p>h. An exception to a development specification or design regulation (such as the built to line specification) is allowed if the exception will protect and preserve an established, healthy, and mature tree on the site. In cases where such a tree is protected and preserved, the exception to the development specification or design regulations shall be granted with verification of the city arborist and shall not require approval by the planning and zoning commission or city council. When proposed underground parking prohibits the preservation of mature and healthy trees, an assessment of alternatives shall be made by the planning department, city engineer, city arborist and the applicant. Such an assessment will include consideration of a parking demand plan.</p> <p>i. When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</p> <p>j. All landscaping shall be maintained in a healthy and attractive state and shall be watered, weeded, generally maintained, and replaced (if necessary) by the property owner/property manager.</p> <p>k. Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</p> <p>l. The city arborist shall approve all parking lot trees. Trees that do not drop heavy</p>

Yes	No	N/A	Standard Number	City Standards and Conclusion
				<p>cones, sap, fruit, and seedlings shall be selected to minimize potential damage to cars in the parking lot.</p> <p>m. All surface parking lots shall be designed with the following landscaping features:</p> <p>(1) The use of porous or pervious surfaces in the parking lot design. These surfaces reduce the volume and rate of storm water runoff and can add to the visual character of the parking lot.</p> <p>(2) Landscaped planters shall be located between public sidewalks and parking lots. Landscaped planters shall be at least five feet (5') wide and shall be planted with a combination of shrubs, trees, and flowering plants. Planter walls shall be limited to a height of twenty four inches (24").</p> <p>(3) Trees may be planted in landscaped planters, tree wells in pedestrian walkways, and/or diamond shaped planter boxes located between parking rows. Diamond shaped planter boxes and tree wells shall be at least five feet (5') square. Tree gates and root guards shall be required for trees planted within pedestrian walkways.</p> <p>(4) Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</p>
			<i>Conclusion</i>	<p><i>The proposed landscaping includes trees with grates or planters and a mix of hardscape and landscaping. Specific species are not called out, and the plans are not entirely consistent. Staff recommends that original Design Review condition of approval #7 shall continue to apply and that the Design Review Subcommittee shall review and approve the final landscape design with the City Arborist.</i></p> <p><b><i>This standard may be met with condition of approval #7.</i></b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.S.1. Fences, Walls And Gates	<p>a. The design of fences and walls shall be compatible with the architecture of the building.</p> <p>b. Entrance arbors are allowed on fences/walls.</p> <p>c. Fences and walls shall have an articulated design. Articulation can be created by having regularly spaced posts, changing the height of the fence/wall, and by using different building materials at the base, posts, or the cap of the fence/wall. Flat walls, chain link fences, and barbed wire fences are prohibited.</p> <p>d. The maximum fence and wall height is four feet (4') within thirty feet (30') of the front property line and six feet (6') beyond thirty feet (30') of the front property line.</p>
			<i>Conclusion</i>	<p><i>Fences and walls are proposed to enclose the swimming pool and fire pit areas on the Washington Avenue and River Street side of the project. The applicant has stated that they will meet the height requirements but that a final design for the fence/wall elements has not been completed. As condition of approval #8, prior to building permit approval, detailed fence and wall designs shall be submitted for review and approval by the Design Review Subcommittee.</i></p> <p><b><i>This standard may be met with condition of approval #8.</i></b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.T.1. Site Lighting	<p>a. The following areas shall be illuminated at night to ensure the safety of users and to minimize opportunities for crime. Illumination shall conform to the city of Ketchum dark sky ordinance.</p> <p>(1) Intersection of streets.</p> <p>(2) Intersection of alleys and streets.</p> <p>(3) Surface parking lots.</p> <p>(4) Parking structures, including access points, elevators and stairwells.</p> <p>(5) Pedestrian walkways and paths.</p> <p>(6) Plazas.</p> <p>(7) Sidewalks.</p> <p>(8) Automated teller machines (ATMs).</p> <p>(9) All entrances to buildings, including rear and service entrances.</p> <p>(10) Garbage disposal areas.</p> <p>(11) Alleys.</p> <p>(12) Other areas that are routinely used by pedestrians.</p> <p>b. Site, building, and sign lighting shall be located and directed to light the</p>

Yes	No	N/A	Standard Number	City Standards and Conclusion
				intended area of illumination and to prevent off site glare impacts on adjacent buildings or properties.
			<i>Conclusion</i>	<i>The current application does not address exterior lighting. The original Design Review condition of approval #8 addressed this by requiring that a final lighting plan be submitted for review by the Design Review Subcommittee prior to building permit approval. Staff recommends that condition be made a part of the current approval. This standard may be met with condition of approval #8.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.U.1. Plazas, Pedestrian Walkways And Courtyards	<p>a. All plazas, pedestrian walkways, and courtyards shall be designed with an ornamental surface that is differentiated from the sidewalk and asphalt streets and parking lots. Appropriate types of ornamental paving include:</p> <ol style="list-style-type: none"> <li>(1) Natural stone.</li> <li>(2) Turf block.</li> <li>(3) Brick.</li> <li>(4) Concrete unit pavers.</li> <li>(5) Concrete with special textures, colors, and patterns.</li> </ol> <p>b. At least two (2) sides of a plaza or courtyard shall be defined by building facades with active ground floor uses (such as restaurants, retail stores, cafes, bars, etc.). Edges that are not defined by building facades shall be defined with landscaping features, such as trees, low planters, seating, a pergola with vines, or sculptures.</p> <p>c. All plazas and courtyards shall be designed with pedestrian amenities, such as seating, outdoor dining tables with umbrellas, winter ice rinks, planters, trees, vine covered pergolas, pedestrian scaled lighting, public artwork, outdoor fireplaces, and fountains.</p> <p>d. Plazas shall be illuminated from dusk to dawn. A combination of overhead lighting and lighted bollards shall be used.</p> <p>e. Plazas, pedestrian walkways, and courtyards that are paved shall be kept clear of snow and ice to ensure that the space is usable throughout the year.</p>
			<i>Conclusion</i>	<i>The proposed plaza at the rear of the building contains hardscape and landscaping elements, seating, fire pit areas and public art and is contained on two (2) sides by the hotel building. As noted in item R above, the landscape design is not fully developed. Staff recommends that original Design Review condition of approval #7 shall continue to apply and that the Design Review Subcommittee shall review and approve the final landscape design with the City Arborist. This standard may be met with condition of approval #7.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.64.020.V. 1. Parks	<p>a. Park improvements shall be designed to preserve mature trees, natural topographic features, rock outcroppings, and riparian and floodplain features.</p> <p>b. All parks shall be designed with pedestrian amenities, such as shaded trails and paths, seating areas, picnic tables, barbecue areas, planters, trees, vine covered pergolas, gazebos, drinking fountains, pedestrian scaled lighting, public artwork, and fountains.</p> <p>c. Parks shall be visible from streets, sidewalks, and adjacent uses to facilitate informal surveillance of the park and to increase safety and security. Edge treatments such as landscaping and fencing shall not block public views into the park. Parks shall not be isolated or walled off from the surrounding community.</p> <p>d. Lighting shall be provided for pedestrian paths, parking lots, restrooms, picnic areas, gazebos, and other structures within parks. Lighting shall be located and directed to control off site glare.</p> <p>e. Parks shall be designed with a combination of shaded areas to create cool areas during warm summer months and open space for solar access during the colder months. Canopy trees, trellises, gazebos, and/or other structures shall be provided to shade pedestrian paths, picnic areas, outdoor seating areas, and playgrounds.</p>
			<i>Conclusion</i>	<i>No parks are proposed within the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.W.1. Bicycle Parking	<p>a.</p> <p>(1) All developments within downtown are required to have bicycle parking. The minimum number of bicycle racks shall be determined by whichever of the following is greater:</p> <p>(A) Two (2) bicycle racks per use or business.</p>

Yes	No	N/A	Standard Number	City Standards and <i>Conclusion</i>
				<p>(B) A number of bicycle racks that equals twenty percent (20%) of the required auto parking.</p> <p>(C) Two (2) bicycle racks per lot.</p> <p>(2) Schools are required to provide a minimum of one bicycle rack per ten (10) students or ten percent (10%) of required auto parking, whichever is greater. Recreation uses are required to provide a minimum of five (5) bicycle racks or ten percent (10%) of required auto parking, whichever is greater.</p> <p>b. A single bicycle rack shall meet the following criteria:</p> <p>(1) Support the bicycle upright by its frame in two (2) places.</p> <p>(2) Prevent the wheel of the bicycle from tipping over.</p> <p>(3) A U-lock should be able to lock the front wheel and the down tube of an upright bicycle or lock the rear wheel and seat tube of the bicycle.</p> <p>c. Two (2) or more single racks may be mounted in a row on a common base or attached in a row to a frame.</p> <p>d. Inverted "U" racks mounted in a row should be placed thirty inches (30") apart (on center) allowing enough room for two (2) bicycles to be secured to each rack and providing easy access to each bicycle.</p> <p>e. The rack should be anchored so that it cannot be stolen with the bikes attached. Racks that are large and heavy enough such that the rack cannot be easily moved or lifted with the bicycles attached do not have to be anchored.</p> <p>f. Bicycle racks may be placed on private property and public sidewalks. In both cases, the racks shall not be placed so that they block the entrance or inhibit pedestrian flow in or out of the building. If placed on a sidewalk or pedestrian walkway, they should be placed so that at least five feet (5') of sidewalk width is maintained.</p> <p>g. Where multiple racks are installed in rows with aisles separating the rows, the following dimensions apply:</p> <p>(1) Minimum aisle width should be forty eight inches (48"). The aisle is measured from tip to tip of bike tires across the space between racks.</p> <p>(2) Minimum depth should be seventy two inches (72") for each row of parked bicycles.</p> <p>(3) Areas with a high turnover rate should have a minimum aisle width of seventy two inches (72") and should have more than one entrance.</p> <p>h. Racks shall be mounted within fifty feet (50') of the entrance it serves, or as close as the nearest car parking space, whichever is closer.</p> <p>i. Racks shall be clearly visible from the entrance it serves.</p> <p><i>Conclusion</i></p> <p><i>The current design contains a 680 sf room dedicated to ski and bicycle storage, but does not indicate bicycle rack locations. In the original Design Review approval, it was noted that a total of 23 bicycle racks would be required based on the total parking requirement. However, locations of those racks had not been determined, and, per condition of approval #8, it was required that a final detailed bicycle rack plan shall be reviewed and approved by the Design Review Subcommittee prior to building permit approval. Staff recommends that original condition of approval #8 shall continue to apply.</i></p> <p><i>This standard may be met with condition of approval #8.</i></p>
☒	☐	☐	17.64.020.X.1. Streets And Streetscapes	<p>a. Streetscape improvements shall be designed in compliance with the city approved cross sections for downtown streets.</p> <p>b. On street parallel parking spaces shall have a dimension of eight feet by twenty feet (8' x 20') (for non-ADA accessible spaces). On street angled parking spaces shall be provided at a forty five (45) to sixty degree (60°) angle. Angled parking spaces shall have a depth of eighteen feet (18') (as measured perpendicular from the curb face), and a width of nine feet (9') (as measured perpendicular to the stripes of the parking stall). A minimum distance of twenty feet (20') is required from the crosswalk or stop sign line to the first parking space.</p> <p>c. The sidewalk radius at street intersections shall be minimized to shorten the length of pedestrian crossings and to prevent vehicles from making turns at high speeds. The city of Ketchum streets department and fire department shall determine the minimum sidewalk radius when designing streetscape</p>

Yes	No	N/A	Standard Number	City Standards and <i>Conclusion</i>
				<p>improvement plans.</p> <p>d. All streetlight fixtures, traffic signals, traffic and directional signs, pedestrian wayfinding signs, parking signs, bicycle racks, parking meters, and fire hydrants shall be located within one to three feet (3') of the curb face.</p> <p>e. All streets shall be designed with streetlights. Streetlights shall be provided along all sidewalks at spacing intervals not to exceed sixty feet (60').</p> <p>f. Streetscape furniture and amenities shall be located to maintain a clear pedestrian path of at least five feet (5') in width.</p> <p>g. If permitted, tables, chairs, and other obstructions used for sidewalk dining shall be located to maintain at least five feet (5') of unobstructed sidewalk width.</p> <p>h. All streetlights, streetscape furniture, and amenities shall be consistent with a city approved list of approved furniture.</p> <p>i. Streetlights shall be scaled to pedestrians and shall be no taller than fourteen feet (14').</p> <p>j. Streetlights shall be equipped with hardware to allow flowerpots and banners to hang from the streetlight. At least seven feet (7') of vertical clearance shall be provided from the sidewalk to the bottom of the flowerpot or banner.</p> <p>k. Community organizations are allowed to hang banners from public streetlights with the approval of a sidewalk use permit. The planning director shall approve all banners that are hung from public streetlights. The Ketchum streets department shall be responsible for hanging all streetlight banners. The city reserves the right to charge a fee for the banners.</p> <p>l. All new public sidewalks shall be heated to facilitate the removal of snow.</p> <p>m. All sidewalks shall be constructed of concrete pavers. Special paving features may be allowed on the sidewalks of unique streets within the downtown, such as Fourth Street and First Avenue.</p> <p>n. The project applicant shall be required to pay for new sidewalk, curbs, and gutters within the public right of way adjacent to the project site when the value of construction exceeds twenty thousand dollars (\$20,000.00).</p> <p>o. Root guards shall be installed for each street tree to minimize damage to the sidewalk.</p> <p>p. All street trees shall be irrigated with automatic drip irrigation systems that do not produce overspray on the sidewalk.</p> <p>q. All new trees shall have a caliper size of three inches (3") measured twelve inches (12") from the ground. If the species is not available in this size, a caliper of two and one-half inches (2 1/2"), measured twelve inches (12") from the ground, will be acceptable. Evergreen trees shall be at least eight feet (8') tall when planted. All trees shall have a minimum height of fourteen feet (14') when fully grown.</p> <p>r. In order to provide adequate pedestrian clearance, trees shall be pruned regularly so that there is at least seven feet (7') of vertical clearance between the lowest branches of the tree and the grade of the adjacent sidewalk or pedestrian walkway. They shall also be pruned to maintain the health, vigor, and natural shape of the tree, and to maintain vehicular clearance and sight lines.</p> <p>s. All trees shall have an adequately sized planting area. The size of the planting area shall be based on the amount of room needed for tree roots. Root barriers shall be used when trees are planted near pedestrian walkways and sidewalks.</p> <p>t. All street trees planted in the community core district shall be species that are recommended and approved by the city arborist.</p> <p><i>Conclusion</i></p> <p><i>Twelve (12) on street parallel parking spaces are currently proposed. The proposed street landscaping includes trees with grates. Specific species are not called out, and the plans are not entirely consistent. Staff recommends that original Design Review condition of approval #7 shall continue to apply and that the Design Review Subcommittee shall review and approve the final landscape design with the City Arborist.</i></p> <p><b><i>This standard may be met with condition of approval #7.</i></b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.64.020.Y.1. Signage Plans	a. Exposed support structures for signs, including, but not limited to, posts, poles and sign sides or edges, must be faced or covered with wood, stone or metal

Yes	No	N/A	Standard Number	City Standards and <i>Conclusion</i>
				<p>which is corrosion resistant, painted or anodized, or such other material as may be approved by the city as a reasonable, natural textured substitute.</p> <p>b. All freestanding signs shall have landscaping around the base of the support structure in order to provide a transition from the ground to the sign.</p> <p>c. All materials should prevent reflective glare.</p> <p>d. Simple and easy to read typefaces should be used on signs. Hard to read and overly intricate typefaces should be avoided.</p> <p>e. Signs that have symbols, characters, or graphics are encouraged. The symbol, character, or graphic should relate to the products sold in the business or to the name of the business.</p> <p>f. Signs that show depth and cast shadows are encouraged. Depth and shadows can be created by mounting individually cut letters and symbols on the sign base or carving letters and symbols into the base of the sign.</p> <p>g. Projecting signs are preferred over portable or sandwich board signs. Projecting signs generally are more effective for increasing visibility to both pedestrians and motorists.</p> <p>h. Sign materials and colors should complement the building facade. Basic and simple color applications are encouraged and vibrant colors should be avoided.</p> <p>i. The color of letters and symbols should contrast the base or background color of the sign to maximize readability.</p> <p>j. Signs shall not cover or obscure windows, doors, storefronts, building entrances, eaves, cornices, columns, horizontal expression lines, or other architectural elements or details.</p> <p>k. Signage on buildings with multiple tenants shall be limited to prevent sign clutter. Individual signs for tenants with ground floor storefront entrances are permitted. A directory sign with the names and suite numbers of all tenants without a ground floor storefront entrance may be provided at the lobby entrance for those tenants.</p> <p><b>l. An address marker shall be provided at the main entrance to all buildings.</b></p>
			<i>Conclusion</i>	<p><i>The original Design Review condition of approval #8 contained a provision that, prior to building permit approval, a Master Sign Plan, including circulation, shall be submitted for review and approval by the Design Review Subcommittee. Staff recommends that original condition of approval #8 shall continue to apply.</i></p> <p><b><i>This standard may be met with condition of approval #8.</i></b></p>

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code.
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning code, Title 17.
3. The Commission has authority to hear the applicant's Design Review Modification Application pursuant to Chapter 17.64 and 17.96 of Ketchum Code Title 17.
4. The City of Ketchum Planning Department provided adequate notice for the review of this application.
5. The project meets the standards of approval under Chapter 17.64 and 17.96 of Zoning Code Title 17.

## **DECISION**

**THEREFORE**, the Ketchum Planning and Zoning Commission **approves** this Design Review Modification application this Monday, February 23, 2015, subject to the following conditions:

1. Ketchum City Engineer, Utilities, Street, Fire and Building Department requirements shall be met through the building permit approval;
2. Design Review approval shall expire according to the requirements set forth in the PUD Development Agreement, Third Amendment dated November 3, 2014 for the project;
3. All Design Review elements as depicted in the Design Review Modification plans dated February 9, 2015, and as required through the conditions of approval shall be completed prior to final inspection/occupancy;
4. This Design Review approval is based on the plans dated February 9, 2015, and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Commission or the Director of the Planning and Building Department or subject to Condition 7 below. Any building or site discrepancies which do not conform to the approved plans or conditions of approval may be subject to removal;
5. This Design Review approval is subject to the Planned Unit Development and Development Agreement approvals for Bald Mountain Lodge, LLC, most recently amended by the Third Amendment to the Bald Mountain Lodge Development Agreement dates November 3, 2014 and recorded as Instrument #623125 with the Blaine County Recorder;
6. Prior to issuance of a building permit the applicant shall receive a right of way encroachment agreement from the City for all right of way encroachments associated with the project;
7. A Design Review Subcommittee consisting of two Commissioners and the Director of the Planning and Building Department shall review and approve certain building and site planning elements including, but not limited to:
  - a) Final composition of all finish materials including, but not limited to, placement of stucco, cor-ten steel and wood siding;
  - b) Final lighting plan - All proposed outdoor lighting, including all balcony, façade and terrace lighting shall be detailed in the building permit plans and shall be dark sky compliant;
  - c) Final bicycle rack plan - Bicycle racks shall meet all requirements of Chapter 17.64 of the Ketchum Zoning Code and shall be installed prior to certificate of occupancy. The final number of required bike racks shall be determined by the Subcommittee. Washington Avenue shall be prioritized with regard to bike rack placement;
  - d) Location and screening of utility meters, transformers, pedestals and traffic light equipment. Plans will need to illustrate how this equipment is screened from public view;
  - e) A detailed plan illustrating how rooftop mechanical equipment will be screened and how rooftop snow retention and drainage will be achieved to ensure protection of

- public pathways, sidewalks and other public areas. Height of mechanical screening shall be limited to minimum necessary to provide adequate screening;
- f) Detailed fence and wall designs shall be submitted for review and approval by the Design Review Subcommittee; and
  - g) Complete Master Sign Plan of the entire building and grounds including circulation;
8. The Design Review Subcommittee and the City Arborist shall review and approve all landscaping within the public Right of Way and within the resort prior to building permit approval. This shall include review and approval of tree grates, guards, species and caliper sizes;
  9. The Design Review Subcommittee and the City Arborist and Public Works Director shall review and approve stamped civil engineered drawings for street and sidewalk improvements, showing grading;
  10. The Commission approves the proposed flat roof design and grants an exception to Ketchum municipal Code (KMC) Section 17.64.010.L.9.e.
  11. The Commission approves the proposed single roof access and grants an exception to KMC Section 17.64.010.L.9.c.
  12. Prior to issuance of a building permit, the applicant shall submit civil engineered on-site drainage plans for review and approval by the Design Review Subcommittee.

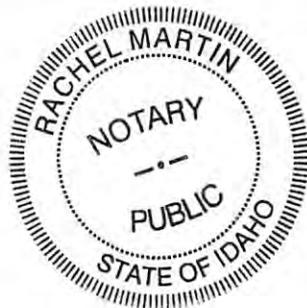
Findings of Fact **adopted** this 2<sup>nd</sup> day of April, 2015.

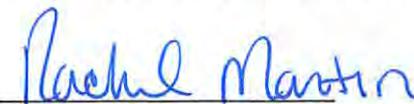
  
 Steve Cook, Vice Chair  
 Planning and Zoning Commission

STATE OF IDAHO                    )  
   ) ss.  
 County of Blaine                    )

On this 2<sup>nd</sup> day of April, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Steve Cook, known or identified to me to be the person whose name is subscribed to the within instrument.

WITNESS my hand and seal the day and year in this certificate first above written.



  
 Notary Public for Idaho  
 Residing at: Blaine County  
 Commission Expires: November 5, 2019

**Attachment C.  
Approved Plan Set,  
dated February 9, 2015**



**limelight** • HOTEL • KETCHUM

In-Progress Meeting, Ketchum ID

February 9, 2015

**ASPEN**  **SNOWMASS.**

 **limelight**  
HOTEL • KETCHUM

**CALLISON**  
AN ARCADIS COMPANY

## TARGET MARKET

The Limelight Hotel seeks to cater to people based on a behavior rather than a specific generation or demographic. For this reason, the primary target market for the Limelight Hotel is **SOCIAL ADVENTURERS**.

**What:** Vacation in Ketchum for the town's vibe and outdoor opportunities.

**Want:** A place where they can kick back, hang out, and take in everything Ketchum.

**Reason:** "Comfort and casualness are key. When I am on vacation, I don't want to stay at a place that gives off that standard hotel feeling, but instead somewhere that feels like home. I am looking for a hotel that allows me to be myself, where I am called by my first name, and even if I don't know anyone, I feel like I am staying with my closest friends"

## STRATEGIC DIRECTION

The Limelight Hotel doesn't take itself too seriously. It's neither tragically hip, nor stuck in the late 1800's. It's just real. It's killer beer and pizza on the patio. It's sharing stories and laughs with adventurous souls. It's knowing that what's outside of its walls is just as important as what's inside. It's a lighthearted staff and casual shine that makes even the weariest traveler feel at home.

*It's The Limelight Hotel. Lighten Up.*

## BRAND VOICE

Life, especially travel, is full of entertaining stories, characters, and experiences that people love to hear about and share. It's relatable, remarkable, and downright hilarious at times. It's those real moments that fuel our guests' love for travel and the Limelight Hotel's love to host them on their journeys. The voice of Lighten Up needs to echo that same energy with an inviting, down to Earth, quirky, empowering and fun tone. It must be very conversational, approachable, and above all, honest. A constant reminder that life's too short and to always look on the bright side. A playful and genuine view of the world will allow the Limelight Hotel to take lighthearted, playful jabs at those who need to Lighten Up a bit and welcome them to stay a while.

## ACTIVATION

- Be the place where locals gather and share stories. Bring the **community** into the hotel-city, fire, police, community events...etc
- Educating the community about what the Limelight Hotel is
- Articulating the brand essence by **connecting** emotionally and experientially with the end-user
- Properly positioning the Limelight Hotel in order to connect with the most relevant **target market**
- A price point that locals and guests feel is a **value**
- Create and incorporate activities that represent the **local destination**- First Tracks, Inside Tracks, SUP, bike tours, Nordic Skiing... etc
- It is imperative to note that the most important thing that needs to be communicated to the designated target market is how the **intangibles** are what make the cost of staying at the Limelight Hotel worth it.

## PROJECT GOALS

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- Return the historic Bald Mountain Lodge site to productive use & to become a catalyst for new development in the commercial core
- Reinforce the southern “gateway” to the City & the pedestrian experience along Main Street
- Create an “all seasons” resort and a compelling experience for guests through the architecture, amenities and brand identity
- Develop a retail offering & venue of activities to engage the local residents & attract part-time residents/vacationers
- Differentiate the project in the market by moving the design away from the traditional mountain lodge aesthetics to a more sophisticated, mountain modern resort
- Incorporate green building practices as responsible stewards of the environment
- Develop a financially sustainable hotel project in Ketchum



**Project Statistics Summary**

Site Area: 48,289 sft.

**Project Areas**

Level	Use	Total Gross Floor Area	Net Area	Unit Count
<b>P1</b>	Parking		39,154	
	Hotel B.O.H./Mech.		9,136	
	<b>Total Floor Area</b>	<b>48,290</b>		
<b>Ground</b>	Hotel/Retail		25,245	
	Retail		2,057	
	<b>Total Floor Area</b>	<b>27,302</b>		
<b>Level-2</b>	Hotel		22,594	43
	Service/Corridor etc..		5,628	
	<b>Total Floor Area</b>	<b>28,222</b>		
<b>Level-3</b>	Hotel		22,996	44
	Service/Corridor etc..		5,226	
	<b>Total Floor Area</b>	<b>28,222</b>		
<b>Level-4</b>	Hotel		4,824	11
	Residential		13,574	6
	Lock-Offs		2,456	5
	Service/Corridor etc..		4,526	
	<b>Total Floor Area</b>	<b>25,380</b>		
<b>Level-5</b>	Hotel		0	0
	Residential		17,162	8
	Lock-Offs		2,320	5
	Service/Corridor etc..		3,803	
	<b>Total Floor Area</b>	<b>23,285</b>		
<b>Total Above Grade Area</b>		<b>132,411</b>		
<b>Total Area Including Parking</b>		<b>180,701</b>	<b>Total Hotel Units</b>	<b>108</b>
<b>Total Area Minus Parking</b>		<b>141,547</b>	inc. lock-off	
<b>Hotel Floor Area</b>		<b>110,811</b>	<b>Total Res. Units</b>	<b>14</b>
<b>Hotel % of Total Floor Area</b>		<b>78.3%</b>		

**Zoning**

CC Community Core District/Building Type 6-Hotel

**Parking Counts Required per Code**

Residential 1.0 (per 1,500 net s.f.)  
 Hotel (Accommodation) .75 (per hotel unit inc. lock-off)  
 Retail trade and service 2.0 spaces per 1,000 gross s.f.

**Parking Allowances**

On street parking 4.0 spaces per 5,500 s.f. of lot area  
 (48,289/5,500 = 8.79 x 4 = 35 spaces)

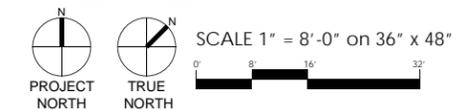
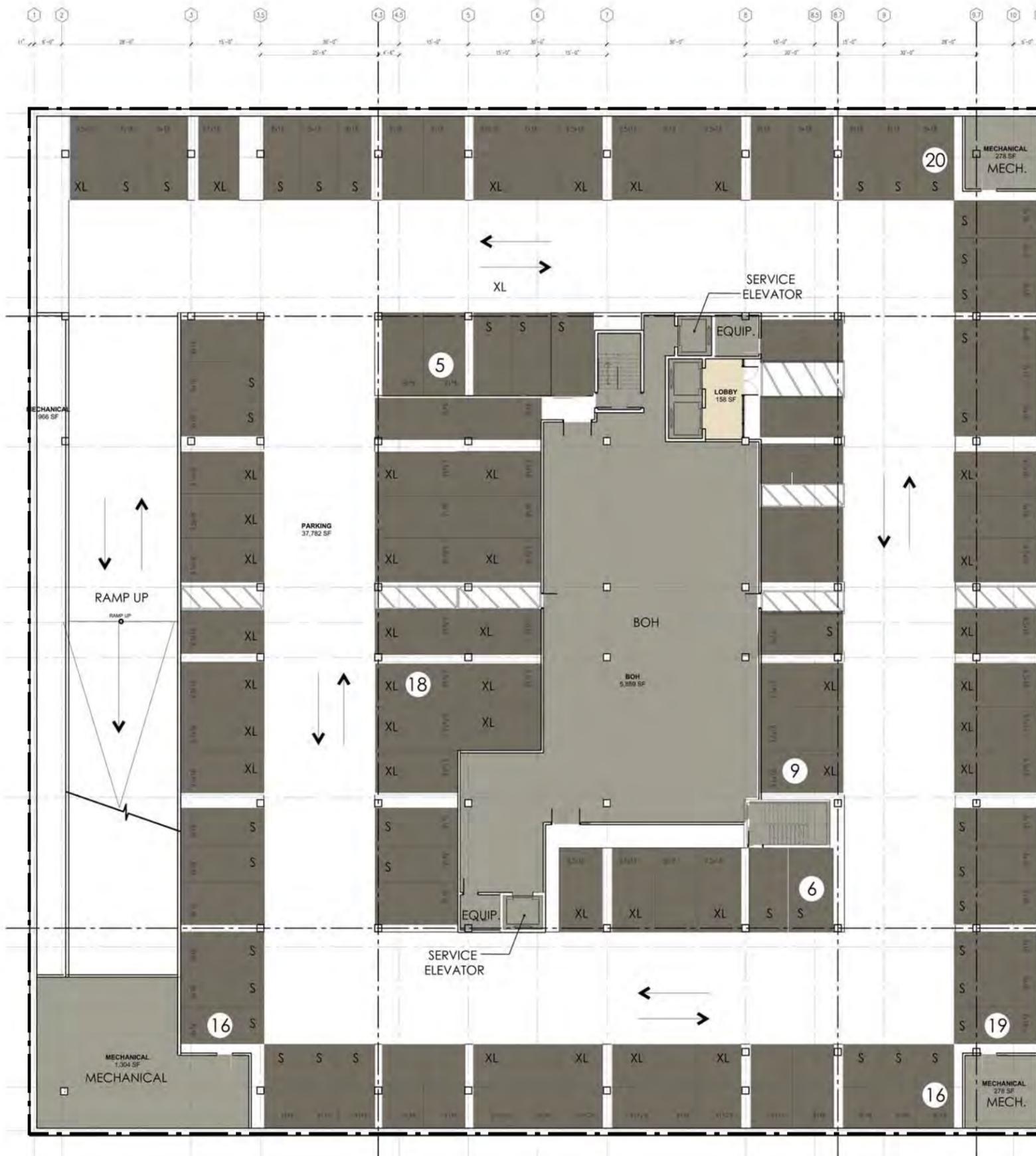
**Proposed Parking Requirements**

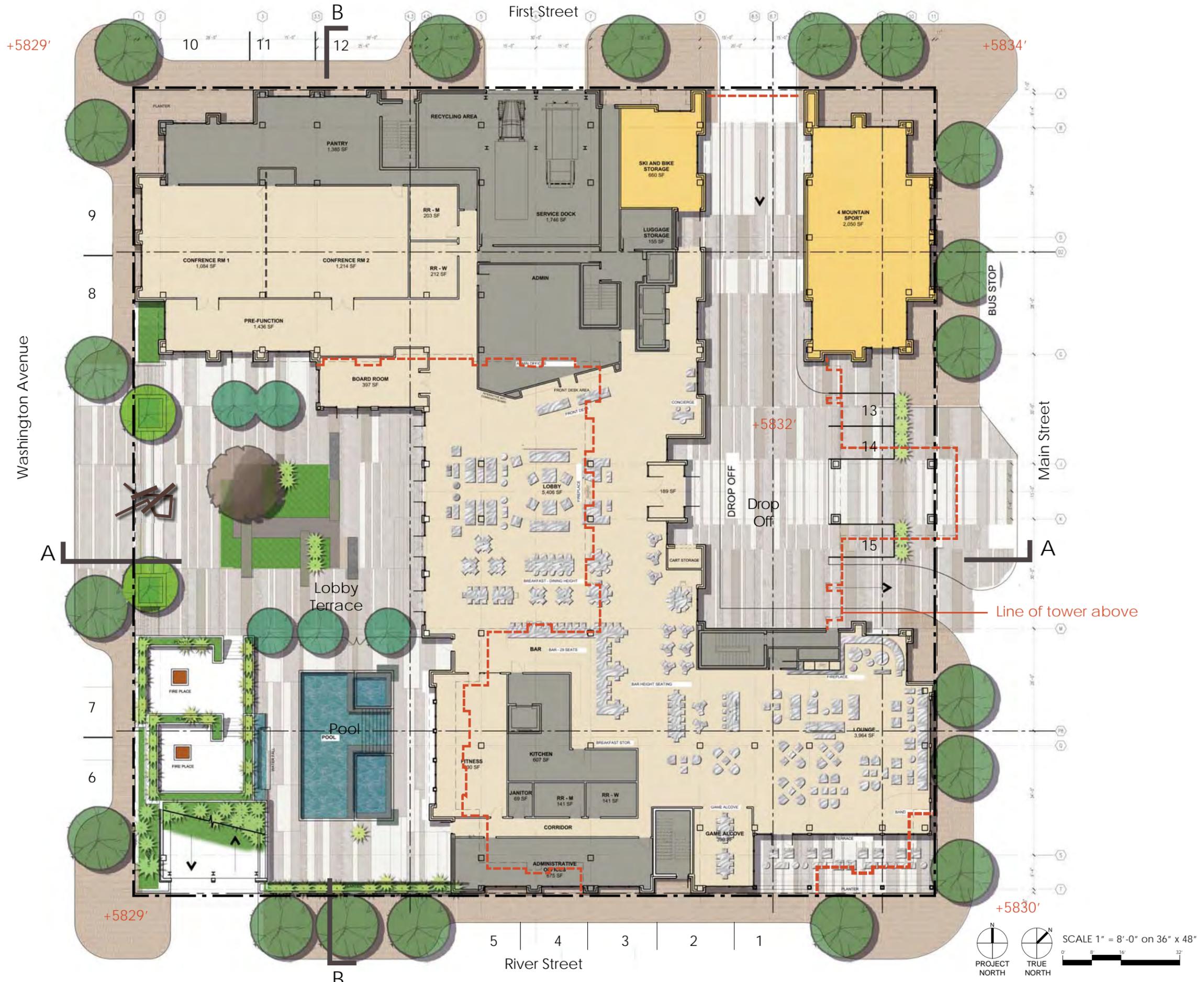
	Spaces Required	Net Area/keys total	
Residential	20.5	30,736	(30,736 / 1,500 = 20 spaces)
Hotel (Accommodation)	81.0	108	(108 x .75 = 81 spaces)
Retail trade and Retail service	21.6	10,819	(10,819 / 1000 x 2 = 21 spaces)
<b>Total Required Spaces</b>	<b>123.1</b>		
<b>Total Provided Spaces</b>	<b>124</b>		(109 garage + 12 street and 3 lay by)

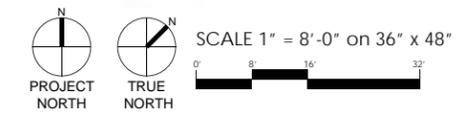
**Sidewalk Widths**

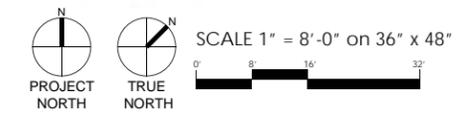
Main street 8 feet + 8 feet bus drop-off width  
 First Street 10 feet + 8 feet parallel parking width  
 Washington Avenue 10 feet + 8 feet parallel parking width  
 River Street 10 feet + 8 feet parallel parking width

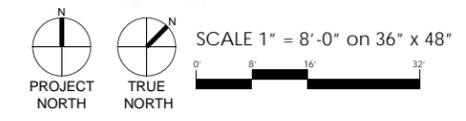


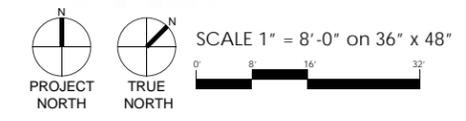


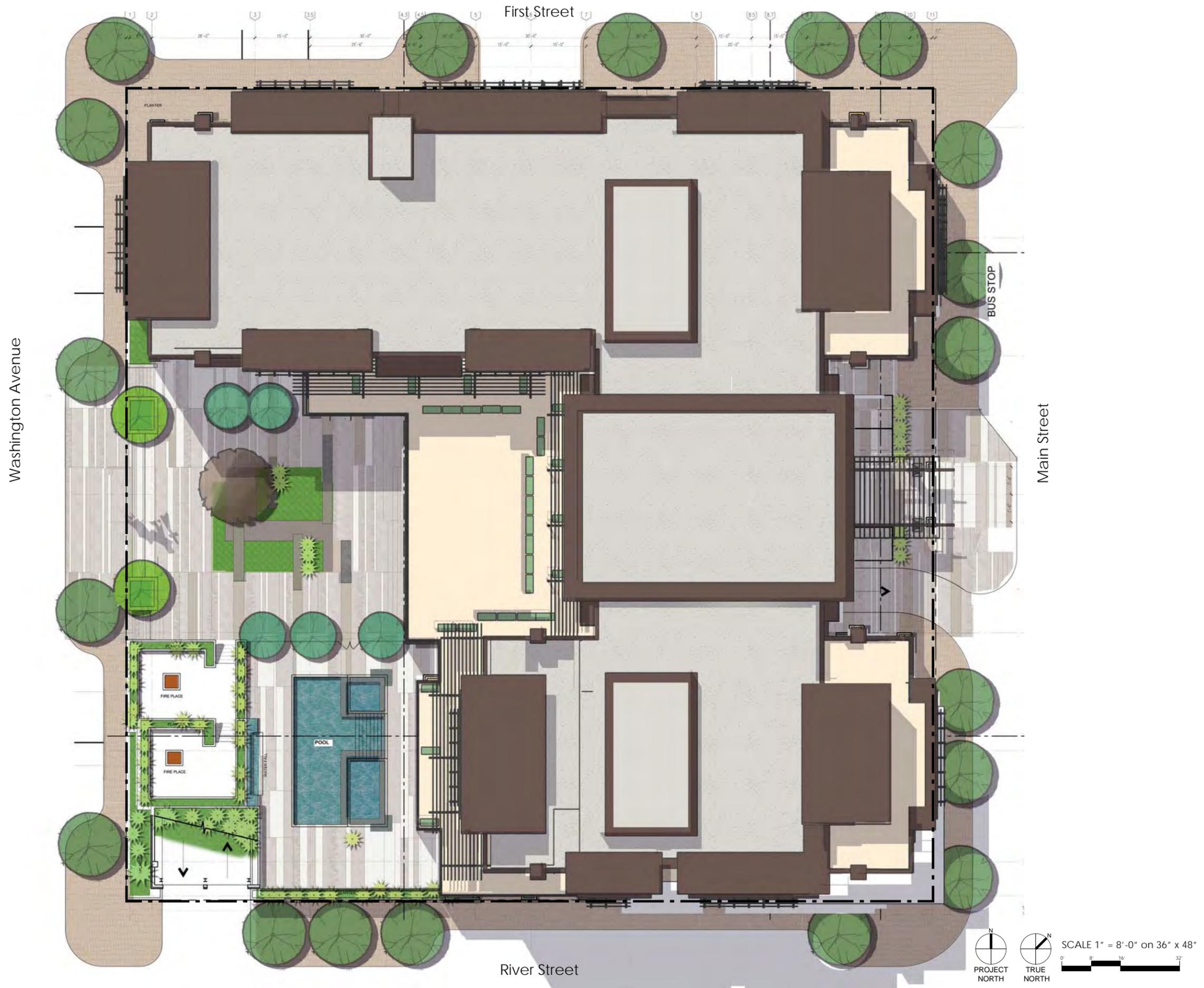














1 MAIN ST. ELEVATION  
SCALE 1" = 8'-0"



1 RIVER STREET ELEVATION  
 SCALE 1" = 8'-0"





1 WASHINGTON AVE ELEVATION  
 SCALE 1" = 8'-0"



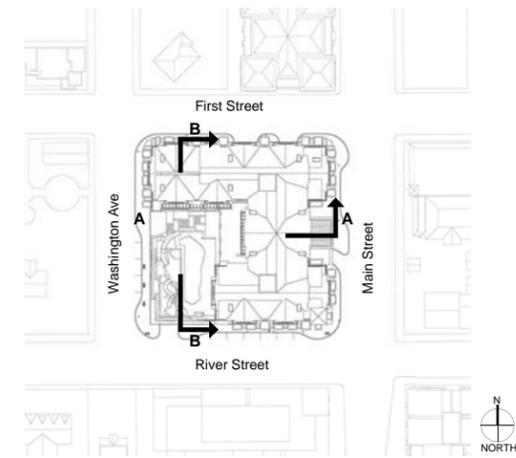


**1** FIRST STREET ELEVATION  
 SCALE 1" = 8'-0"





KEY PLAN



1 E/W BUILDING SECTION A-A  
SCALE 1" = 8'-0"

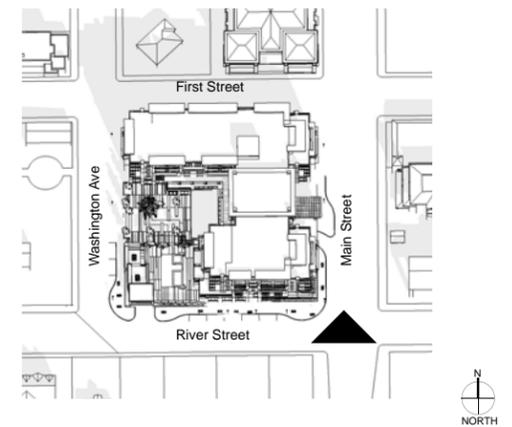


2 N/S BUILDING SECTION B-B  
SCALE 1" = 8'-0"



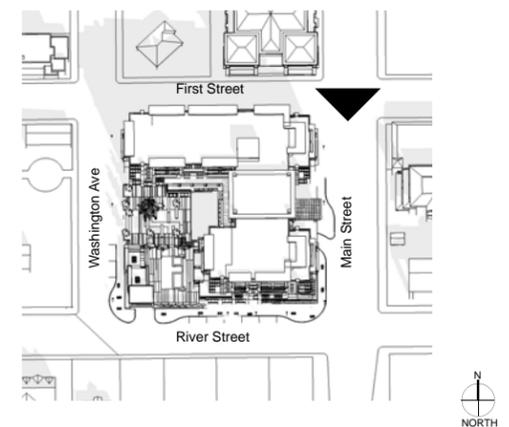


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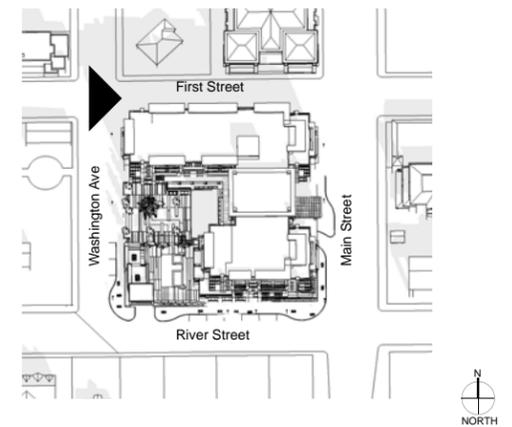


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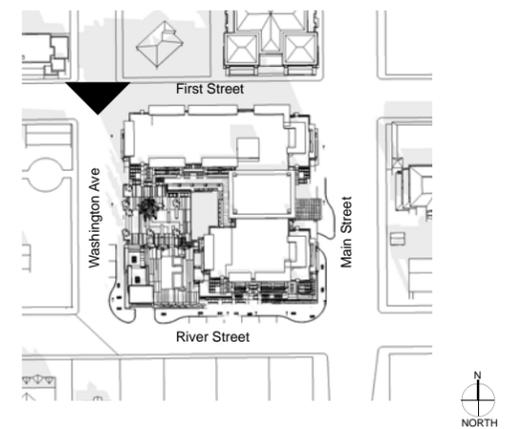


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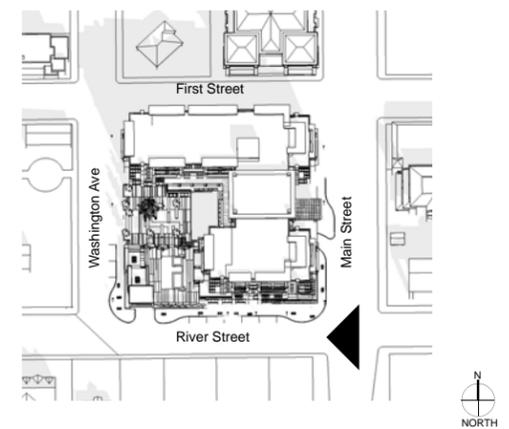


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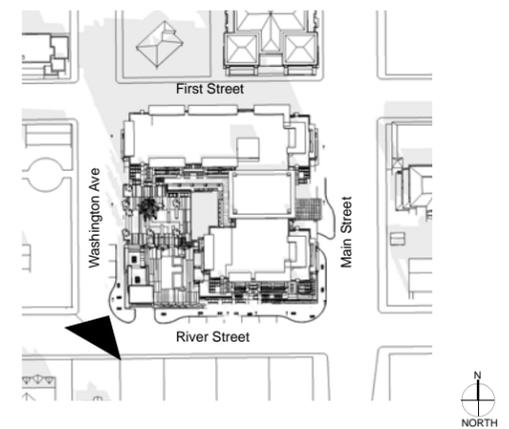


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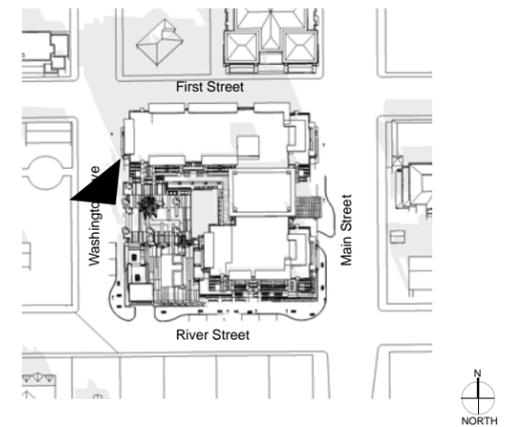


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