



NOTICE OF A REGULAR MEETING OF THE  
KETCHUM PLANNING AND ZONING COMMISSION  
MONDAY, JUNE 8, 2015, 5:10 P.M.  
331 WEST SIXTH STREET, 154 IRENE STREET  
AND KETCHUM CITY HALL  
480 EAST AVENUE NORTH, KETCHUM, IDAHO

A G E N D A

1. 5:10 p.m. – SITE VISIT at 331 WEST SIXTH STREET. The Commission will convene for a site visit in regard to the application by *Sallie Castle* for a two unit townhouse development application
2. 5:25 p.m. – SITE VISIT at 154 IRENE STREET. The Commission will convene for a site visit in regard to the application by *Shane and Hillary Felker* for a residence and accessory building in the floodplain overlay.
3. 5:40 p.m. RECONVENE AT KETCHUM CITY HALL, OPENING OF MEETING
4. 5:40 p.m. PUBLIC COMMENT - This is an opportunity for the public to speak with the Commission about issues and ideas not on the agenda.
5. EST 5:45 p.m. PUBLIC HEARING upon the application of Sallie Castle for a two unit townhouse development application at 331 West Sixth Street (Ketchum Townsite Lot 4, Block 73) in the (GR-L) General Residential – Low Density zoning district to construct two detached 3644 square foot each, townhouse units.  
[Staff Report and Attachments](#)
6. EST 6:20 p.m. CONSIDERATION FOR ACTION upon the application of by Shane and Hillary Felker, for a waterways design review/floodplain development permit application at 154 Irene Street, (Warm Springs Creekside Sub, Lot 23) to build a new 3,900 square foot single family residence and a 274 square foot home office in the floodplain overlay adjacent to Warm Springs Creek.  
[Staff Report and Attachments](#)
7. EST 7:00 p.m. WORKSESSION, Code Rewrite Phase II  
[Attachment](#)
8. EST 7:30 p.m. CONSENT AGENDA
  - a. FINDINGS OF FACT
    - i. [Jordan Design Review Modification - Approval](#)
  - b. APPROVAL OF MINUTES
    - i. [May 11, 2015 Site Visits](#)
    - ii. [May 26, 2015](#)
    - iii. [May 26, 2015 Site Visits](#)
9. EST 7:35 p.m. FUTURE PROJECTS AND NOTICING REQUIREMENTS
10. EST 7:40 p.m. STAFF REPORTS & CITY COUNCIL MEETING UPDATE
11. EST 7:45 p.m. COMMISSION REPORTS AND EX PARTE DISCUSSION OR DISCLOSURE
12. ADJOURNMENT



City of Ketchum  
Planning & Building

Planning and Zoning Commission  
City of Ketchum  
Ketchum, Idaho

Commissioners:

**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**REGULAR MEETING OF JUNE 8, 2015**

**PROJECT:** Foxhole Townhomes Design Review

**FILE NUMBER:** #15-050

**OWNERS:** Castle Sallie B Trustee

**REPRESENTATIVE:** Kristian Solvang

**REQUEST:** Design Review approval of a detached, two-unit townhouse development

**LOCATION:** 331 W. 6<sup>th</sup> Street (Lot 4, Block 73, Ketchum Townsite)

**NOTICE:** Adjacent property owners (mailed May 29, 2015)

**ZONING:** General Residential – Low Density (GR-L)

**OVERLAY:** None

**REVIEWER:** Morgan Brim, Senior Planner / Current and Long-range Planning Manager

**ATTACHMENTS:** A. Application  
B. Plans and Project Rendering  
C. Exterior Finishes and Lighting Details

**BACKGROUND**

1. The subject property is located in the General Residential – Low Density (GR-L) Zone District and the lot is 8,258 square feet in size. In the GR-L Zone District, two townhome units are allowed on a lot that is at least 8,000 square feet in size. (Townhomes may be arrayed in a duplex configuration or as two separate detached residential units.) In this district, a 35 foot building height is allowed. The vicinity of the subject property is developed with detached residential. An existing one-family dwelling unit is located on the property. The applicant is proposing to demolish this structure to accommodate the two detached townhome units.

2. The applicant has submitted for both design review and a preliminary plat approval. However, no CC&R's have yet been submitted so the preliminary plat proposal cannot be approved during this meeting. Due to the nature of this proposal, staff recommends that no action for approval/denial be taken at this meeting and that the design review application be continued to the next meeting on June 22, 2015 to accommodate a concurrent review of a complete preliminary plat application. This meeting will be a discussion purposes only.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.080	<b>Complete Application</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	City Department Comments	<b>Police Department</b> <ul style="list-style-type: none"> <li>○ No concerns were identified.</li> </ul>
				<b>Fire Department</b> <ul style="list-style-type: none"> <li>○ New addresses must be attained from the Fire Department prior to building permit issuance.</li> </ul>
				<b>Streets</b> <ul style="list-style-type: none"> <li>○ There have been recent changes with ROW standards which include:               <ul style="list-style-type: none"> <li>○ No landscaping or irrigation is allowed in the ROW;</li> <li>○ Proper drainage will need to be verified and approved by the Public Works Department; and</li> <li>○ Four inches of decomposed granite or ¾ road mix will cover the ROW after the grade has been established.</li> </ul> </li> <li>○ The alley is currently not improved and not maintained by the city. Any alley improvements will be the responsibility of the property owner and future winter maintenance of the improved section of the alley will need to be addressed.</li> <li>○ All improvements in the city ROW need to be approved by the Public Works Department.</li> <li>○ A ROW encroachment permit is required for any infrastructure or driveways within the ROW.</li> </ul>
				<b>City Engineer</b> <ul style="list-style-type: none"> <li>○ The drainage plan will need to be certified by a license civil engineer and approved by the Public Works Department.</li> </ul>
				<b>Utilities</b> <ul style="list-style-type: none"> <li>○ Each unit must be served by separate water meters, and separate water and sanitary sewer service lines.</li> </ul>

			<p><b>City Arborist</b></p> <ul style="list-style-type: none"> <li>○ The city arborist visited the property and recommends total removal of trees along 6<sup>th</sup> Street. He indicated that inappropriate tree species were originally planted under the power line.</li> <li>○ The north side of the property needs to be thinned out or replanted. The evergreen trees are currently overgrown.</li> <li>○ The two large spruce trees located in the middle of the project are worth saving.</li> <li>○ The landscaping plan needs to allow for visibility at the corner of 6<sup>th</sup> Street and 3<sup>rd</sup> Avenue.</li> </ul>
			<p><b>Building:</b></p> <ul style="list-style-type: none"> <li>○ Two separate building permits – one per unit – will be required.</li> <li>○ A demolition permit is required.</li> </ul>
			<p><b>Planning and Zoning:</b></p> <ul style="list-style-type: none"> <li>○ The proposed driveway width on 3<sup>rd</sup> Avenue is slightly more than is allowed (35%) and will need to be reduced to 19.23 feet or less. The plans currently indicate a width of 20 feet.</li> </ul>

Compliance with Zoning District and Overlay Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Standard	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Reference	<p><b>FLOOR AREA:</b> Existing: As noted above, an existing single family house on the lot will be demolished.</p>
			<i>Staff Comments</i>	<p><i>Proposed:</i> Unit 1: 3,644 square feet Unit 2: 3,644 square feet Total: 7,288 square feet</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.28.010.C.1; 17.28.010.D; & 17.28.010.K	<p><b>Lot Area/Coverage</b></p>
			<i>Staff Comments</i>	<p><b>Building Lot Area:</b></p> <p><i>Required:</i> Lot: 8,000 square foot minimum Townhouse Sublot: Shall be equal to that of the perimeter of an individual townhouse unit measured at the foundation and along the common party wall.</p> <p><i>Proposed:</i> Lot: 8,258 square feet Sublot 1: 4,120 square feet Sublot 2: 4,116 square feet</p> <p><b>Building Lot Coverage:</b></p> <p><i>Required: 35% Maximum Building Coverage</i></p> <p><i>Proposed:</i> Unit 1: 3,644 Square Feet Unit 2: 3,644 Square Feet Total: 7,288 Square Feet or 34.6%</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.28.010.J	<p><b>Building Height</b></p>
			<i>Staff Comments</i>	<p><i>Required: 35 feet</i></p> <p><i>Proposed: 29'-8"</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.28.010.F; 17.28.010.H; 17.28.010.I; & 17.128.020.C	<b>SETBACKS:</b>
			<i>Staff Comments</i>	For the purposes of evaluating setbacks – 3rd Avenue is considered the front yard, 6th Street and the internal lot line yard are considered the side yards and the alley is considered the rear yard.  <i>Required:</i> <i>Front: 15 feet</i> <i>Rear/Interior Side: One foot for every three feet, or fraction thereof of building height; except, that no side yard shall be less than five feet and rear yard shall be less than 15 feet.</i> <i>Street Side: 10 feet</i>  <i>Proposed:</i> <i>Front: 20 feet</i> <i>Rear: 20 feet</i> <i>Interior Side: 10 feet</i> <i>Street Side: 10 feet</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.124.060.M	<b>Curb Cut</b>
			<i>Staff Comments</i>	<i>Required:</i> <i>A maximum of 35% of street frontage may be devoted towards access to off street parking.</i>  <i>Proposed:</i> <i>The applicant does not meet this standard. The property contains 54.95 feet of street frontage along 3<sup>rd</sup> Avenue and plans indicate a driveway width of 20 feet, which is slightly more than the 19.23 feet of width allowed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.060.A.1	<b>Parking Spaces</b>
			<i>Staff Comments</i>	<i>Required:</i> <i>One space per 1,500 net square feet.</i>  <i>Proposed:</i> <i>Eight off-street parking spaces are proposed: Four garage spaces and four driveway spaces.</i>

Design Review Requirements				
EVALUATION STANDARDS: 17.96.090(B)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Standard	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(1) SITE DESIGN	The site's significant natural features such as hillsides, mature trees and landscaping shall be preserved. Cuts and fills shall be minimized and shall be concealed with landscaping, revegetation and/or natural stone material.
			<i>Staff Comments</i>	<i>The applicant is proposing to remove all existing trees. The city arborist has recommended approval of this due to the unhealthy state of the site's vegetation and current conflicts with traffic visibility and overhead utility lines.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(2)a COMPATIBILITY	The structure shall be compatible with the townscape and surrounding neighborhoods with respect to height, bulk, setbacks and relationship to the street.
			<i>Staff Comments</i>	<i>The proposed residential units appear to be compatible and in scale with the modern architecture of surrounding properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(2)b	The project's materials, colors and signing shall be compatible with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>Wood panel siding and painted lap siding are proposed. The overall modern design of the project appears to conform to buildings of surrounding properties.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(2)c	Consideration shall be given to significant view corridors from surrounding properties.
			<i>Staff Comments</i>	<i>This project is not located on or near an identified significant corridor. The building's height, at 29'-8" is approximately five feet less than the maximum height allowance of the GR-L district.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(2)d	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>No significant landmark have been identified.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)a ARCHITECTURAL QUALITY	Consideration shall be given to natural light reaching public streets, sidewalks and open spaces.
			<i>Staff Comments</i>	<i>With proposed height and setbacks, it appears that adequate room is provided for light access to the public street, sidewalks and surrounding open spaces areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)b	The building character shall be clearly defined by use of sloped roofs, parapets, cornices or other architectural features.
			<i>Staff Comments</i>	<i>The roofs of the two buildings have a slight 0.5:12 pitch. The elevations indicated that the roofs slope downward from the 6<sup>th</sup> Street facing side northward toward the interior side yard. The roof overhangs the buildings by at least two feet and contains exposed wood beams that appear to tie into heavy wood materials being used throughout the neighborhood. The applicant can provide further details during the meeting.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)c	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>The same materials for exterior wood paneling, exposed roof beams and grey horizontal siding is used consistently between the two buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)d	There shall be continuity among accessory structures, fences, walls and landscape features within the project.
			<i>Staff Comments</i>	<i>No accessory structures are proposed. The applicant is proposing a mix of shrubbery and pine/fir trees which are proposed consistently throughout the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)e	Building walls which are exposed to the street shall be in scale with the pedestrian.
			<i>Staff Comments</i>	<i>Onsite walkways provide direct access to building entrances on 6<sup>th</sup> Street. The architects rendering indicates that low wall landscaping planters will be incorporated into the yard area between 6<sup>th</sup> Street and the said entrances.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)f	Building walls shall provide undulation/relief thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>Building walls appear to undulate and provide a variety of surfaces and fenestration points. Third story balconies additionally break up the wall faces.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)g	Exterior lighting shall not have an adverse impact upon other properties and/or public streets.
			<i>Staff Comments</i>	<i>The plans indicates that four aluminum cast bollard lights are proposed for the front and rear yards of the property. Lighting details indicate that they are low mounted, downcast and dark sky compliant. The elevation drawing propose five lights attached to the exterior of each building. Two of these lights appear to be located under the deck overhang. Plans indicated that lighting will comply with the dark sky ordinance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)h	Garbage storage areas and satellite receivers shall be screened from public view.
			<i>Staff Comments</i>	<i>Garbage will be stored under the main entry, behind a screen wall.</i>

				CC&Rs state that the satellite dish will be not visible from the public way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)i	Utility, power and communication lines within the development site are concealed from public view where feasible.
			<i>Staff Comments</i>	<i>Onsite utilities will be located in conduit and run to existing power poles.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)j	Door swings shall not obstruct or conflict with pedestrian traffic.
			<i>Staff Comments</i>	<i>No conflict was identified.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)k	Building design should include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or to adjacent properties.
			<i>Staff Comments</i>	<i>Three foot over hangs are proposed and snow run off is located in the rear of the property in a non-pedestrian area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(3)l	Exterior siding materials shall be of natural wood or masonry origin or similar quality. Metal siding is discouraged in all zoning districts.
			<i>Staff Comments</i>	<i>Wood and fiber cement siding is being proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)a CIRCULATION DESIGN	Pedestrian, equestrian and bicycle access which is adequate to satisfy demands relative to development size shall be provided. These accesses shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>Onsite walkways will connect to the street right-of-way. A decomposed granite pathway is proposed along 6<sup>th</sup> Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)b	The building(s) is primarily accessed from the public sidewalk for the majority of the individual uses proposed. It is the intent to promote exterior circulation with numerous connections to the public sidewalk and exposure to the street. This includes utilizing arcades, courtyards and through block connections. (Commercial buildings only)
			<i>Staff Comments</i>	<i>This application is not for a commercial project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(4)c	The required five foot (5') street side setback is primarily used as an extension and part of the public sidewalk in areas with high pedestrian volume (setback as per zoning). This setback is encouraged to be covered by awnings, arcades or other canopies for weather protection and may extend out over the public sidewalk (CC zone only);
			<i>Staff Comments</i>	<i>NA</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)d	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>House one located on subplot one, noted in the attached site plan, will be accessed from 3<sup>rd</sup> Avenue by one drive way (Appx. 20 feet in width) and house two on subplot two will be accessed from the existing alleyway. The alley will be improved to meet city standards to the edge of the rear property line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)e	Parking areas have functional aisle dimensions, backup space and turning radius.
			<i>Staff Comments</i>	<i>Each unit will have a two car garage and space to park two vehicles in the driveway onsite.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)f	Location of parking areas is designed for minimum adverse impact upon living areas within the proposed development and minimizes adverse impact upon adjacent properties with regard to noise, lights and visual impact.
			<i>Staff Comments</i>	<i>Staff has not identified any potential adverse impacts regarding the placement of parking areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)g	Curb cuts are located away from major intersections and off high volume roadways where possible.
			<i>Staff Comments</i>	<i>No curb cuts are being proposed, the access from 3<sup>rd</sup> Avenue is approximately 25 feet from 6<sup>th</sup> Street. House two of subplot two is accessed from the alleyway. The public works department has not expressed concerns regarding driveway placement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)h	Adequate unobstructed access for emergency vehicles, snow plows, garbage trucks

				and similar service vehicles to all necessary locations within the proposed project is provided.
			<i>Staff Comments</i>	<i>The Fire Department has not expressed concerns regarding emergency access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(4)i	The project is designed so as to provide adequate snow storage areas or removal for snow cleared from the parking areas and roadways within the project. (50 percent)
			<i>Staff Comments</i>	<i>Designated snow storage areas are shown in the plans, which is approximately 50% of the driveway area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(5)a LANDSCAPE QUALITY	Substantial landscaping is to be provided, which is in scale with the development and which provides relief from and screening of hard surfaces. Total building surface area and street frontage will be considered when determining whether substantial landscape is being provided. (Landscaping shall be defined as trees, shrubs, planters, hanging plants, ground cover and other living vegetation).
			<i>Staff Comments</i>	<i>Applicant to provide comments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(5)b	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and compliment the neighborhood and townscape. Consideration should be given to the use of native, drought-resistant plant materials.
			<i>Staff Comments</i>	<i>The city arborist has recommended approval of the landscaping plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(5)c	The preservation of existing significant trees, shrubs and important landscape features shall be encouraged.
			<i>Staff Comments</i>	<i>No trees are proposed for preservation. The city arborist has recommended clearing the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(5)d	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate shall be encouraged.
			<i>Staff Comments</i>	<i>The plans indicate that a mixture of trees and shrubbery are proposed between the interior side yard of the property (north side) and the adjacent residences to the north.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(6) ENERGY DESIGN	Consideration shall be given to proper solar orientation within the project. Recognition shall be given to the solar benefits of adjoining properties. (A sun chart as a means of understanding the solar possibilities and limitations shall be encouraged)
			<i>Staff Comments</i>	<i>The plans indicate that several fenestration points have been incorporated into the buildings south and north facing sides. The applicant indicates that the roof membrane is white TPO to help with solar gain. No sun chart was submitted with this application.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(7) PUBLIC AMENITIES	Pedestrian amenities are encouraged for all projects and shall be required for commercial uses. Amenities may include, but are not limited to benches and other seating, kiosks, telephone booths, bus shelters, trash receptacles, restrooms, fountains, art, etc. The use of "Ketchum Streetscape Standards" shall be encouraged.
			<i>Staff Comments</i>	<i>This is a small scale development of only two residential units, only onsite walkways are being proposed. A decomposed granite walkway is proposed on 6<sup>th</sup> Street which will be designed to match the granite walkway being installed across 6<sup>th</sup> Street with the Basecamp Townhomes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(8) GREEN BUILDING	Consideration shall be given to green building features within the project. Recognition shall be given to projects that achieve the United States Green Building Council's LEED Certification or earn the Environmental Protection Agency's Energy Star Label. Projects are encouraged to consider energy conservation, indoor air quality, water use, location, waste reduction, recycling, and use of sustainable construction materials.
			<i>Staff Comments</i>	<i>The applicant has indicated that they will meet requirements for the green building code adopted by the city.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)a	Exposed support structures for signs, including, but not limited to, posts, poles and

			Master Signage Plans Design Guidelines	sign sides or edges, must be faced or covered with wood, stone or metal which is corrosion resistant, painted or anodized, or such other material as may be approved by the city as a reasonable, natural textured substitute.
			Staff Comments	Not applicable, no signage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)b	All freestanding signs shall have landscaping around the base of the support structure in order to provide a transition from the ground to the sign.
			Staff Comments	Not applicable, no signage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)c	All materials should prevent reflective glare.
			Staff Comments	Not applicable, no signage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)d	Simple and easy to read typefaces should be used on signs. Hard to read and overly intricate typefaces should be avoided.
			Staff Comments	Not applicable, no signage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)e	Signs that have symbols, characters, or graphics are encouraged. The symbol, character, or graphic should relate to the products sold in the business or to the name of the business.
			Staff Comments	Not applicable, no signage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)f	Signs that show depth and cast shadows are encouraged. Depth and shadows can be created by mounting individually cut letters and symbols on the sign base or carving letters and symbols into the base of the sign.
			Staff Comments	Not applicable, no signage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)g	Projecting signs are preferred over portable or sandwich board signs. Projecting signs generally are more effective for increasing visibility to both pedestrians and motorists.
			Staff Comments	Not applicable, no signage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)h	Sign materials and colors should complement the building facade. Basic and simple color applications are encouraged and vibrant colors should be avoided.
			Staff Comments	Not applicable, no signage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)i	The color of letters and symbols should contrast the base or background color of the sign to maximize readability.
			Staff Comments	Not applicable, no signage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)j	Signs shall not cover or obscure windows, doors, storefronts, building entrances, eaves, cornices, columns, horizontal expression lines, or other architectural elements or details.
			Staff Comments	Not applicable, no signage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.090(B)(9)k	Signage on buildings with multiple tenants shall be limited to prevent sign clutter. Individual signs for tenants with ground floor storefront entrances are permitted. A directory sign with the names and suite numbers of all tenants without a ground floor storefront entrance may be provided at the lobby entrance for those tenants.
			Staff Comments	Not applicable, no signage is proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.090(B)(9)l	An address marker shall be provided at the main entrance to all buildings.
			Staff Comments	This item is conditioned.

### STAFF RECOMMENDATION

Staff recommends that the Design Review application for the Foxhole Townhomes be continued to the June 22, 2015 Planning and Zoning Commission meeting.

### COMMISSION OPTIONS

Make a motion to:

1. To continue the design review application for Foxhole Townhomes Subdivision to the June 22, 2015 meeting.

**MOTION: "I MOVE TO CONTINUE THE DESIGN REVIEW APPLICATION BY SALLIE CASTLE FOR THE FOXHOLE TOWNHOMES TO THE JUNE 22, 2015 PLANNING AND ZONING COMMISSION MEETING."**

**RECOMMENDED CONDITIONS:**

1. That a final infrastructure construction and stormwater plan drawn and stamped by licensed civil engineer in the State of Idaho be submitted and found acceptable to the city engineer. (Such plan shall include final walkway design, road way shoulder design, final driveway dimensions, and stormwater plan.)
2. All requirements of the Fire, Utility, Building, Planning and Public Works departments of the City of Ketchum shall be met.
3. Applicable permits for work in the city right of way are required prior to excavation in the right of way and prior to the issuance of building permits.
4. A revised final and complete plan set shall be provided to the Department of Planning and Building. At building permit submittal, fence plans and elevations shall be provided for review and approval by Planning Division staff prior to issuance of a building permit.
5. The proposed driveway of house one as depicted in the site plan shall not exceed 35% of the total lot street frontage of 3<sup>rd</sup> Avenue.
6. If a building permit is not obtained and construction has not commenced by October 31, 2015, the applicant shall revegetate and otherwise restore any disturbed areas with perennial vegetation or other ground cover found sufficient by the Planning Director to stabilize soil by October 31, 2015.
7. Addresses shall be obtained by the Fire Department prior to building permit.

**Attachment A: Application**

DESIGN REVIEW APPLICATION

Project Name: 331 WEST 6TH ST. - FOXHOLE  
Owner: SALLIE CASTLE Phone No. 208 720 3956  
Mailing Address: PO BOX 2422, KETCHUM, ID, 83340  
Architect/Representative: KRISTIAN SOLVANG Phone No. 206 459 3392  
Mailing Address: PO BOX 5311, KETCHUM, ID 83340  
Architect License No.: AR-985798  
Engineer License No.: 15766 Engineer of Record: ANDREW HERRICK

KRIS@PLUMBLLC.COM

All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.

Preapplication Fee: \_\_\_\_\_ Date Paid: \_\_\_\_\_

Design Review Fee: \_\_\_\_\_ Date Paid: \_\_\_\_\_

Legal Land Description: KETCHUM LOT 4 BLK 73 8250 SF

Street Address: 331 WEST 6TH STREET

Lot Area: 8254.5544 SF Zoning District: GR-L

Overlay District: Flood \_\_\_\_\_ Avalanche \_\_\_\_\_ Pedestrian \_\_\_\_\_ Mountain \_\_\_\_\_

Anticipated Use: TWO SINGLE FAMILY UNITS ON DUPLEX LOT

Type Construction: New  Remodel \_\_\_\_\_ Addition \_\_\_\_\_ Other \_\_\_\_\_

Number of Residential Units: TWO Number of Hotel Units: N/A

Total Floor Area: Proposed \_\_\_\_\_ Existing \_\_\_\_\_ Setbacks (CC Zone) (CC Zone Only)

Basements:	<u>*276x2 = 2552</u>	<u>0</u>	Ground Floor Open Space	<u>189x2 = 378</u>
1st Floor:	<u>1190x2 = 2380</u>	<u>1822</u>	Roofline Length	<u>51'1"</u>
2nd Floor:	<u>1178x2 = 2356</u>	<u>0</u>	Building Width	<u>34'3"</u>
3rd Floor:	<u>0</u>	<u>0</u>	Horizontal Breaks Every	<u>13'2" Feet</u>
Mezzanine:	<u>0</u>	<u>0</u>	Break Depth	<u>4'1" Width 14'6"</u>
Total:	<u>3644x2 = 7288</u>		Floor Area Ratio	<u>.862</u>

Percent of Building Coverage: 34.6%

Curb Cut: EAST UNIT - 20', WEST UNIT 20' (THERE IS CURRENTLY NO STREET, JUST DIRT ALLEY)

Setbacks: Front 20'0" Side 10'0"-SOUTH Side 10'1"-NORTH Rear 9'10"

Height: 28'4 3/4" Parking Spaces Provided: 4x2 UNITS = 8 TOTAL

Construction Phasing: EAST UNIT WILL BE BUILT 1ST, FOLLOWED BY WEST UNIT

Will fill or excavation be required? If yes, amount in cubic yards- Fill 0 Excavation 110+100-

Will existing trees or vegetation be removed? Yes  No \_\_\_\_\_ 210 TOTAL

Water System: Municipal Service  Ketchum Spring Water \_\_\_\_\_

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the City of Ketchum is the prevailing party to pay the reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum.

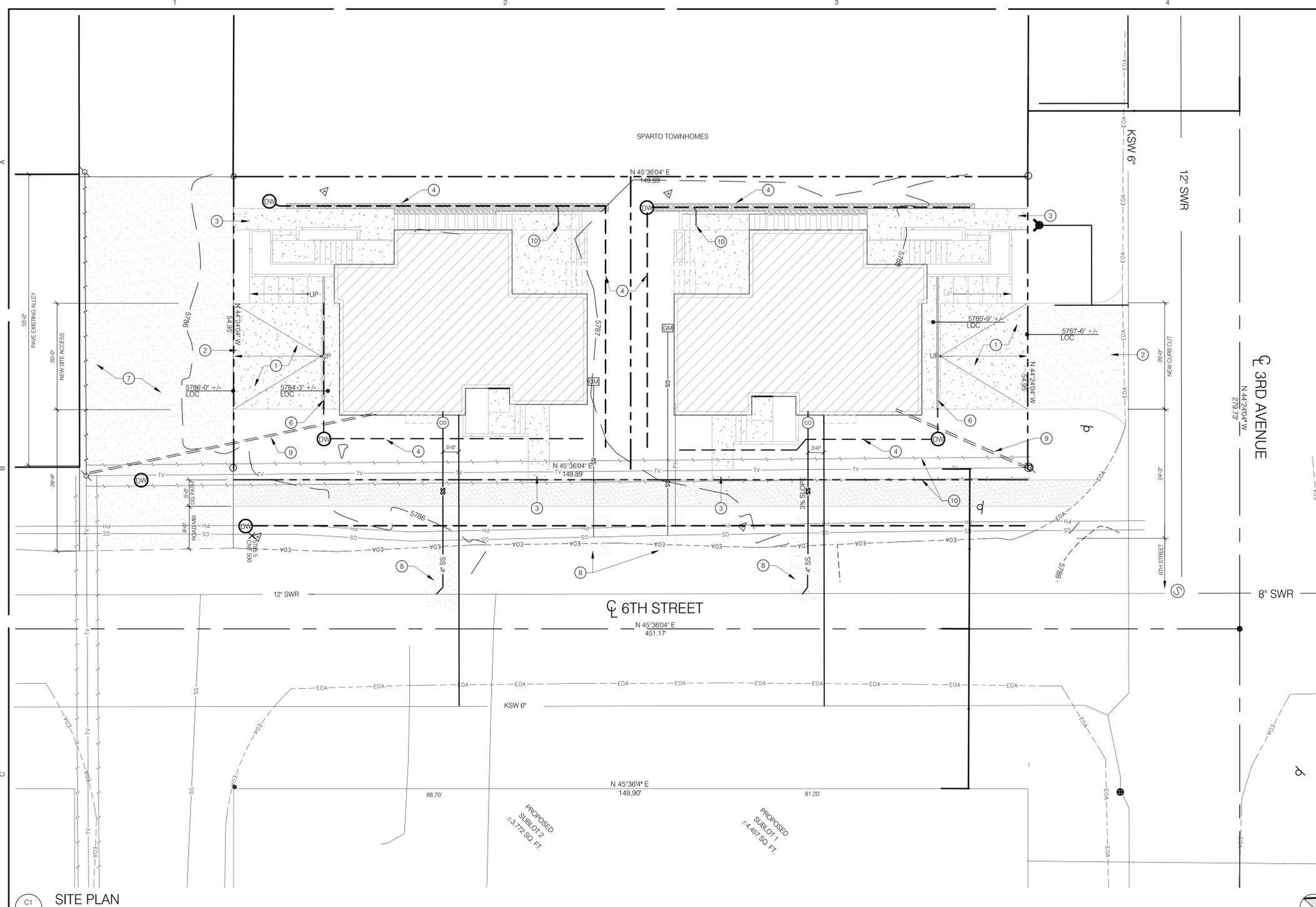
I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner: [Signature] AGENT FOR PROPERTY OWNER Date: 4/8/15

Approved/Denied: \_\_\_\_\_ Date: \_\_\_\_\_

Pursuant to Resolution No. 08-123, any direct costs incurred by the City of Ketchum to review this application will be the responsibility of the applicant. Costs include but are not limited to: engineer review, attorney review, legal noticing, and copying costs associated with the application. The City will require a retainer to be paid by the applicant at the time of application submittal to cover said costs. Following a decision or other closure of an application, the applicant will either be reimbursed for unexpended funds or billed for additional costs incurred by the City.

**Attachment B: Plans and Project Rendering**



**SITE PLAN LEGEND**

- SUBJECT BOUNDARY
  - STREET CENTERLINE
  - ADJOINERS LOT LINE
  - EOA — EOA=EDGE OF ASPHALT
  - RW=ROCK WALL
  - WATERLINE FROM CITY MAPS
  - SEWERLINE FROM CITY MAPS
  - GS — GASLINE
  - OVERHEAD POWER
  - TV — OVERHEAD COMMUNICATIONS
  - EOG=EDGE OF GRAVEL
- 
- PVR=PAVERS
  - EXCAVATION FOR BUILDING AND FOUNDATION APPROXIMATELY 210 CUBIC YARDS
  - FRENCH DRAIN
- 
- DW DRYWELL
  - PH PHONE BOX
  - TV CABLE BOX
  - SMH=SEWER MANHOLE
  - PP=POWER POLE
  - FOUND SURVEY MONUMENT AS SHOWN
  - SURVEY CONTROL POINT

**SITE PLAN KEY NOTES**

1. VEHICULAR PARKING AT SLOPED DRIVEWAY
2. VEHICULAR CIRCULATION/ ACCESS
3. PEDESTRIAN CIRCULATION
4. FRENCH DRAIN WITH 4" PERFORATED DRAIN LINE, 3% SLOPE TO DRY WELL
5. POWER LINE ABOVE
6. TRENCH DRAIN, SLOPE TO DRY WELL
7. IMPROVE ALLEY TO CITY STANDARDS
8. ASPHALT REPAIR IN RIGHT OF WAY
9. CONDUIT FROM UTILITY POLE TO HOUSE, POWER PHONE IN SEPARATE CONDUIT FROM PHONE AND DATA
10. AREA DRAIN

**GENERAL SITE INFORMATION**

ZONING:	GENERAL RESIDENTIAL LOW DENSITY (GR-L)
ADDRESS:	331 W 6TH ST KETCHUM, ID 83340-0000
LGL DESCRIPTION:	KETCHUM LOT 4 BLK 73 8250SF
PARCEL NUMBER:	RPK00000730040
FID:	15871
SITE AREA:	8258.5544
PERMITTED USES:	ONE TWO-FAMILY DWELLING OR TWO (2) ONE-FAMILY DWELLINGS
MIN. LOT AREA:	8,000 SQUARE FEET
MIN. LOT WIDTH:	EIGHTY FEET (80)
MIN. SET BACK:	
FRONT:	FIFTEEN FEET (15)
SIDE:	1' FOR EVERY 3' OF BUILDING HEIGHT; FIVE FEET (5) MIN.
BACK:	1' FOR EVERY 3' OF BUILDING HEIGHT; FIFTEEN FEET (15) MIN
MAX BUILDING HEIGHT:	THIRTY FIVE FEET (35)
MAX F.A.R.:	THIRTY FIVE PERCENT (35%) 2890.5 SQUARE FEET

EXCAVATION: APPROXIMATELY 210 CUBIC YARDS  
 SOILS: WELL DRAINING, LOCATED ON OLD RIVERBED

PROJECT SPECIFIC INFO:  
 PARKING AREA: 810 SQUARE FEET  
 HOUSE 1 LOT COVERAGE: 1,430 SQUARE FEET  
 HOUSE 2 LOT COVERAGE: 1,430 SQUARE FEET  
 TOTAL LOT COVERAGE: 34.6%  
 TOTAL LANDSCAPE AREA: 3,488 SQUARE FEET

**C1 SITE PLAN**  
 SCALE: 1" = 10'-0"

**DEREK J. METSON ARCHITECT**  
 1300 JOHN ADAMS STREET, SUITE 108  
 OREGON CITY, OREGON 97045

THE FOXHOLE

331 W 6TH ST, KETCHUM, ID 83340  
 RPK00000730040

UTILITY PLAN

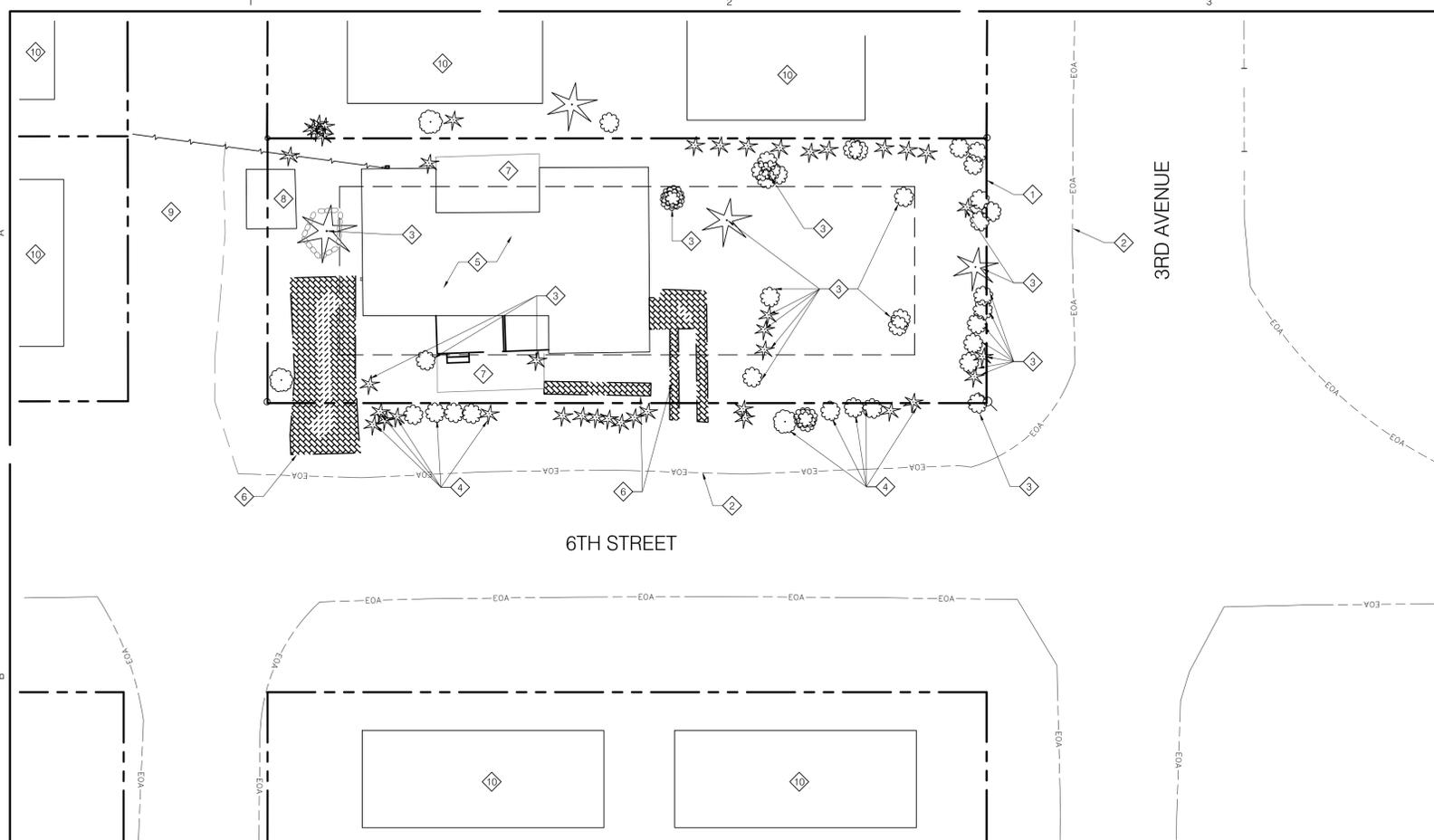
DESIGN REVIEW

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PROJECT NO.: 2680-14  
 DRAWN BY:  
 DATE: JUNE 2, 2015

C-110

NOT FOR CONSTRUCTION



**B1**  
A-110  
**SITE DEMOLITION PLAN**  
SCALE: 1/16" = 1'-0"

**SITE PLAN GENERAL NOTES**

- A. REGRADE SOIL AS REQUIRED AT BUILDING PERIMETER TO MAINTAIN 6" CLEARANCE TO SIDING AND POSITIVE SLOPE AWAY FROM BUILDING.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SITE INSPECTIONS.
- C. VERIFY ALL UNDERGROUND CONDUIT SIZE WITH DESIGN BUILD CONTRACTOR.
- D. COORDINATE FINAL GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING(S).
- E. ARCHITECT'S DRAWINGS DO NOT REFLECT SITE AND LANDSCAPE LIGHTING. GENERAL CONTRACTOR TO PROVIDE SCHEMATIC AND FINAL EXTERIOR LIGHTING DRAWINGS AND SCHEDULES TO ARCHITECT FOR COORDINATION AND APPROVAL.
- F. MAINTAIN COMPLIANCE WITH NIGHT SKY ORDINANCE ALL LUMINEERS TO BE FULLY SHADED.
- G. EXPANSION JOINTS ARE SHOWN ON ARCHITECTURAL SITE PLAN(S). ALL OTHER LINES WITHIN CONCRETE PAVING AREAS ARE CONTROL JOINTS, UNLESS NOTED OTHERWISE.

**GENERAL SITE INFORMATION**

ZONING: GENERAL RESIDENTIAL LOW DENSITY (GR-L)  
 ADDRESS: 331 W 6TH ST KETCHUM, ID 83340-0000  
 LGL DESCRIPTION: KETCHUM LOT 4 BLK 73 8250SF  
 PARCEL NUMBER: RPK00000730040  
 FID: 15871  
 SITE AREA: 8258.5544  
 PERMITTED USES: ONE TWO-FAMILY DWELLING OR TWO (2) ONE-FAMILY DWELLINGS  
 MIN. LOT AREA: 8,000 SQUARE FEET  
 MIN. LOT WIDTH: EIGHTY FEET (80)  
 MIN. SET BACK:  
 FRONT: FIFTEEN FEET (15)  
 SIDE: 1' FOR EVERY 3' OF BUILDING HEIGHT; FIVE FEET (5) MIN.  
 BACK: 1' FOR EVERY 3' OF BUILDING HEIGHT; FIFTEEN FEET (15) MIN  
 MAX BUILDING HEIGHT: THIRTY FIVE FEET (35)  
 MAX F.A.R.: THIRTY FIVE PERCENT (35%) 2890.5 SQUARE FEET

EXCAVATION: APPROXIMATELY 210 CUBIC YARDS  
 SOILS: WELL DRAINING, LOCATED ON OLD RIVERBED

**PROJECT SPECIFIC INFO:**

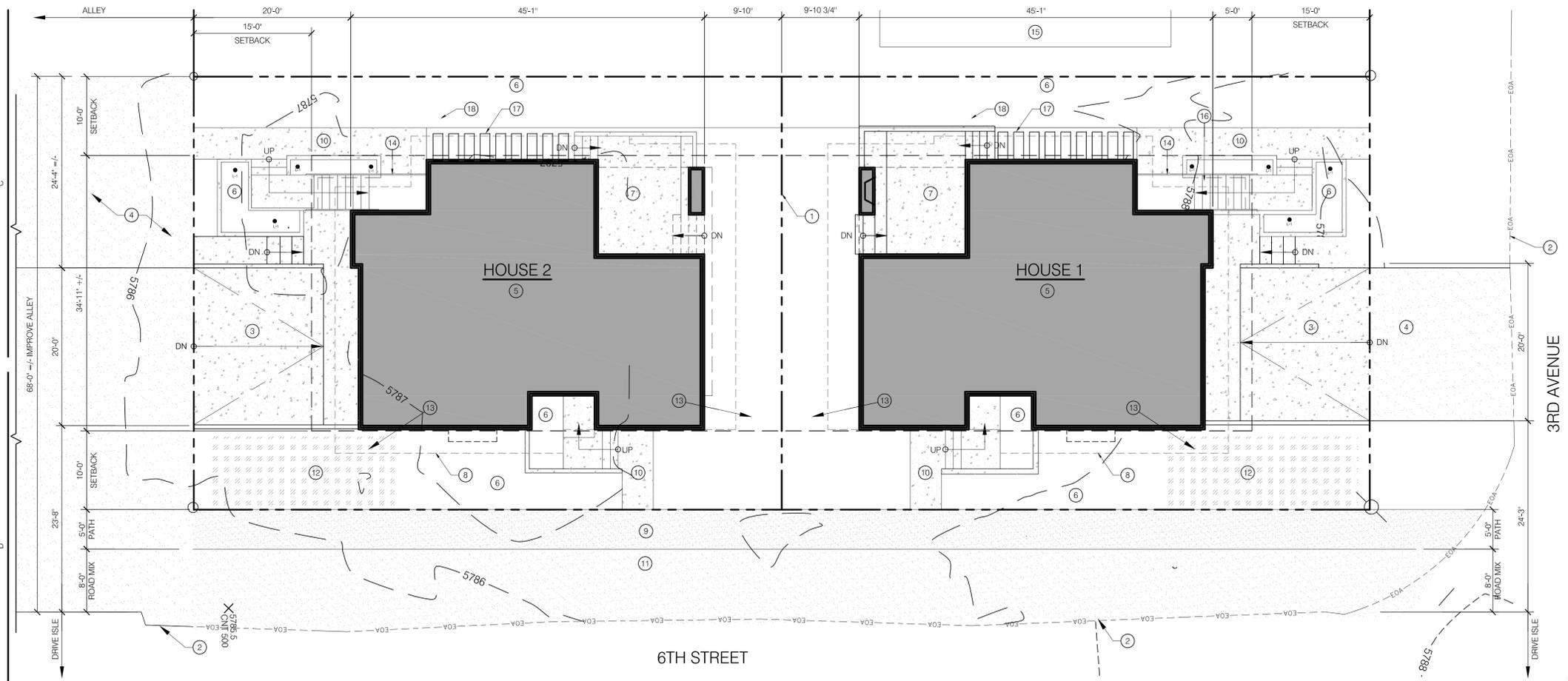
PARKING AREA: 810 SQUARE FEET  
 HOUSE 1 LOT COVERAGE: 1,430 SQUARE FEET  
 HOUSE 2 LOT COVERAGE: 1,430 SQUARE FEET  
 TOTAL LOT COVERAGE: 34.6%  
 TOTAL LANDSCAPE AREA: 3,488 SQUARE FEET

**SITE PLAN LEGEND**

- PROPERTY LINE
- - - SETBACK
- ▨ PVR=PAVERS
- ★ CONIFER TREE
- DECIDUOUS TREE
- ⊕ PP=POWER POLE
- NEW CONCRETE
- NEW ASPHALT
- SNOW STORAGE 10x24
- NEW LANDSCAPING
- NEW BUILDING FOOT PRINT
- L-1 NEW BALLARD LIGHT

**SITE DEMOLITION PLAN KEYNOTES**

1. EXISTING PROPERTY LINE
2. EDGE OF EXISTING ASPHALT
3. REMOVE EXISTING TREE
4. REMOVE EXISTING TREE IN RIGHT OF WAY (GROWING INTO POWER LINES)
5. HOUSE TO BE REMOVED (PHASE WITH CONSTRUCTION OF HOUSE 1)
6. REMOVE EXISTING PERVIOUS PAVERS
7. REMOVE CONCRETE PATIO
8. REMOVE EXISTING SHED
9. EXISTING GRAVEL ALLEY
10. EXISTING BUILDING ON ADJACENT LOT



**D1**  
A-110  
**PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"

**SITE PLAN KEYNOTES**

1. PROPOSED LOT LINE
2. EDGE OF EXISTING ASPHALT
3. NEW DRIVEWAY, 10% MAX SLOPE
4. NEW ASPHALT IN RIGHT OF WAY. MEET CITY ROAD DESIGN STANDARDS
5. PROPOSED HOUSE
6. NEW DROUGHT TOLERANT LANDSCAPING. SEE LANDSCAPE PLAN
7. NEW CONCRETE PATIO WITH SCREEN PEA GRAVEL FINISH
8. ROOF ABOVE
9. DECOMPOSED GRANITE WALKWAY
10. CONCRETE APPROACH
11. EIGHT FOOT LANDSCAPING STRIP, FILL WITH CITY OF KETCHUM APPROVED ROAD MIX
12. SNOW STORAGE AREA
13. SIGNIFICANT VIEW
14. GARAGE AND RECYCLING
15. EXISTING BUILDING ON ADJACENT LOT
16. HVAC / CONDENSER UNIT UNDER STAIRS
17. CONCRETE PAVERS
18. FRENCH DRAIN ALONG DRIP LINE

**DEREK J. METSON ARCHITECT**  
 1300 JOHN ADAMS STREET, SUITE 108  
 OREGON CITY, OREGON 97045

THE FOXHOLE

331 W 6TH ST, KETCHUM, ID 83340  
 RPK00000730040

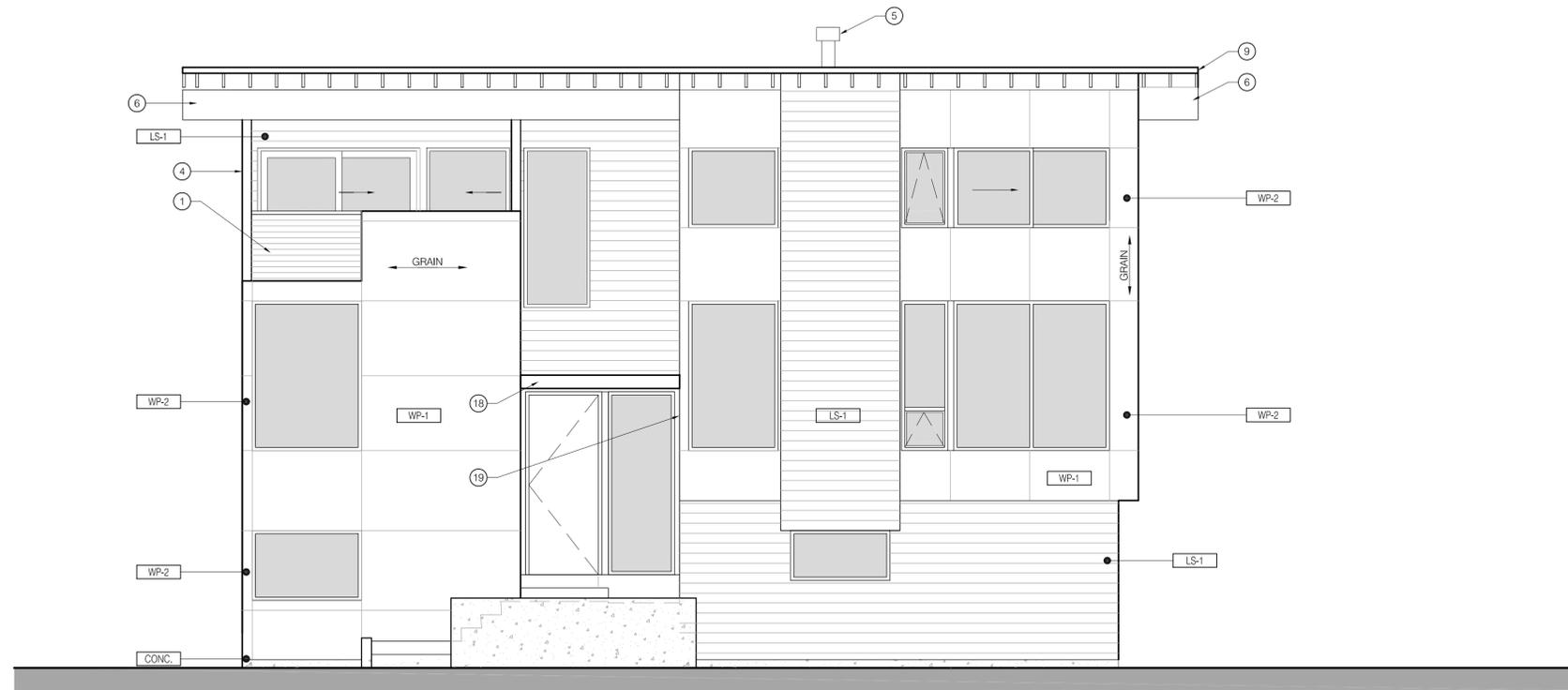
SITE PLAN

PROJECT NO.: 2680-14  
 DRAWN BY:  
 DATE: JUNE 2, 2015

A-110

NOT FOR CONSTRUCTION

DESIGN REVIEW



B1 SOUTH EAST ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION GENERAL NOTES

- REFER TO WINDOW AND DOOR SCHEDULES FOR ROUGH OPENING SIZES AND HEAD HEIGHTS.
- PROVIDE ATTIC AND CRAWLSPACE VENTILATION AND RADON MITIGATION MEASURES AS REQUIRED BY THE OREGON RESIDENTIAL SPECIALTY CODE.

GLAZING SYSTEM NOTES

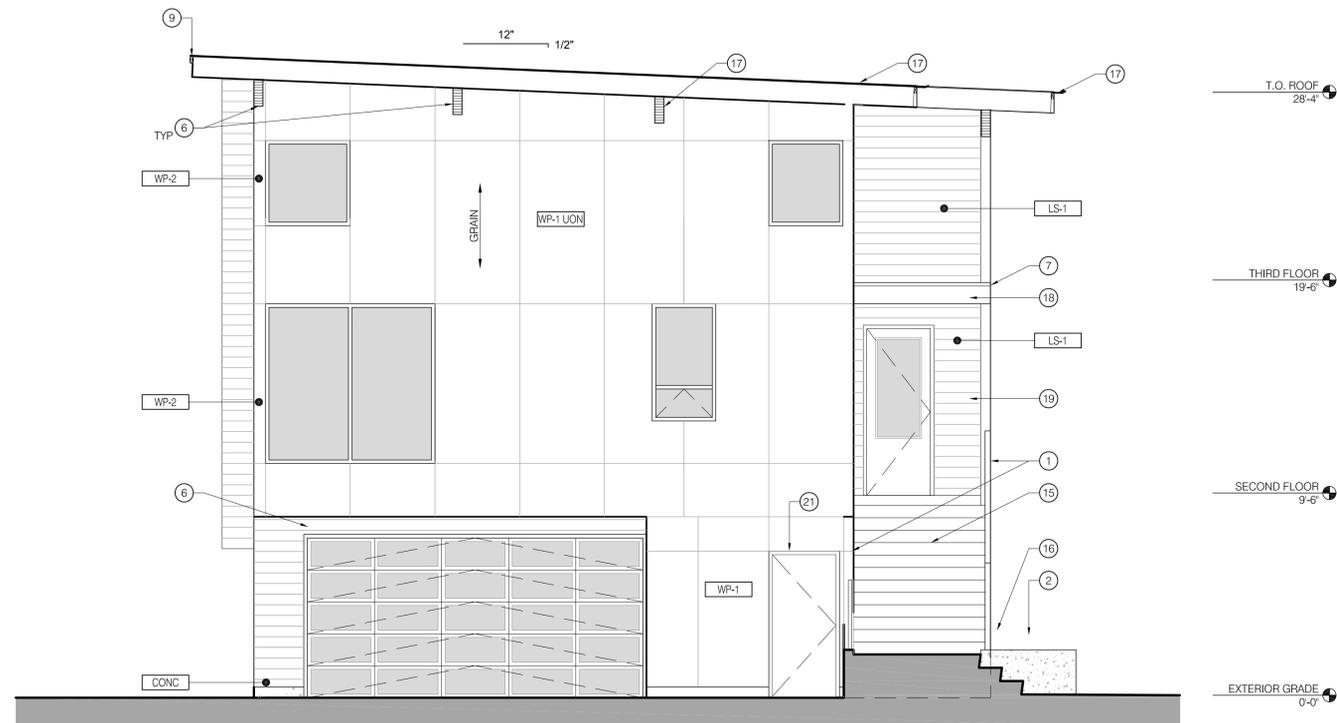
- LIST AND LABEL FIXED GLAZING FOR A FIRE-PROTECTION RATING IN ACCORDANCE WITH THE BUILDING CODE(S).
- PROVIDE RATED GLAZING TYPES IN ASSEMBLIES SUBJECT TO HUMAN IMPACT IN HAZARDOUS LOCATIONS AS INDICATED IN THE BUILDING CODE(S).
- ALL SIZE DESIGNATIONS ARE WIDTH x HEIGHT (JAMB TO JAMB/SILL TO HEAD).
- PROVIDE ALL OPERABLE WINDOWS WITH LIMITERS RESTRICTING WINDOW OPENING (EXCEPT EGRESS WINDOWS) NO FURTHER THAN 45 DEGREES OR 12 INCHES - THE LEAST OF THE TWO.

EXTERIOR FINISH LEGEND

	GLAZING
	EXPOSED CONCRETE
	CONC MEDIUM BROOM FINISHED CONCRETE
	WP-1 STAINED WOOD PANEL, JOISTS AND GRAIN TO ALIGN AS SHOWN ON ELEVATION
	LS-1 PAINTED SMOOTH LAP SIDING, 6" EXPOSURE
	P-1 WESTCHESTER GRAY - SW 2849 (HOUSE 1)
	P-2 DISTANCE - SW 6243 (HOUSE 2)
	S-1 CABOT CLEAR STAIN - 3000 SERIES (ALL WOOD PANELS)
	PANEL JOINT

ELEVATION KEYNOTES

- CABLE RAIL WITH 3 1/2" SPACING
- RAISED PLANTER
- STEEL GUARDRAIL POST
- NON INCISED P.T. WOOD POST
- GAS FIRE PLACE EXHAUST VENT
- EXPOSED GLU-LAM BEAM
- TPO ROOF
- METAL CAP
- 2XFASCA OVER EXPOSED RAFTER TAILS
- GARAGE DOOR
- GARBAGE AND RECYCLING UNDER STAIRS
- 2X4 CEDAR @ 6" O.C.
- ALIGN WITH RUN OF STAIRS
- CONCRETE SLAB ON GRADE AT PATIO
- WOOD STAIRS
- CONCRETE STAIRS
- PLATE STEEL GUTTER TO RAIN CHAIN
- AWNING
- DARK SKY-COMPLIANT WALL SCONCE
- FOUR 6" CAN/ DOWN LIGHTS AT DECK
- ONE 4" CAN LIGHT CENTERED ABOVE DOOR



D1 NORTH EAST ELEVATION  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

THE FOXHOLE

331 W 6TH ST, KETCHUM, ID 83340  
PRK0000730040

BUILDING ELEVATIONS

DESIGN REVIEW

PROJECT NO.: 2680-14  
DRAWN BY:  
DATE: JUNE 2, 2015

A-310

ELEVATION GENERAL NOTES

- REFER TO WINDOW AND DOOR SCHEDULES FOR ROUGH OPENING SIZES AND HEAD HEIGHTS.
- PROVIDE ATTIC AND CRAWLSPACE VENTILATION AND RADON MITIGATION MEASURES AS REQUIRED BY THE OREGON RESIDENTIAL SPECIALTY CODE.

GLAZING SYSTEM NOTES

- LIST AND LABEL FIXED GLAZING FOR A FIRE-PROTECTION RATING IN ACCORDANCE WITH THE BUILDING CODE(S).
- PROVIDE RATED GLAZING TYPES IN ASSEMBLIES SUBJECT TO HUMAN IMPACT IN HAZARDOUS LOCATIONS AS INDICATED IN THE BUILDING CODE(S).
- ALL SIZE DESIGNATIONS ARE WIDTH x HEIGHT (JAMB TO JAMB/SILL TO HEAD).
- PROVIDE ALL OPERABLE WINDOWS WITH LIMITERS RESTRICTING WINDOW OPENING (EXCEPT EGRESS WINDOWS) NO FURTHER THAN 45 DEGREES OR 12 INCHES - THE LEAST OF THE TWO.

EXTERIOR FINISH LEGEND

-  GLAZING
-  EXPOSED CONCRETE
-  PANEL JOINT
-  MEDIUM BRUSH FINISHED CONCRETE
-  STAINED WOOD PANEL, JOISTS AND GRAIN TO ALIGN AS SHOWN ON ELEVATION
-  PAINTED SMOOTH LAP SIDING, 8'-10.75" EXPOSURE
-  WESTCHESTER GRAY - SW 2849 (HOUSE 1)
-  DISTANCE - SW 6243 (HOUSE 2)
-  CABOT CLEAR STAIN - 3000 SERIES (ALL WOOD PANELS)

ELEVATION KEYNOTES

- CABLE RAIL WITH 3 1/2" SPACING
- RAISED PLANTER
- STEEL GUARDRAIL POST
- NON INCISED P.T. WOOD POST
- GAS FIRE PLACE EXHAUST VENT
- EXPOSED GLU-LAM BEAM
- TPO ROOF
- METAL CAP
- 2XFASCA OVER EXPOSED RAFTER TAILS
- GARAGE DOOR
- GARBAGE AND RECYCLING UNDER STAIRS
- 2X4 CEDAR @ 6" O.C.
- ALIGN WITH RUN OF STAIRS
- CONCRETE SLAB ON GRADE AT PATIO
- WOOD STAIRS
- CONCRETE STAIRS
- PLATE STEEL GUTTER TO RAIN CHAIN
- AWNING
- DARK SKY-COMPLIANT WALL SCONCE
- FOUR 6" CAN/ DOWN LIGHTS AT DECK
- ONE 4" CAN LIGHT CENTERED ABOVE DOOR

NOT FOR  
CONSTRUCTION

THE FOXHOLE

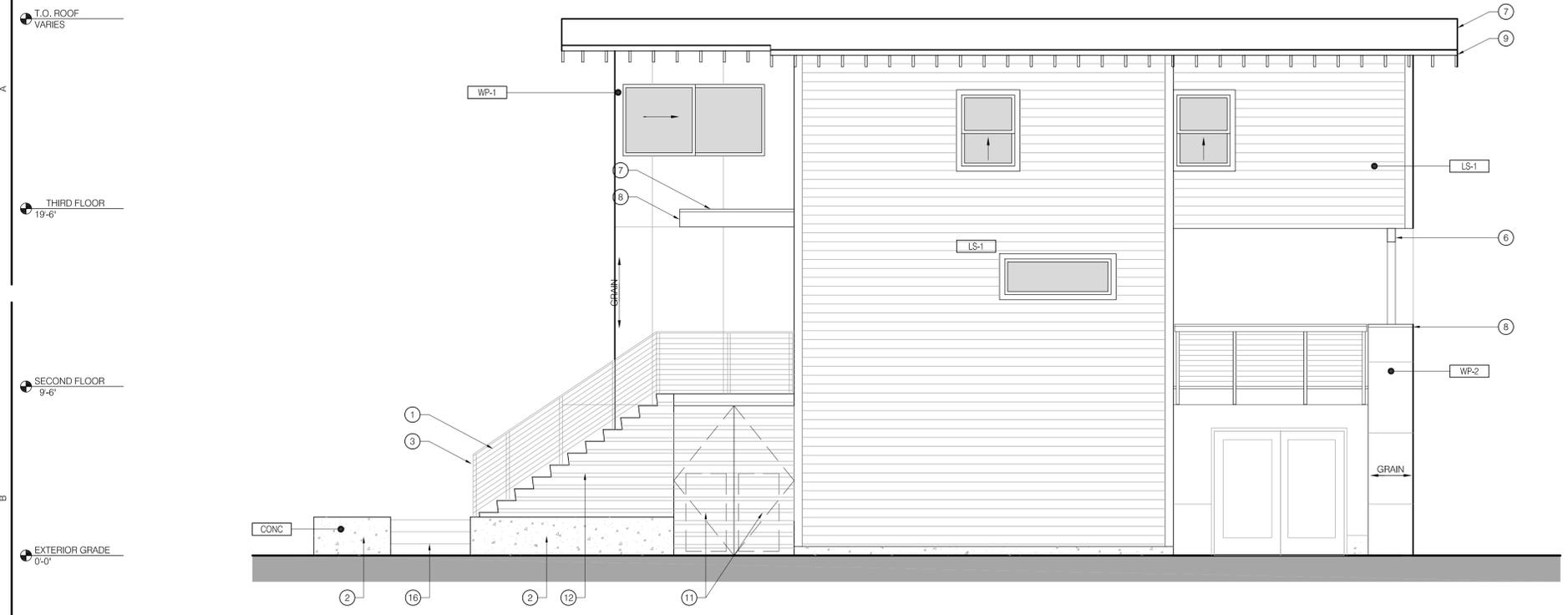
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PRK000073040

BUILDING ELEVATIONS

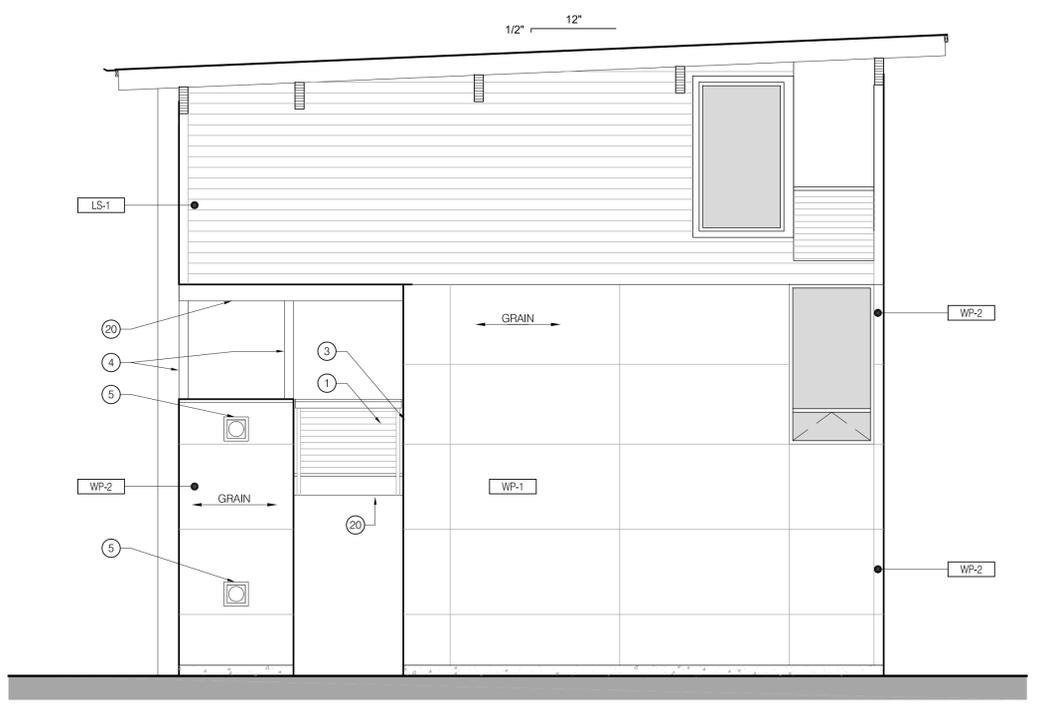
DESIGN REVIEW

PROJECT NO.: 2680-14  
DRAWN BY:  
DATE: JUNE 2, 2015

A-320



B1  
A-320  
NORTH WEST ELEVATION  
SCALE: 1/4" = 1'-0"



D1  
A-320  
SOUTH WEST ELEVATION  
SCALE: 1/4" = 1'-0"

NOT FOR  
 CONSTRUCTION

THE FOXHOLE

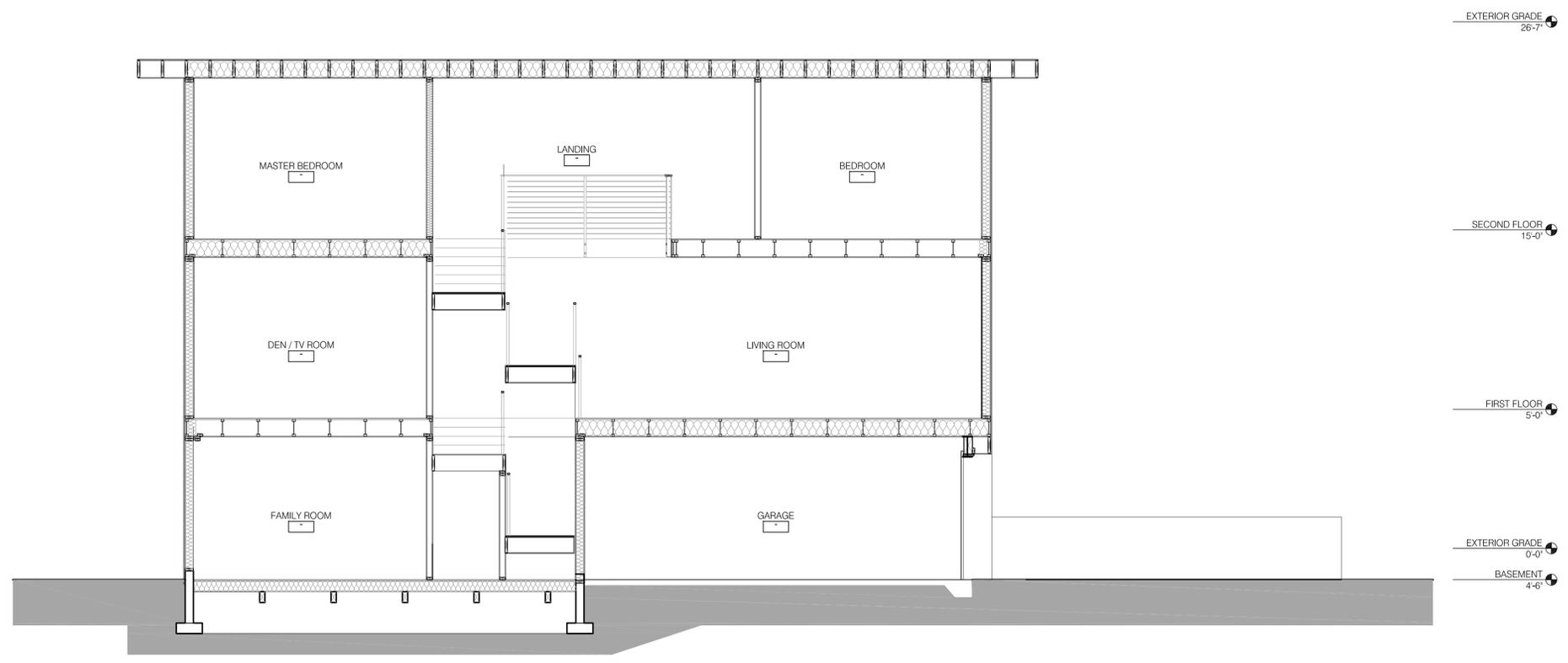
331 W 6TH ST, KETCHUM, ID 83840  
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BUILDING SECTIONS

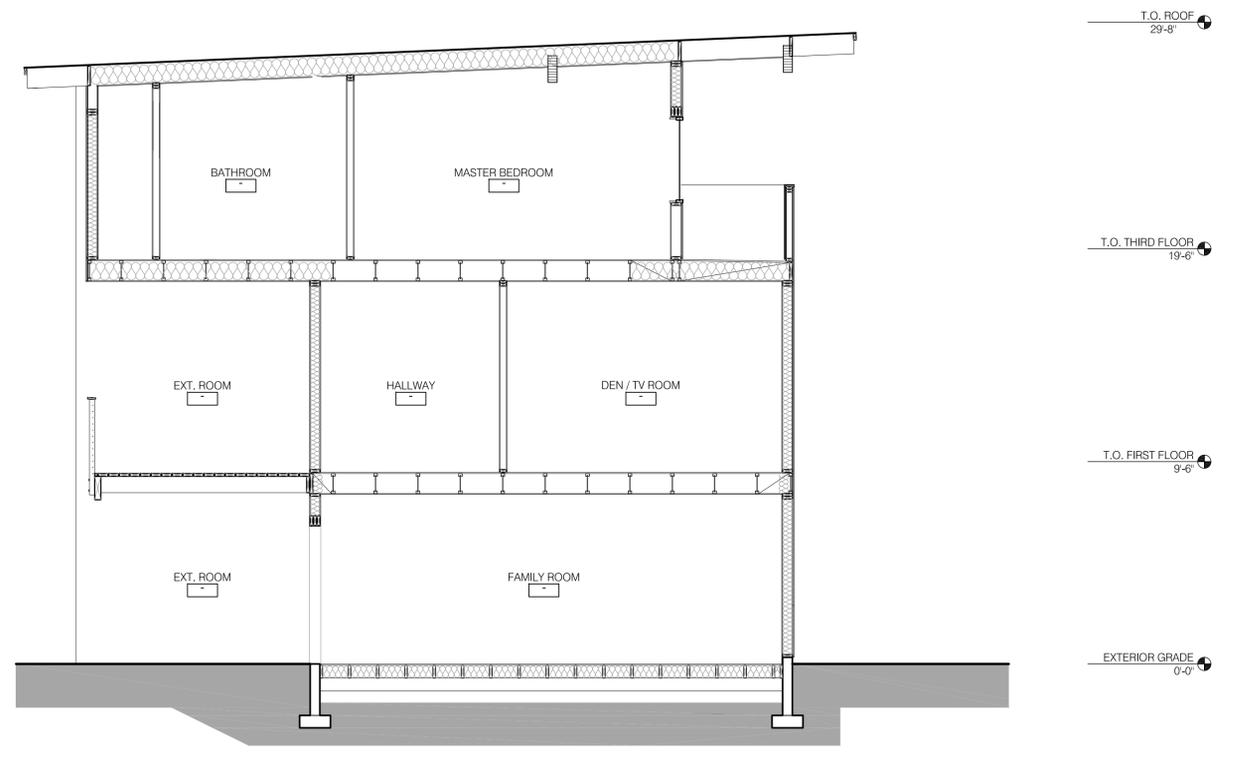
PROJECT NO.: 2680-14  
 DRAWN BY:  
 DATE: JUNE 2, 2015

A-410

DESIGN REVIEW



B1  
 A-410  
 SECTION 1  
 SCALE: 1/4" = 1'-0"



D1  
 A-410  
 SECTION 2  
 SCALE: 1/4" = 1'-0"

1

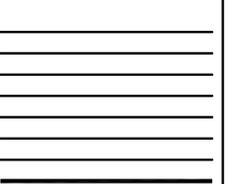
2

3

4

5

NOT FOR  
 CONSTRUCTION



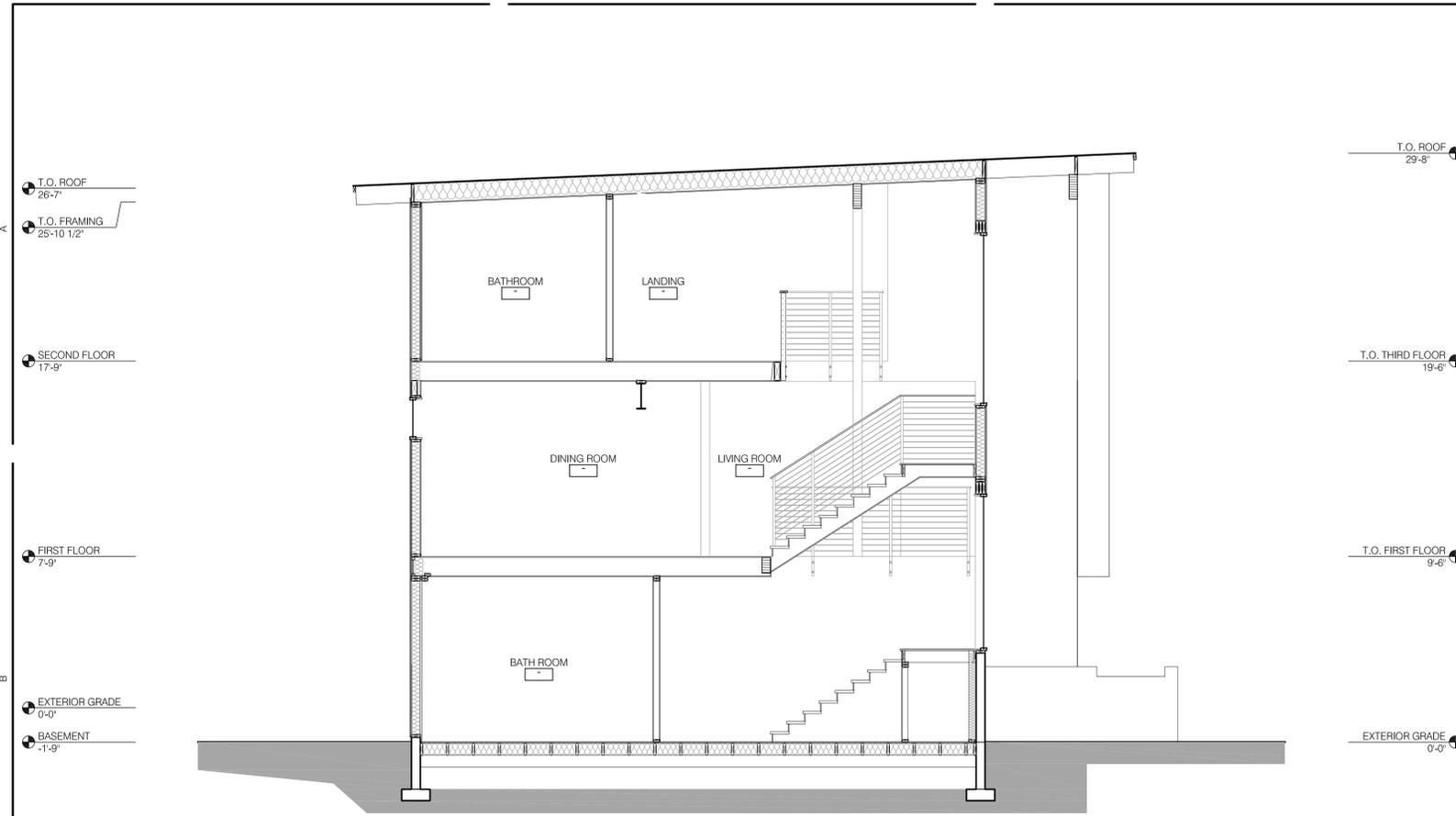
THE FOXHOLE  
 331 W 6TH ST, KETCHUM, ID 83840  
 PPK0000730040

BUILDING SECTIONS

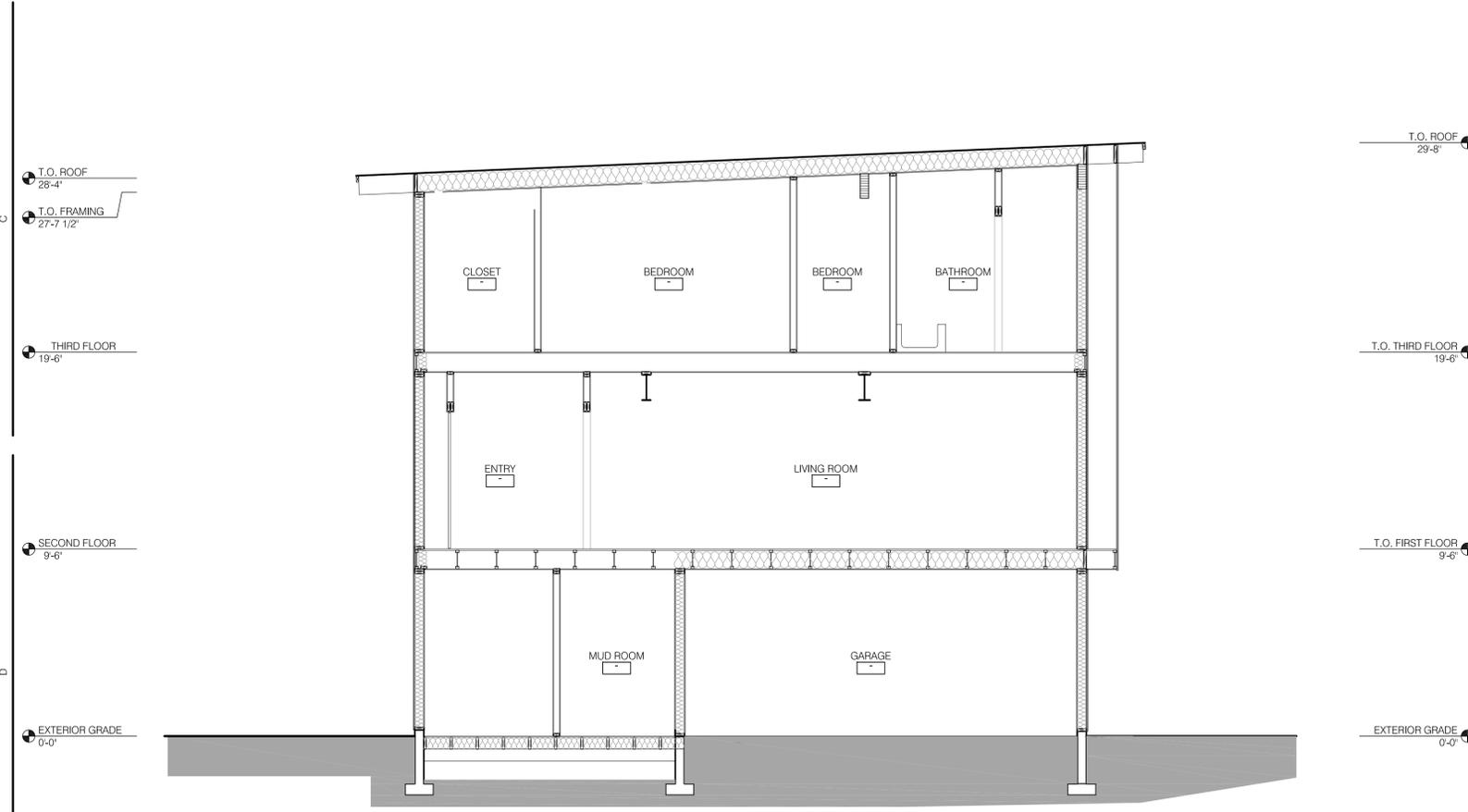
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 DRAWN BY:  
 DATE: JUNE 2, 2015

A-420

DESIGN REVIEW



B1  
 A-420  
 SECTION 3  
 SCALE: 1/4" = 1'-0"



D1  
 A-420  
 SECTION 4  
 SCALE: 1/4" = 1'-0"

1

2

3

4

5



THE FOXHOLE - IMAGE 1 EAST CORNER

PROJECT NUMBER: 2680-14

DATE: 05-04-2015

SCALE: NA

Derek J. Metson Architect  
1300 John Adams St, Ste 106 Oregon City, Oregon 97045



THE FOXHOLE - IMAGE 2 SOUTH ELEVATION

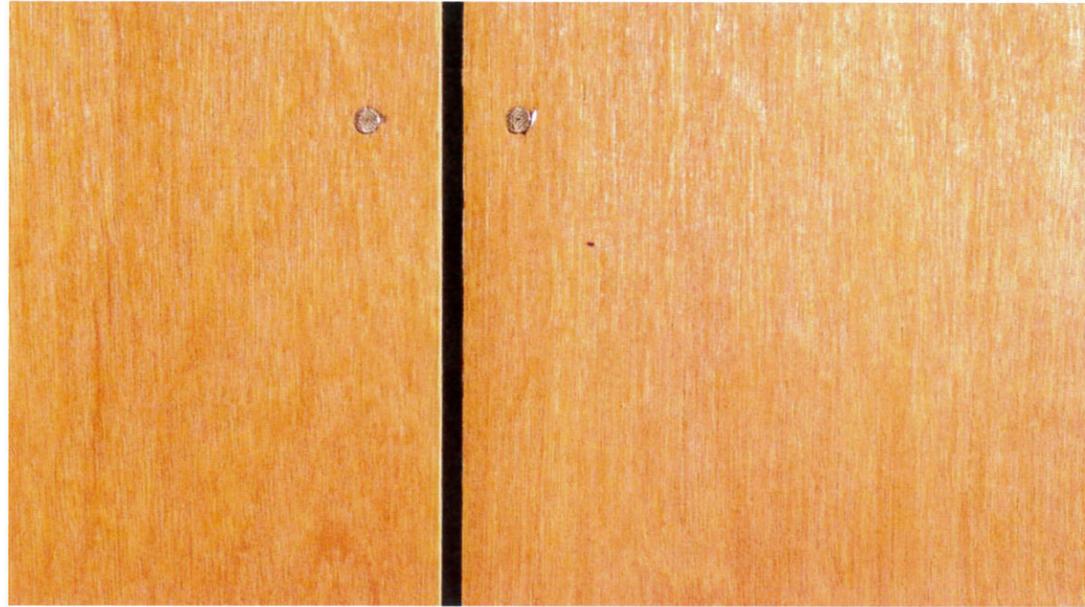
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DATE: 05-04-2015

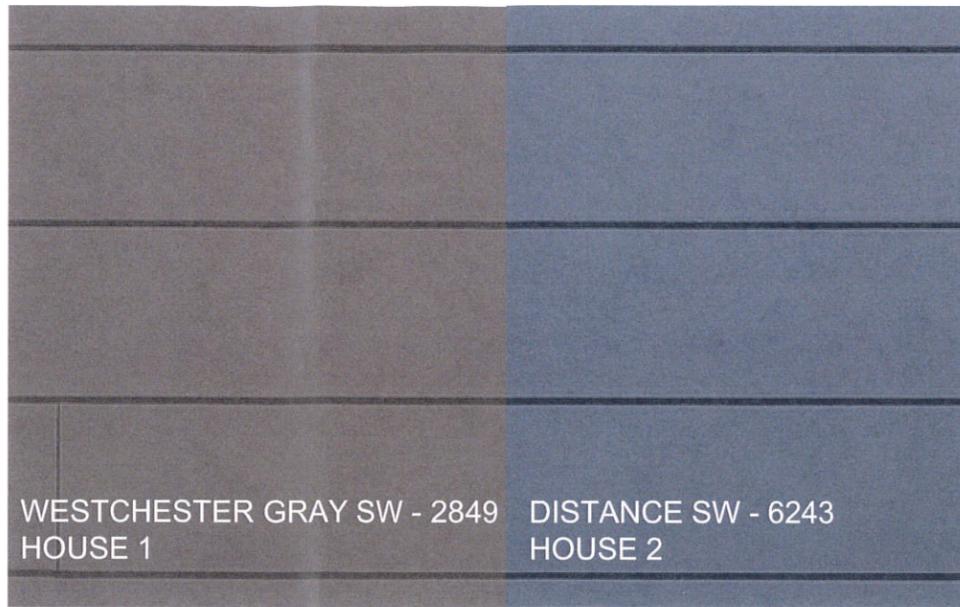
SCALE: NA

Derek J. Metson Architect  
1300 John Adams St, Ste 106 Oregon City, Oregon 97045

## Attachment C: Exterior Finishes and Lighting Details



SIDING - WOOD PANEL  
 FINISH - CLEAR COAT  
 EXTERIOR GRADE WOOD  
 PANEL WITH 1/4" GAPS



SIDING - LAP SIDING  
 FINISH - PAINT GRAY  
 SMOOTH HARDY PLANK SIDING 6" REVEAL



GUARDRAIL AND OPEN SALT WALL  
 AT ENTRY STAIRS  
 FINISH - STAIN TO MATCH PANEL SIDING



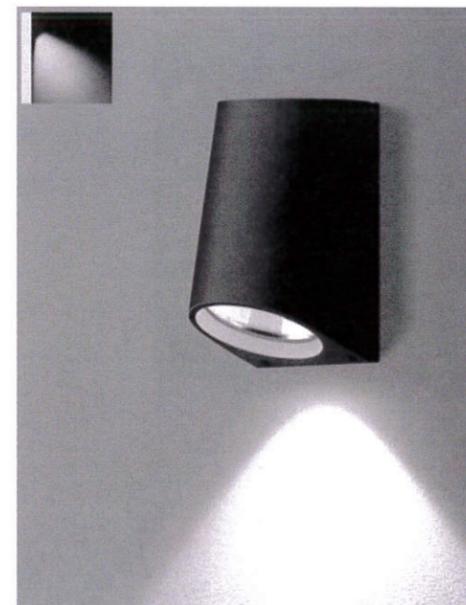
CONCRETE WALKS AND  
 RETAINING WALLS  
 FINISH - MEDIUM BROOM FINISH



CONCRETE PATIO  
 FINISH - CLEAR SEALER  
 EXPOSED PEBBLE AGGREGATE



PATHWAY LIGHTING  
 FINISH - BLACK  
 PARADISE GARDEN LIGHTING



WALL SCONCE  
 FINISH - BLACK  
 BEGA

NOTE: CAN LIGHTS AT PATIO AND DECK



WINDOWS  
 DARK BRONZE  
 MARVIN INTEGRITY  
 ROOFING - TPO WHITE

## KETCHUM RESIDENCE 1 & 2 - MATERIALS BOARD

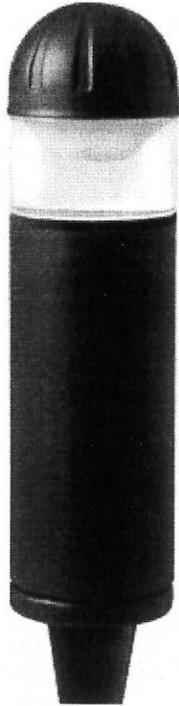
PROJECT NUMBER: 2680-14

DATE: 4-16-2015

SCALE: NA

# 12V LED BOLLARD LIGHT

PARADISE GARDEN LIGHTING



incandescent/halogen lights

- Enjoy outdoor living space with fewer irritants

**Category:** Bollard Lights / Low Voltage

**SKU:** GL33601BK

Low profile design

- Great for illuminating pathways and low lying greenery

Includes easy to use Quick-Clip connector

- Provides hassle free installation

Cast aluminum construction

- Solid, long life construction

Warm white LED'S

- Up to 77% energy savings over a comparable 20W halogen

Ultra long life – up to 20 years

- LED bulb never needs to be changed

LED lights attract less bugs than traditional

## ATTRIBUTES

- **Fixture Construction :** Cast Aluminum
- **Color :** Black
- **Lens Type :** Clear Glass
- **Bulb Type :** 1 White LED
- **Bulb Wattage (max.) / Voltage :** 1.72W/12V
- **Lumen Output :** 12
- **Certification :** cULus
- **Green Product**
- **Warranty :** Limited 1 Year

## Wall luminaires with fixed light distribution

**Housing:** One piece die-cast aluminum supplied with universal mounting bracket for direct attachment to 3½" or 4" wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

**Enclosure:** One piece die-cast aluminum cover frame, secured by captive socket head, stainless steel screws threaded into stainless steel inserts. Interior of lamp compartment painted gloss white. Clear safety glass. Fully gasketed for weather tight operation using a molded silicone rubber gasket. Pure anodized aluminum reflector.

**Electrical:** 13W LED luminaire, 15 total system watts, -30° C start temperature. Integral 120V – 277V electronic LED Driver. 0-10V dimming. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

**Note:** Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com).

**Finish:** All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

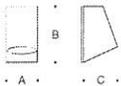
CSA certified to U.S. and Canadian standards . Protection class: IP64.

**Weight:** 3.3 lbs.

**Luminaire Lumens:** 479

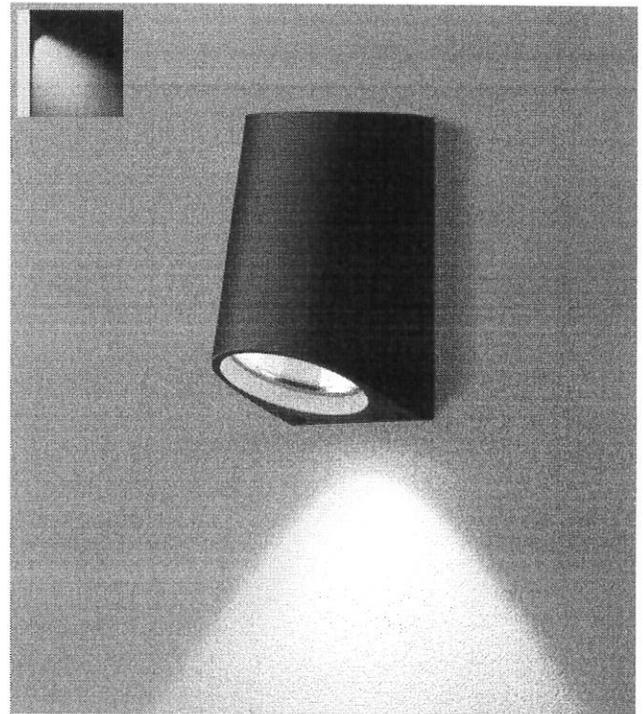
Tested in accordance with LM-79-08

Type:  
 BEGA Product:  
 Project:  
 Voltage:  
 Color:  
 Options:  
 Modified:



### Fixed light distribution

	Lamp	A	B	C
<b>3542 LED</b>	13W LED	4%	7½	4¾





City of Ketchum  
Planning & Building

June 3, 2015

Planning and Zoning Commission  
City of Ketchum  
Ketchum, Idaho

Commissioners:

**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**REGULAR MEETING OF JUNE 8, 2015**

**PROJECT:** Felker Waterways Design Review

**FILE NUMBER:** 15-053

**OWNERS:** Shane Felker

**REQUEST:** Waterways Design Review (WWDR) for a new residence

**LOCATION:** 154 Irene Street (Lot 23, Warm Springs Creekside Subdivision)

**NOTICE:** Adjacent property owners were mailed notice on Tuesday, May 26, 2015.

**ZONING:** General Residential – Low Density (GR-L)

**OVERLAYS:** Floodplain (FP)

**REVIEWER:** Rebecca F. Bundy, Senior Planner / Building and Development Manager

**ATTACHMENTS:**

- A. Application
  - Application Form, dated May 20, 2015
  - Plan Set, dated May 30, 2015
  - Landscape Plan, dated May 15, 2015
  - Riparian Enhancement Plan, dated May 4, 2015
  - Site Drainage Letter, dated April 27, 2015
- B. Public Comment – None to date
- C. Site Photos

**BACKGROUND**

1. The applicant is requesting Waterways Design Review for construction of a new single-family residence. The subject property is located on Warm Springs Creek and contains riparian setback but does not contain regulatory floodplain.
2. Single-family residences are exempt from Design Review, so only the provisions related to Waterways Design Review will be considered.

<b>General Requirements for all FPDP Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.C	<b>Complete Application</b>
				<b>Fire Department</b> <ul style="list-style-type: none"> <li>○ No concerns.</li> </ul>
				<b>Public Works</b> <ul style="list-style-type: none"> <li>○ Any improvements in the right-of-way will require a right-of-way improvement permit.</li> <li>○ No irrigation shall be allowed in the right-of-way.</li> <li>○ A civil engineered grading/drainage plan will be required as part of the building permit submittal.</li> </ul>
				<b>Building Official</b> <ul style="list-style-type: none"> <li>○ The loft may not be used as “habitable space”, per the definition in the 2012 International Residential Code, as it does not have adequate stair access or ceiling height.</li> </ul>

<b>Compliance with Zoning District and Overlay Requirements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>Guideline</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.28.010.F & H	<b>Setbacks for Addition</b>
			<i>Staff Comments</i>	<b>Front - Required: 15’ Proposed: 15’</b> <b>East Side House - Required: 10’ Proposed: 10’</b> <b>East Side Detached Casita - Required: 5’ Proposed: 5’-0 ¼”</b> <b>Rear – Required: 15’ Proposed: 15’</b> <b>West Side - Required: 10’ Proposed: 10’</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.28.010.J	<b>Building Height</b>
			<i>Staff Comments</i>	<b>Allowed: 35’. Proposed: 30’. Detached Casita: 14’-10 ½”</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.28.010.K	<b>Maximum Building Coverage</b>
			<i>Staff Comments</i>	<b>Allowed: 35%. Proposed: 34%</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090.M	<b>Curb Cut</b>
			<i>Staff Comments</i>	<b>Allowed: 35%. Proposed: 11.9%</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090.A.1	<b>Parking Spaces</b>
			<i>Staff Comments</i>	<b>Required: 2 Proposed: 4</b>

## Floodplain Design Review Requirements

### 1. EVALUATION STANDARDS: 17.88.060(E)

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)1 FLOODPLAIN DEVELOPMENT /WATERWAYS DESIGN REVIEW	<p>Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.</p> <p><i>Staff Comments</i> The proposed development is not located in the creek or in the regulatory floodplain. Sawtooth Environmental Consulting, LLC has prepared a Riparian Enhancement Plan to restore the riparian habitat that has been altered by past land-use applications. That plan includes preservation of the existing riparian vegetation and the addition of twelve (12) native riparian shrubs and native grasses. Staff visited the site on June 2, 2015 and found that the riparian setback has in recent times been left to naturalize and that it contains a number of large cottonwood trees, sagebrush and tall grasses. (See Attachment C, Site Photos.)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)2	<p>Preservation or enhancement of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty-five (25) foot setback or riparian zone. No construction activities, encroachment or other disturbance into the twenty five foot (25') riparian zone shall be allowed at any time without written City approval per the terms of this ordinance.</p> <p><i>Staff Comments</i> See above.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)3	<p>No development other than development by the City of Ketchum or development required for emergency access shall occur within the twenty-five (25) foot riparian zone with the exception of approved stream stabilization work. The Planning and Zoning Commission may approve access to property where no other primary access is available. Private pathways and staircases shall not lead into or through the riparian zone unless deemed necessary by the Planning and Zoning Commission.</p> <p><i>Staff Comments</i> See above.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)4	<p>Plan and time frame are provided for restoration of riparian vegetation damaged as a result of the work done.</p> <p><i>Staff Comments</i> See above. The schedule for restoration of the riparian setback is fall 2016, after the bulk of construction is complete.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)5	<p>New or replacement planting and vegetation includes plantings that are low-growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings include: red osier dogwood, common choke cherry, service berry, elder berry, river birch, skunk bush sumac, beb's willow, drummond's willow, little wild rose, gooseberry, and honeysuckle.</p> <p><i>Staff Comments</i> Proposed riparian plantings include dogwood, golden currant, shrubby cinquefoil, common snowberry and chokecherry and native riparian grasses.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)6	<p>Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Flood water carrying capacity is not diminished by the proposal. Surface drainage is controlled and does not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms are designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.</p> <p><i>Staff Comments</i> The subject property does not contain floodplain. The applicant has provided a letter from Steve Butler, PE, stating that the soil conditions</p>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				<i>on the property have adequate infiltration rates to handle roof and site run-off with drywells. As a condition of approval, civil engineering for site drainage shall be required as part of the building permit application.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)7	<b>Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.</b>
			<i>Staff Comments</i>	<i>No development is proposed in or near the river, and the riparian setback has been respected. There will be no adverse impact from the development on aquatic life, recreation or water quality.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)8	<b>Building setback in excess of minimum required along waterways is encouraged.</b>
			<i>Staff Comments</i>	<i>The development is setback approximately one (1) foot in excess of the minimum twenty-five (25) foot riparian setback.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)9	<b>The top of the lowest floor of a building located in the 1% annual chance floodplain shall be a minimum of twenty-four inches (24") above the base flood elevation of the subject property.</b>
			<i>Staff Comments</i>	<i>No development is proposed in the regulatory floodplain.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)10	<b>The back fill used around the foundation in the floodplain provides a reasonable transition to existing grade, but is not used to fill the parcel to any greater extent. Compensatory storage shall be required for any fill placed within the floodplain. A LOMA-F shall be obtained prior to placement of any additional fill in the floodplain.</b>
			<i>Staff Comments</i>	<i>No development is proposed in the regulatory floodplain.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)11	<b>All new buildings shall be constructed on foundations that are approved by a licensed professional engineer.</b>
			<i>Staff Comments</i>	<i>This standard shall be met with a condition that, prior to issuance of a building permit, stamped structural engineered drawings, by a registered design professional, licensed in the State of Idaho, shall be submitted for the foundation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)12	<b>Driveways comply with effective Street Standards; access for emergency vehicles has been adequately provided for.</b>
			<i>Staff Comments</i>	<i>The driveway meets the dimensional standards for a driveway. However, as a condition of approval, at time of building permit submittal, the applicant shall be required to meet City driveway standards and requirements for any improvements in the right-of-way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)13	<b>Landscaping or revegetation conceals cuts and fills required for driveways and other elements of the development.</b>
			<i>Staff Comments</i>	<i>The lot is virtually flat, and no cut and fill will be required, except for excavation and backfill of the foundation. As single-family residences are exempt from Design Review, only the riparian landscaping will be reviewed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)14	<b>(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.</b>
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)15	<b>Stream Alteration) No increase to the 100-year floodplain upstream or downstream has been certified by a registered Idaho engineer.</b>
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)16	<b>(Stream Alteration) The recreational use of the stream including access along any and all public pedestrian/fisherman's easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.</b>
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)17	<b>Where development is proposed that impacts any wetland, first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at</b>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				time of application that replace the impacted wetland area with a comparable amount and/or quality of new wetland area or riparian habitat improvement.
			<i>Staff Comments</i>	<i>The property does not contain wetlands.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)18	(Stream Alteration) Fish habitat is maintained or improved as a result of the work proposed.
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)19	(Stream Alteration) The proposed work is not in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)20	(Stream Alteration) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.
			<i>Staff Comments</i>	<i>No stream alteration is proposed.</i>

### STAFF RECOMMENDATION

Based on the information submitted to date, staff recommends approval of this project, Felker Waterways Design Review, subject to the conditions 1 - 7 below.

### FOR MOTION PURPOSES

1. This project, Felker Waterways Design Review, **does not** meet the standards for approval under Chapter 17.88 of Ketchum Zoning Code Title 17 **because of the following standards** (Commission to insert reasons for denial); or,
2. This project, Felker Waterways Design Review, **does** meet the standards for approval under Chapter 17.88 of Ketchum Code Title 17 only if the following conditions of approval are met.

### PROPOSED CONDITIONS

1. Waterways Design Review approval shall expire one (1) year from the date of signing of approved Findings of Fact per the terms of KMC, Section 17.88.060.G, Terms of Approval;
2. This Floodplain Development Permit approval is based on the plans, dated May 30, 2015, and information presented and approved at the meeting on the date noted herein. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
3. Pursuant to Chapter 17.88.050.C, no chemicals or soil sterilants are allowed within 100 feet of the mean high water mark. No pesticides, herbicides, or fertilizers are allowed within 25 feet of the mean high water mark unless approved by the City Arborist 5. All applications of herbicides and/or pesticides within one hundred feet (100') of the mean high water mark, but not within twenty five feet (25') of the mean high water mark, must be done by a licensed applicator and applied at the minimum application rates. Application times for herbicides and/or pesticides will be limited to two (2) times a year; once in the spring and once in the fall unless otherwise approved by the city arborist. The application of dormant oil sprays and insecticidal soap within the riparian zone may be used throughout the growing season as needed.

4. At time of building permit submittal, a stamped grading/drainage plan, prepared by an civil engineer, licensed in the State of Idaho, shall be submitted as part of the building permit application;
5. At time of building permit submittal, stamped structural engineered drawings, prepared by a registered design professional, licensed in the State of Idaho, shall be submitted for the foundation;
6. At time of building permit submittal, the applicant shall be required to meet City driveway standards and requirements for any improvements in the right-of-way. Any improvements in the right-of-way will require a right-of-way improvement permit, and no irrigation shall be allowed in the right-of-way; and
7. The loft may not be used as “habitable space”, per the definition in the 2012 International Residential Code, as it does not have adequate stair access or ceiling height.

**Attachment A:  
Application**

- Application Form, dated May 20, 2015
- Plan Set, dated May 30, 2015
- Landscape Plan, dated May 15, 2015
- Riparian Enhancement Plan, dated May 4, 2015
- Site Drainage Letter, dated April 27, 2015

File Number: 15-053

FLOODPLAIN MANAGEMENT OVERLAY APPLICATION

Use for:

- Floodplain Development Permit
- Waterways Overlay Design Review
- Stream Alteration Permit

Project Name: Felker Residence

Owner: Shane & Hillary Felker Phone No.: (858) 229-3505

Mailing Address: P.O. Box 1817, Ketchum, ID 83340

Email: Shane@sawtoothdevelopment.com

Architect/Representative: OWNER Phone No.: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email: \_\_\_\_\_

Engineer of Record: Maxwell Structural Design Engineer Email: craig@maxwellstds.com

Floodplain Management Review Fee: \_\_\_\_\_ Date Paid: \_\_\_\_\_

Legal Land Description: \_\_\_\_\_

Street Address: 154 Irene St., Ketchum, ID 83340

Lot Area: 11,561 S.F. Zoning District: GR-L Anticipated Use: Primary Residence

Type Construction: New  Remodel \_\_\_\_\_ Addition \_\_\_\_\_ Other

Total Floor Area: Proposed \_\_\_\_\_ Existing \_\_\_\_\_

Basements: N/A \_\_\_\_\_

1st Floor: 1,642 \_\_\_\_\_

2nd Floor: 2,383 \_\_\_\_\_

3rd Floor: N/A \_\_\_\_\_

Mezzanine: N/A \_\_\_\_\_

Total: 4,025 \_\_\_\_\_

Percent of Building Coverage: 34% Curb Cut: N/A

Setbacks: Front 15' Side 10' Side 5' Rear 15'

Height: 30' Parking Spaces Provided: 4+

Will fill or excavation be required? If yes, amount in cubic yards- Fill \_\_\_\_\_ Excavation \_\_\_\_\_

Will existing trees or vegetation be removed? Yes  No \_\_\_\_\_

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Floodplain Management Overlay Application in which the City of Ketchum is the prevailing party to pay the reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum.

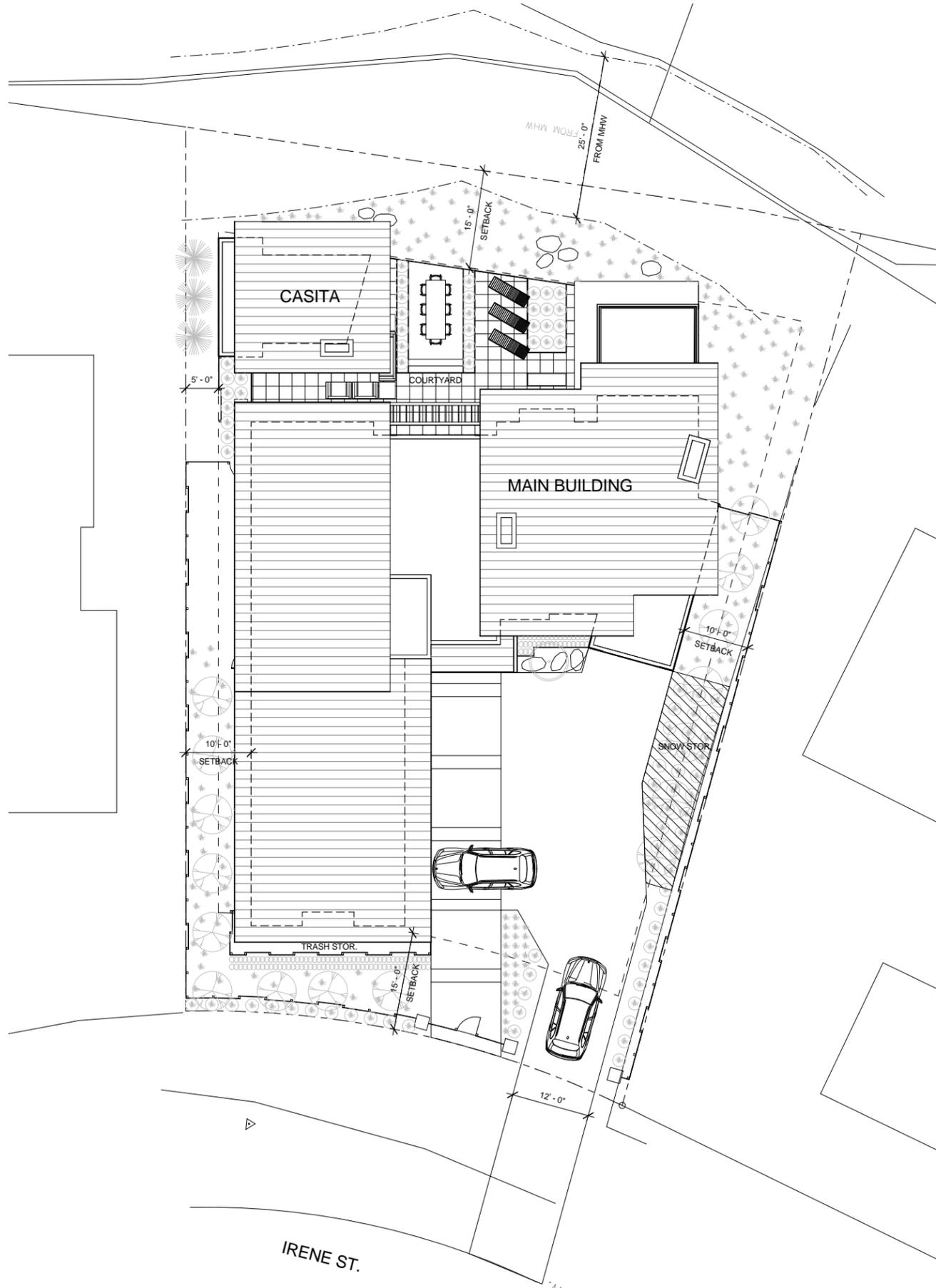
I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner: [Signature] Date: 5.28.15

Approved/Denied: \_\_\_\_\_ Date: \_\_\_\_\_

Pursuant to Resolution No. 08-123, any direct costs incurred by the City of Ketchum to review this application will be the responsibility of the applicant. Costs include but are not limited to engineer review, attorney review, legal noticing, and copying costs associated with the application. The City will require a retainer to be paid by the applicant at the time of application submittal to cover said costs. Following a decision or other closure of an application, the applicant will either be reimbursed for unexpended funds or billed for additional costs incurred by the City.

received  
5/21/15



① SITE PLAN  
1" = 10'-0"

**GENERAL NOTES**

1. ALL HVAC & MECH EQUIPMENT TO BE LOCATED WITHIN THE INTERIOR OF THE BLDG.

**SITE DATA**

SITE ADDRESS:  
154 IRENE ST.  
KETCHUM, IDAHO 83340

PARCEL NUMBER:  
RPK05750000230

ZONING DISTRICT:  
GR-L: GENERAL LOW DENSITY  
FLOOD PLAIN OVERLAY??

LOT AREA:  
11,561 S.F.

MIN. FRONT YARD SETBACK:  
REQUIRED: 15'-0"  
PROVIDED: 15'-0"

MIN. REAR YARD SETBACK:  
REQUIRED: MIN. 1'-0" FOR EVERY 3'-0" OF BUILDING HEIGHT  
EXCEPT NO REAR YARD SHALL BE LESS THAN 15'-0"  
PROVIDED: 15'-0"

MIN. SIDE YARD SETBACK:  
REQUIRED: MIN. 1'-0" FOR EVERY 3'-0" OF BUILDING HEIGHT  
EXCEPT NO SIDE YARD SHALL BE LESS THAN 5'-0"  
PROVIDED: VARIES - SEE SITE PLAN

MAX. BUILDING HEIGHT:  
REQUIRED: 35'-0"  
PROVIDED: 30'-0"

GROSS BUILDING AREA:  
MAIN LEVEL: 3,577 S.F.  
CASITA: 323 S.F.  
TOTAL GROSS BUILDING AREA: 3,900 S.F.

MAX. BUILDING COVERAGE:  
ALLOWED: 35%  
PROVIDED: 3,900 S.F./11,561 S.F. = 34%

LIVABLE BUILDING AREA:  
MAIN LEVEL LIVABLE: 1,657 S.F.  
SECOND LEVEL LIVABLE: 2,407 S.F.  
TOTAL MAIN HOUSE LIVABLE: 4,064 S.F.

CASITA: 274 S.F.  
GARAGE: 777 S.F.  
VAN STORAGE/SHOP: 368 S.F.  
MEDITATION & SPA: 388 S.F.  
LOFT: 194 S.F.



PROJECT SITE

**VICINITY MAP**

SCHEMATIC  
NOT FOR  
CONSTRUCTION

SAWTOOTH DEVELOPMENT GROUP  
IRENE STREET RESIDENCE | KETCHUM ID

DATE:  
05-30-2015

SITE PLAN

**A100**

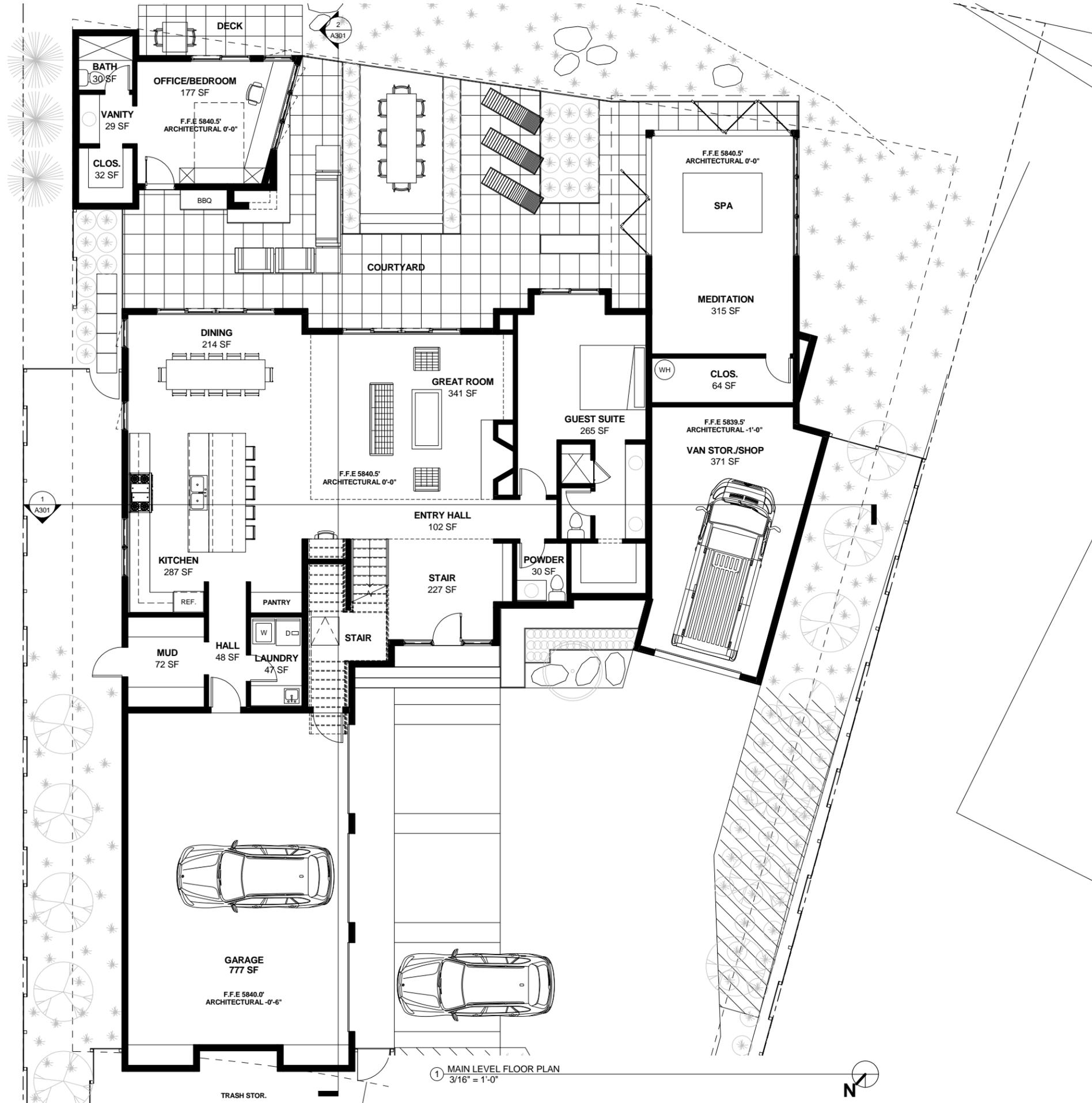
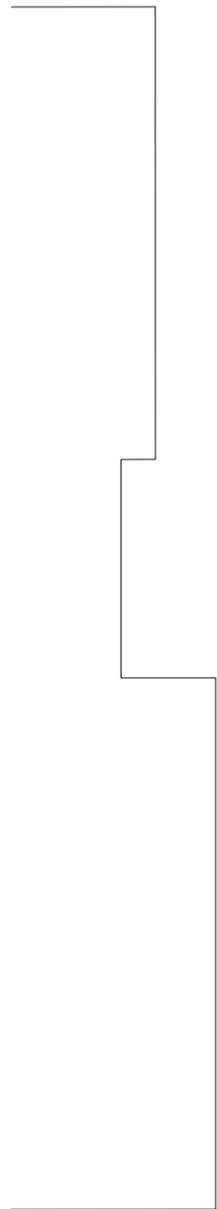
SCHEMATIC  
NOT FOR  
CONSTRUCTION

SAWTOOTH DEVELOPMENT GROUP  
IRENE STREET RESIDENCE | KETCHUM ID

DATE:  
05-30-2015

MAIN LEVEL  
FLOOR PLAN

**A101**



1  
A301

2  
A301

1 MAIN LEVEL FLOOR PLAN  
3/16" = 1'-0"



TRASH STOR.

GARAGE  
777 SF

F.F.E 5840.0'  
ARCHITECTURAL -0'-6"

POWDER  
30 SF

STAIR  
227 SF

ENTRY HALL  
102 SF

GUEST SUITE  
265 SF

VAN STOR./SHOP  
371 SF

CLOS.  
64 SF

MEDITATION  
315 SF

SPA

F.F.E 5840.5'  
ARCHITECTURAL 0'-0"

GREAT ROOM  
341 SF

F.F.E 5840.5'  
ARCHITECTURAL 0'-0"

DINING  
214 SF

KITCHEN  
287 SF

LAUNDRY  
47 SF

HALL  
48 SF

MUD  
72 SF

PANTRY

REF.

STAIR  
227 SF

STAIR

PANTRY

REF.

HALL  
48 SF

MUD  
72 SF

PANTRY

REF.

LAUNDRY  
47 SF

HALL  
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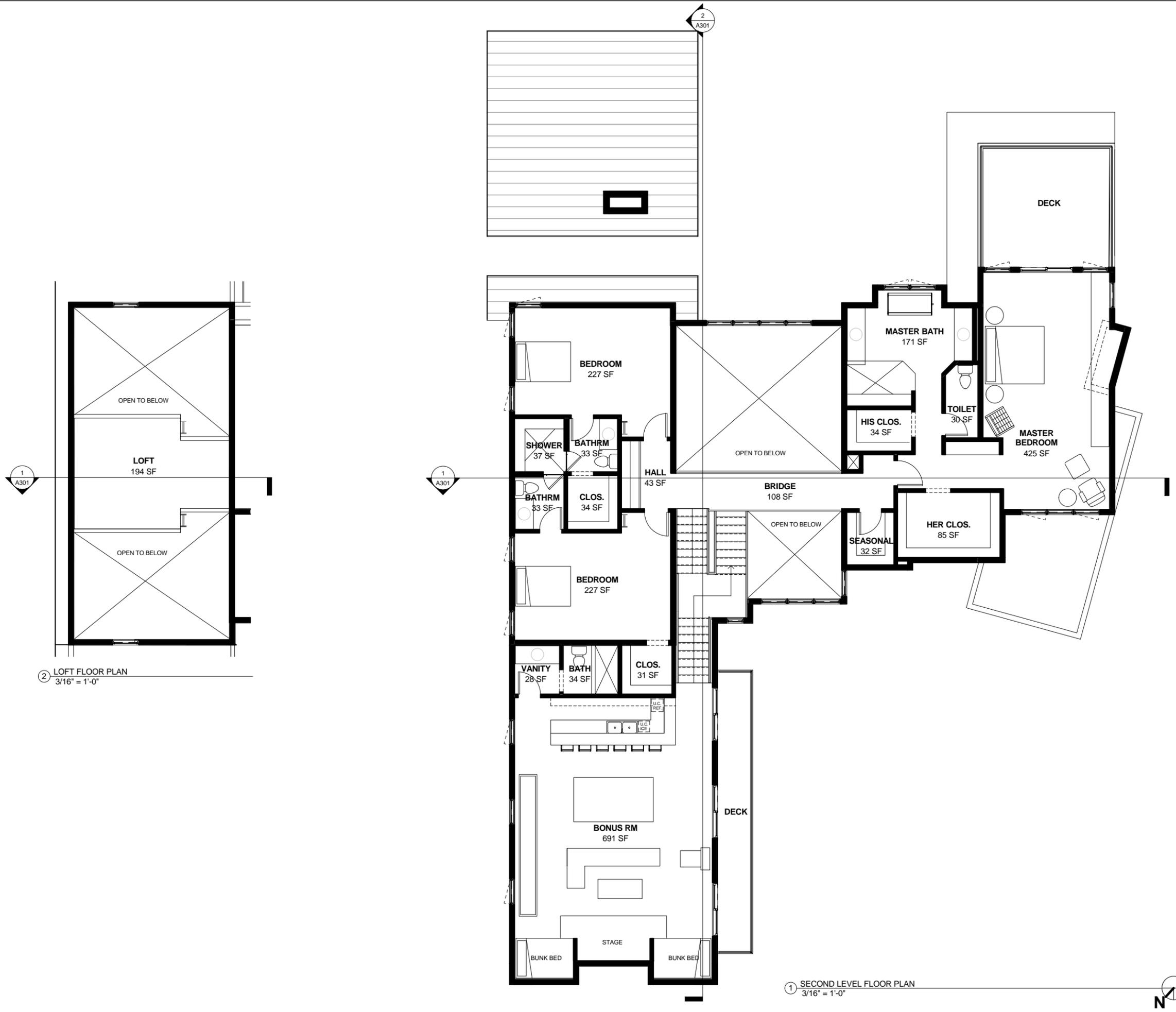
SCHEMATIC  
NOT FOR  
CONSTRUCTION

SAWTOOTH DEVELOPMENT GROUP  
IRENE STREET RESIDENCE | KETCHUM ID

DATE:  
05-30-2015

2ND LEVEL  
FLOOR PLAN

**A102**



② LOFT FLOOR PLAN  
3/16" = 1'-0"

① SECOND LEVEL FLOOR PLAN  
3/16" = 1'-0"



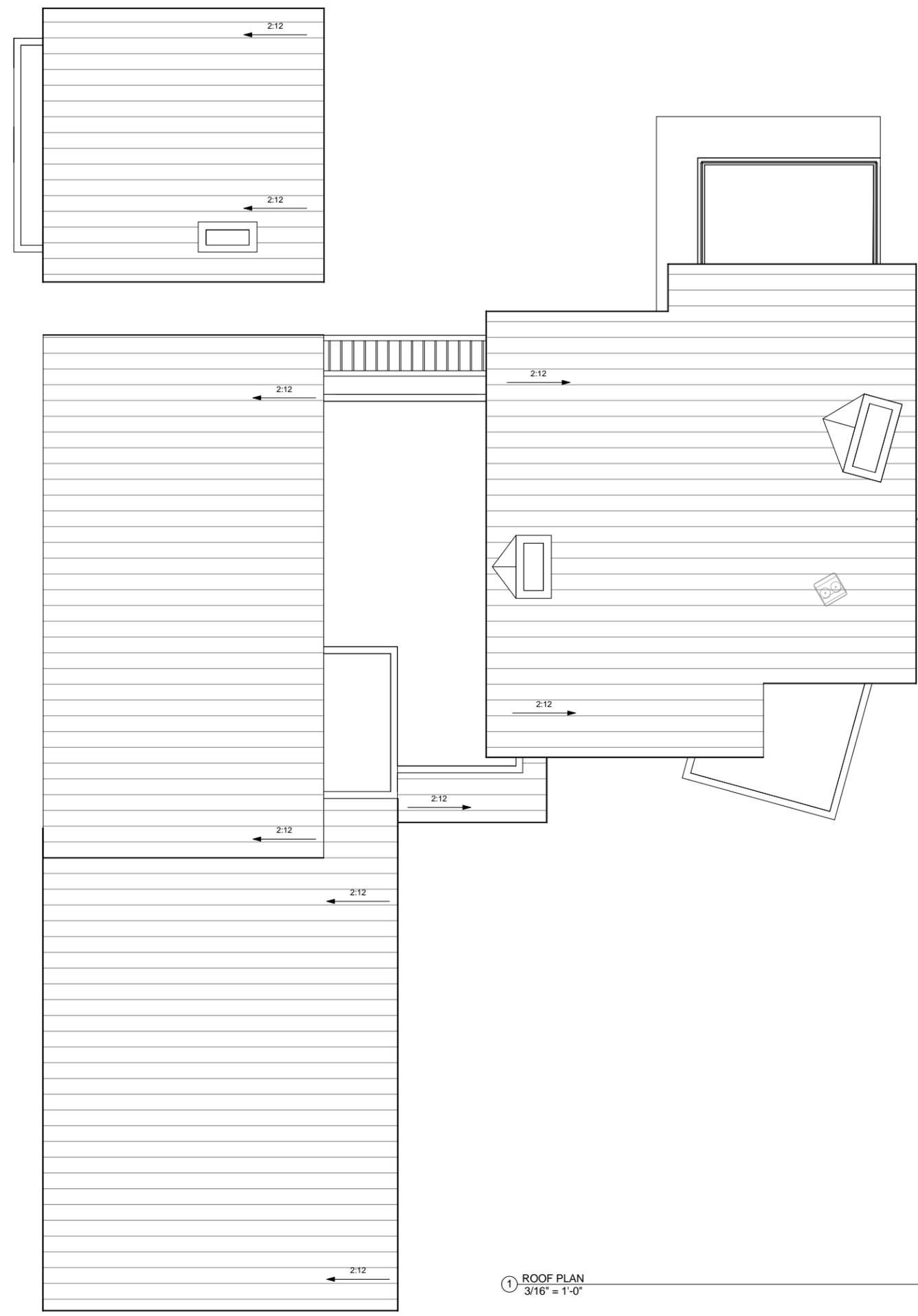
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NOT FOR  
CONSTRUCTION

SAWTOOTH DEVELOPMENT GROUP  
IRENE STREET RESIDENCE | KETCHUM ID

DATE:  
05-30-2015

ROOF PLAN

**A103**



① ROOF PLAN  
3/16" = 1'-0"



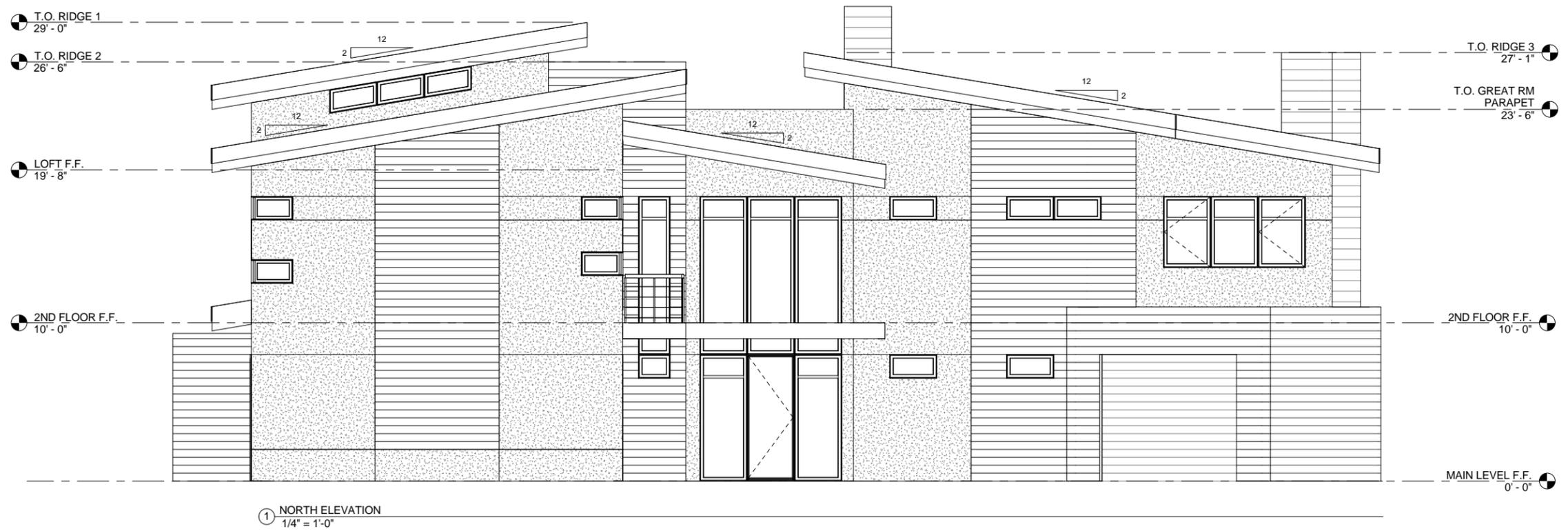
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SAWTOOTH DEVELOPMENT GROUP  
IRENE STREET RESIDENCE | KETCHUM ID

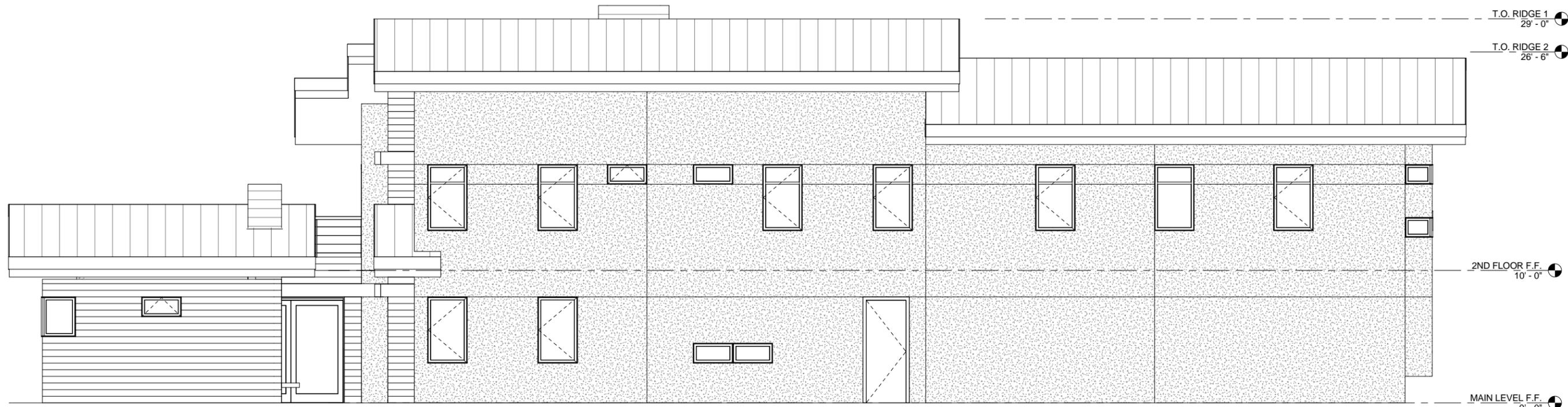
DATE:  
05-30-2015

MAIN  
BUILDING  
ELEVATIONS

A201



SCHEMATIC  
NOT FOR  
CONSTRUCTION



① EAST ELEVATION  
1/4" = 1'-0"



② WEST ELEVATION  
1/4" = 1'-0"

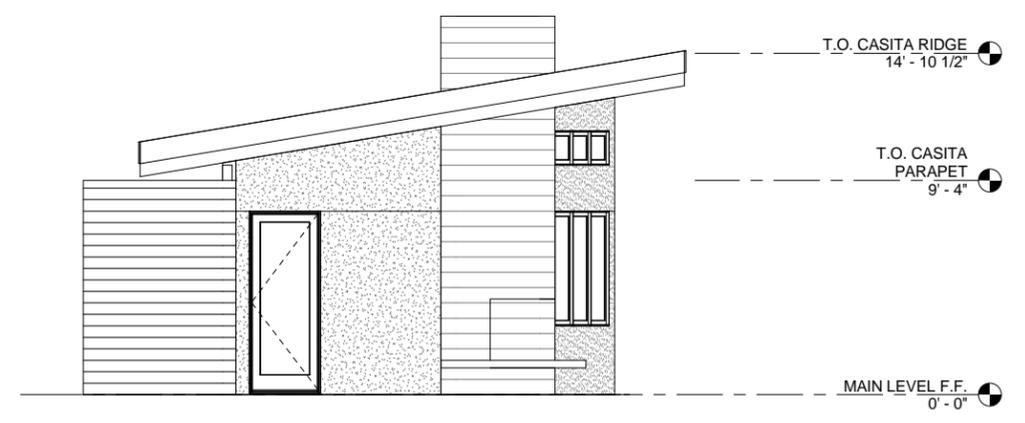
SAWTOOTH DEVELOPMENT GROUP  
IRENE STREET RESIDENCE | KETCHUM ID

DATE:  
05-30-2015

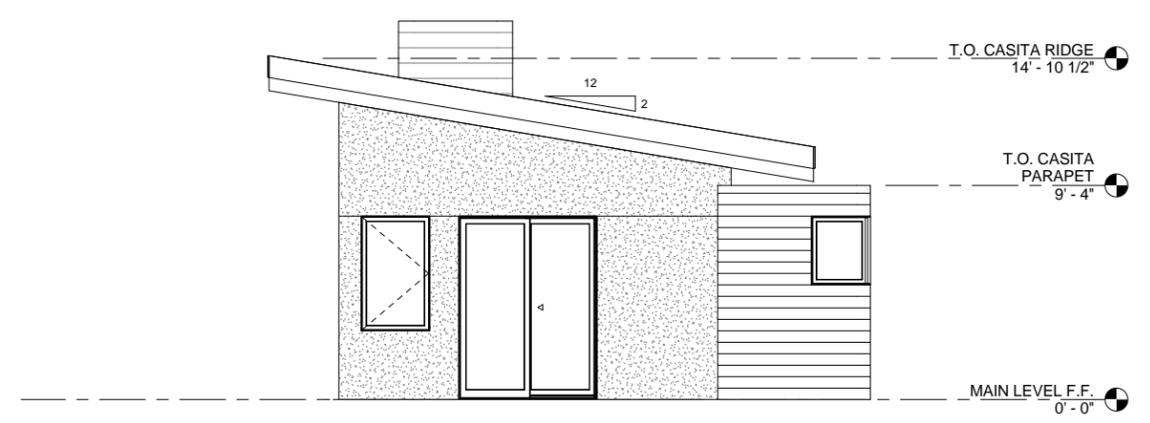
MAIN  
BUILDING  
ELEVATIONS

**A202**

SCHEMATIC  
NOT FOR  
CONSTRUCTION



① CASITA - NORTH ELEVATION  
1/4" = 1'-0"



② CASITA - SOUTH ELEVATION  
1/4" = 1'-0"



③ CASITA - WEST ELEVATION  
1/4" = 1'-0"

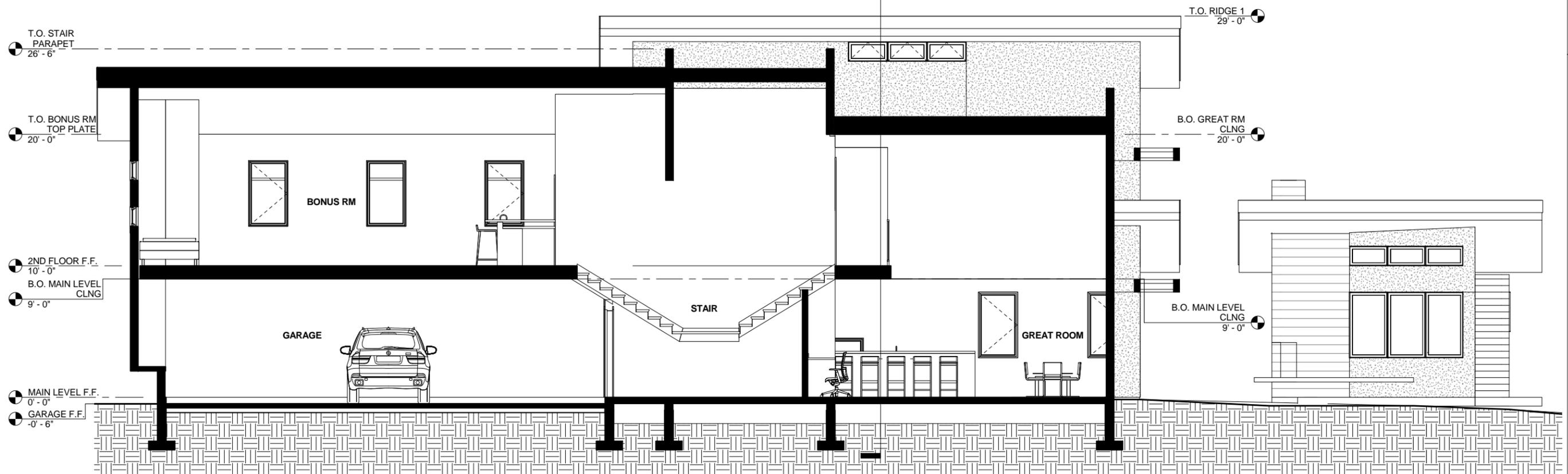
SAWTOOTH DEVELOPMENT GROUP  
IRENE STREET RESIDENCE | KETCHUM ID

DATE:  
05-30-2015

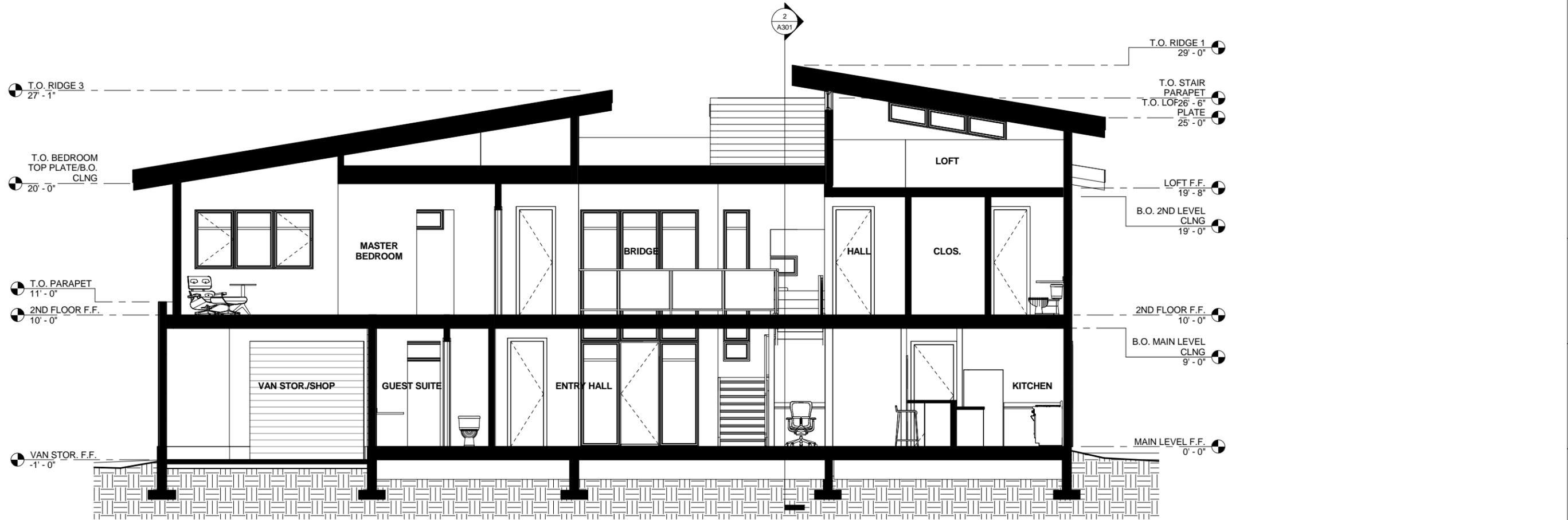
CASITA  
ELEVATIONS

**A203**

SCHEMATIC  
NOT FOR  
CONSTRUCTION



Section 1  
1/4" = 1'-0"



Section 2  
1/4" = 1'-0"

SAWTOOTH DEVELOPMENT GROUP  
IRENE STREET RESIDENCE | KETCHUM ID

DATE:  
05-30-2015

MAIN  
BUILDING  
SECTIONS

**A301**

PRELIMINARY  
NOT FOR  
CONSTRUCTION

**SAWTOOTH DEVELOPMENT GROUP**  
**IRENE STREET RESIDENCE | KETCHUM ID**  
**BLISSARCHITECTURE**

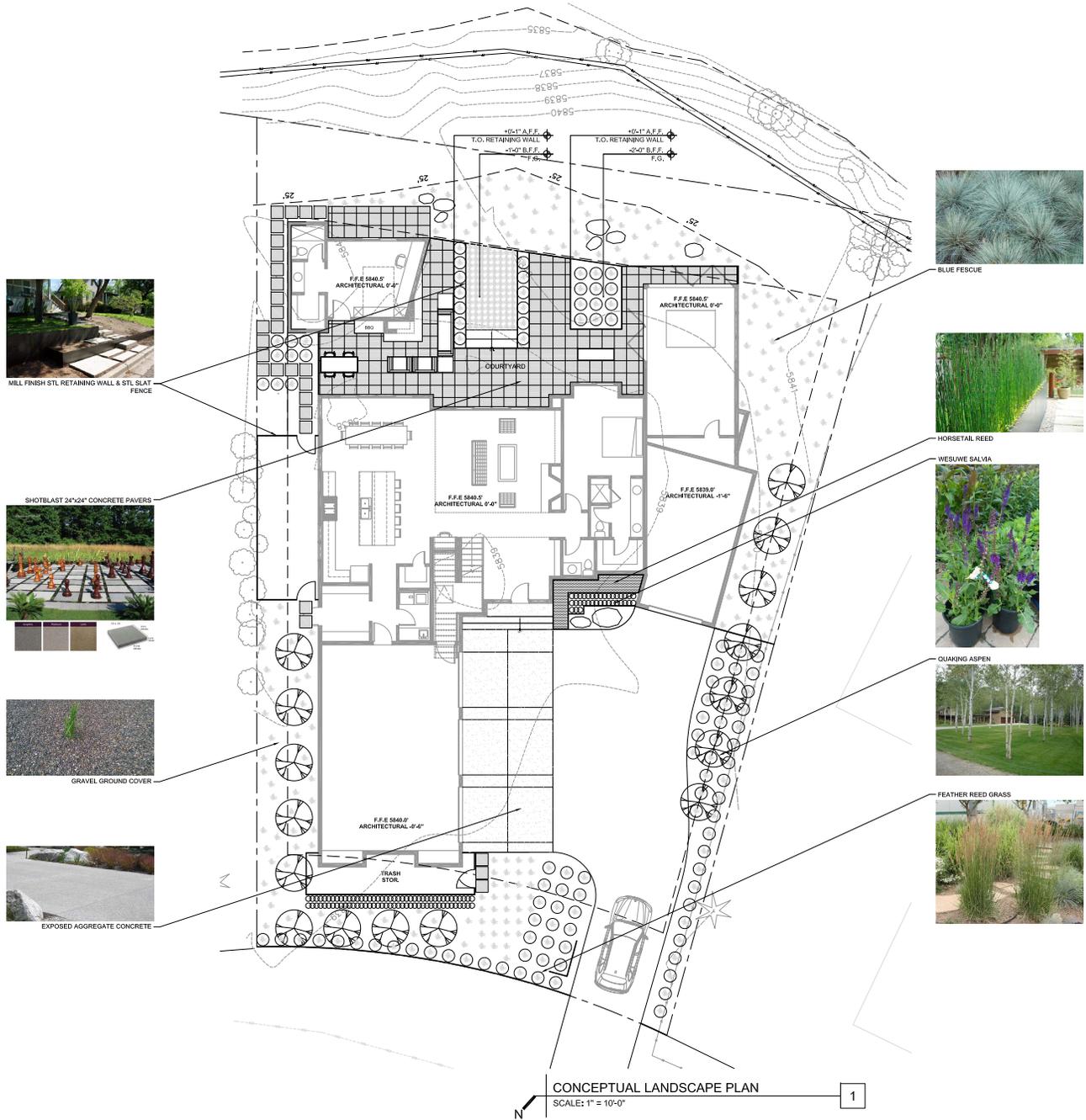
PROJECT NO. | 201503

DRAWN BY | EMB  
 CHECKED BY | EMB

05 15 2015

LANDSCAPE PLAN

**L100**



CONCEPTUAL LANDSCAPE PLAN  
 SCALE: 1" = 10'-0"  
 1

THE ORIGINAL INTENT OF THIS DOCUMENT IS TO PROVIDE A CONCEPTUAL DESIGN FOR THE LANDSCAPE ARCHITECTURE. ANY AND ALL REVISIONS, TRANSMISSIONS, OR OTHER CHANGES TO THIS DOCUMENT SHALL BE THE RESPONSIBILITY OF THE CLIENT. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF BLISSARCHITECTURE.

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Sawtooth Environmental Consulting, LLC

P.O. Box 2707 Ketchum, ID. 83340  
208-727-9748

**Felker – Lot 23 Creekside Subdivision  
Riparian Enhancement Plan  
May 4, 2015**

**Landowner:** Shane Felker

**Location:** 154 Irene Street, Section 11, Township 4 North, Range 17 East,  
City of Ketchum, Blaine County, Idaho.

**Project:** Residential Development – Riparian Enhancement Plan

The proposed development project is to construct a single-family residence located at 154 Irene Street. The subject parcel is approximately 11,745 SF (0.265 acre), and is immediately adjacent to Warm Springs Creek, which is located to the south of the designated building site.

All proposed development applications will occur within the established platted building envelope and outside of the regulated 25-foot riparian management zone. In an area where vegetation has been cleared by past land use applications. The proposed project has been designed to avoid jurisdictional waters of the United States, including jurisdictional wetlands and minimize adverse impacts to floodplain and riparian habitat elements to the greatest extent practicable.

Understanding the importance of riparian habitats and their role in protecting water quality and providing valuable wildlife habitat the applicant proposes to protect undisturbed riparian elements located on the property and enhance riparian habitat elements altered by past land use applications.

Prescribed riparian management applications outlined in this plan are presented to protect water quality, enhance riparian habitat and improve wildlife habitat. As well as help mitigate for the proposed site development and past site alterations, which have altered the natural riparian habitat elements associated with the site.

### **Site Description**

The project site is located approximately 1.6 miles northwest of Ketchum, within Section 11, Township 4 North, Range 17 East, B.M., Blaine County, Idaho. The project area is located to the north of Warm Springs Creek.

Native riparian vegetation is limited to a narrow margin directly adjacent to the stream channel. Native riparian vegetation associated with the site is comprised of a cottonwood tree (*Populus trichocarpa*) upper canopy, a woody shrub mid-canopy consisting of willows (*Salix spp.*), currant (*Ribes spp.*), and wild rose (*Rosa woodsii*) and herbaceous ground cover mix of various grasses and forbs.

The balance of the riparian area located within the 25-foot riparian management zone consists of a predominant herbaceous ground cover including various pasture grasses and mixed forbs. Dominant species include Smooth brome, Idaho fescue, Kentucky bluegrass, and common yarrow, along with a remnant stand of sagebrush located within the southeast corner of the parcel.

### **Riparian Enhancement Plan**

The proposed project plans to reclaim and enhance the natural riparian characteristics associated with Warm Springs Creek by addressing approximately 600 square feet (0.014 acre) of riparian habitat which has been altered by past land-use applications including land clearing and bank stabilization applications. The reclaimed riparian area will be considered a natural zone, management and maintenance activities will be minimized to the necessary control of noxious weeds, the removal of dead and/or hazardous trees, and emergency stream bank stabilization activities (if necessary). No further development will be proposed within the 25-foot riparian management zone.

The reclaimed riparian buffer will consist of predominantly perennial vegetation (grasses, forbs, shrubs and trees) and be managed to enhance and protect aquatic resources from potential adverse impacts associated with development applications. Project objectives include:

- Promote riverbank stabilization
- Filter nutrients, herbicides and other chemicals from land-use applications
- Improve wildlife habitat and migration corridors
- Restore native plant communities

### **Enhancement Applications**

Development and enhancement applications will incorporate all applicable Best Management Practices (BMP's) to protect resource values and to ensure compliance with state and federal Water Quality Standards. The following riparian enhancement applications are being proposed to reclaim altered riparian habitat elements and to help mitigate for past land-use applications.

- Preserve a 25-foot (minimum) undisturbed vegetation buffer adjacent to all surface water resources. Construction and/or silt fence will be placed along this boundary to inhibit encroachment during site excavation and construction of the proposed project.

- Limit the area of disturbance in terms of both extent and duration by the use of practical construction sequencing and applied Best Management Practices.
- Reclaim/enhance approximately 600 square feet (0.014 acre) of riparian habitat, a no maintenance riparian buffer to enhance riparian function and value.

Proposed reclamation applications include:

- Encourage natural recruitment of native riparian plant species by not mowing the identified reclamation areas.
- Plant 12 native riparian shrubs, 2 to 5 gallon nursery stock (dogwood, golden currant, shrubby cinquefoil, common snowberry and chokecherry) to restore and enhance altered riparian habitat elements.
- Incorporate native riparian grass species into the designated reclamation areas and all disturbed areas.

The plantings will be sited to enhance the natural beauty of the stream corridor and to preserve views from the subject property. New plantings and seeded areas will be irrigated for a minimum of two (2) years to promote establishment and root development.

- Control noxious weeds and invasive plant species throughout the parcel on an as need basis. The preferred method of hand pulling will be applied for weeds that are isolated and not widespread, while spot herbicide applications will be utilized to control widespread infestations.

## **Schedule**

Enhancement applications will be implemented once major construction activities have been completed (Fall 2016).

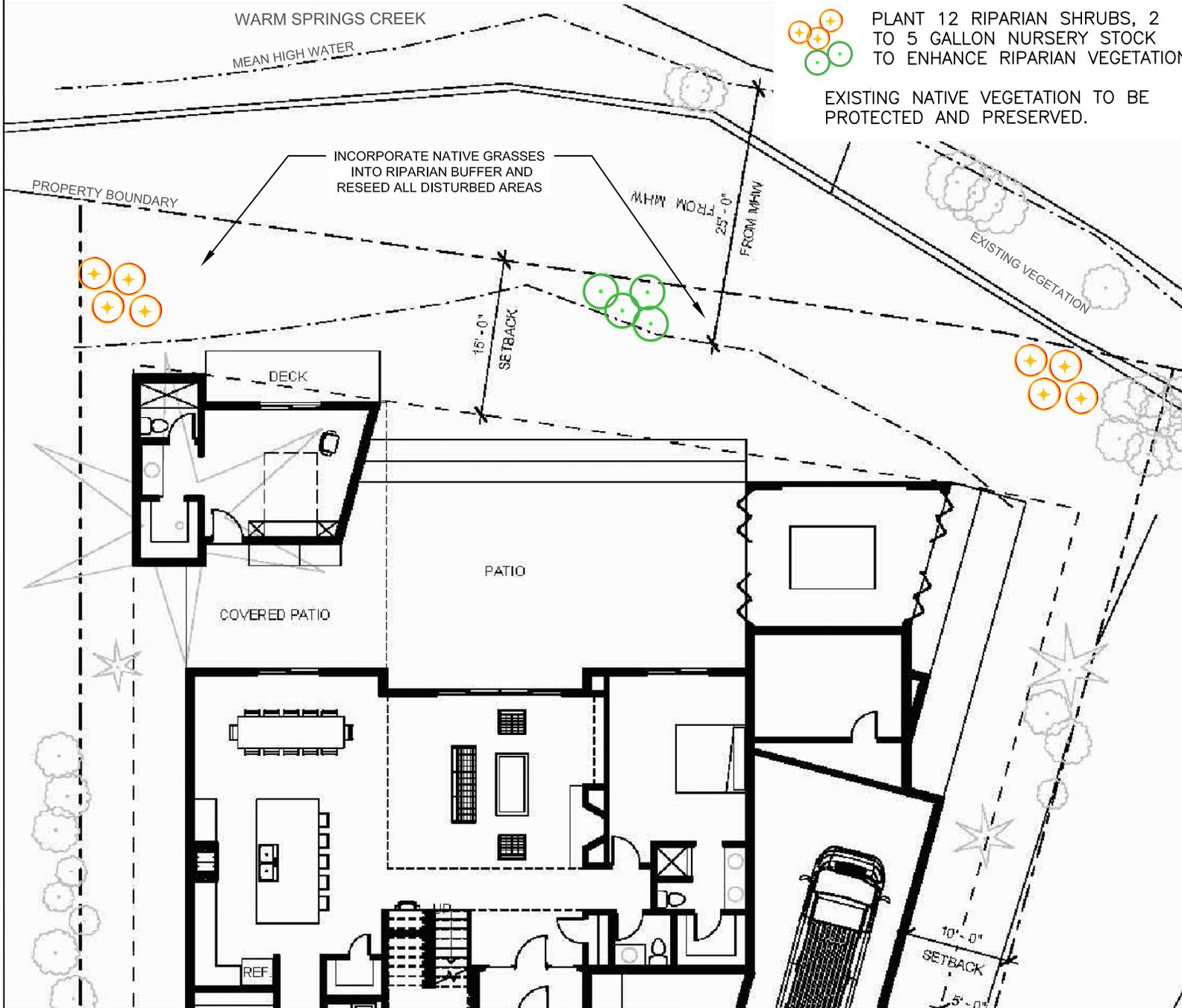
**FELKER - LOT 23 CREEKSIDE SUBDIVISION  
CONCEPTUAL RIPARIAN ENHANCEMENT PLAN**

**RIPARIAN ENHANCEMENT APPLICATIONS**

RECLAIM APPROXIMATELY 600 SQUARE FEET (0.014 ACRE) OF RIPARIAN HABITAT,

 PLANT 12 RIPARIAN SHRUBS, 2 TO 5 GALLON NURSERY STOCK TO ENHANCE RIPARIAN VEGETATION.

EXISTING NATIVE VEGETATION TO BE PROTECTED AND PRESERVED.



Revisions/ Date	By

**FELKER - LOT 23 CREEKSIDE SUBDIVISION**  
Section 11, T.4 N., R. 17 E.  
City of Ketchum, Blaine County Idaho

**Sawtooth Environmental Consulting**  
P.O. Box 2707 Ketchum, ID. 83340  
540 N. 1st Ave. Ketchum, ID. 83340  
208-727-9748 trentstump@cox-internet.com

**CONCEPTUAL  
RIPARIAN  
ENHANCEMENT  
PLAN**

Scale: NTS	Sheet
Date: MAY 4, 2015	<b>4</b>
Drawn By: SEC	

# BUTLER ASSOCIATES, INC.

GEOTECHNICAL & CIVIL ENGINEERING & CONSULTING

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P.O.B. 1034

Ketchum, Idaho 83340

Phone: 208.720.6432

Email: svgeotech@gmail.com

Rebecca F. Bundy, CFM  
City of Ketchum-Senior Planner  
P.O. Box 2315  
480 East Ave. N.  
Ketchum, ID 83340  
o: 208.726.7801  
E: rbundy@ketchumidaho.org  
E: www.ketchumidaho.org

April 27, 2015

**RE: SITE DRAINAGE**

Proposed Felker Residence  
Lot 24, Warm Springs Creekside Subdivision  
154 Irene Drive  
Ketchum, Idaho

Dear Rebecca,

This letter presents my opinions regarding the infiltration rates of the native soils on Lot 24, Warm Springs Creekside Subdivision in Ketchum, Idaho for the proposed Felker residence. These opinions are based on the subsurface investigation and geotechnical report completed by this office dated April 20, 2015.

It is my professional opinion that runoff from the structure, hardscapes and landscaping during a 25 year storm event can be directed to drywells installed in the native, free-draining sand and gravel soils that have an adequate infiltration rate to prevent surface runoff from impacting the adjacent properties, Irene Drive and Warm Springs Creek. This office will review the landscape plan to ensure that a minimum number of drywells are installed to meet this demand.

I appreciate this opportunity of working with you on this project. Please call me if you have any questions or comments.

Sincerely,

Steve Butler, P.E.

**Attachment B:  
Public Comment**

None to date

**Attachment C:  
Site Photos**



Riparian Setback as Viewed from the Street



Riparian Setback as Viewed from the Western Property Line



## City of Ketchum Planning & Building

June 8, 2015

# Adult Only Business Definition

Planning & Zoning Commission Work Session

In Phase I of the comprehensive zoning update, the Planning and Zoning Commission recommended permitting adult only businesses in the LI-2 zoning district and then to reexamine the issue later in Phase II. The Planning and Zoning Commission recently initiated the phase II process and discussed adult only businesses during the last work session meeting on May 26, 2015. From that meeting it was determined that the current definition for "Adult Only Business" was too detailed and staff was directed to analyze other Idaho city definitions and then to propose a truncated version.

Staff analyzed the definitions for adult businesses in four different Idaho communities (listed below), and found that each community was unique in its approach. The proposed amended definition below was based on elements of each of these communities' definitions and was drafted to address the Planning and Zoning Commission's desire to have a less specific "Adult Only Business" definition.

### **Proposed City of Ketchum:**

*~~BUSINESS, ADULT ONLY BUSINESS: Establishments based primarily on materials or performances that depict, describe, or relate to specified sexual activities. Adult businesses must be a minimum distance of 2,500 feet from any school, daycare, church or place of worship. The distance shall be measured in a straight line to the nearest entry door of the adult business to the front door of said use. A premises where minors are excluded by virtue of their age as a prevailing business practice or as required by law and which stock in trade and offers for sale, trade or rent of products are characterized by an emphasis upon the depiction or description of sexual activities or exposed anatomical areas or for use in connection with sexual activities or exposed anatomical areas; or which displays any images emphasizing the depiction or description of sexual activities; or which features live performances which are characterized by sexual activities or the exposure of anatomical areas; or which features films, motion pictures, videocassettes, slides or other photographic reproductions which are characterized by sexual activities or exposure of anatomical areas; or where employees engage in sexual activities or the display or exposure of anatomical areas.~~*

### **Definitions from other Communities in Idaho:**

#### **Shoshone**

ADULT ENTERTAINMENT: The sex industry includes adult sex related products and services such as prostitution in all its forms, pornography in all its forms, sex shops, strip clubs, sex oriented men's magazines, sex movies and sex channels for television, besides others.

#### **Jerome**

ADULT BUSINESS: Establishments based primarily on materials or performances that depict, describe, or relate to specified sexual activities. Adult businesses must be a minimum distance of one-half (1/2) mile from any

church, school, daycare, and/or any other business or use which is primarily intended for individuals under the age of eighteen (18) years old. The distance shall be measured in a direct line from the nearest entry door of the adult business to the front door of said business or use.

**American Falls**

SEXUALLY ORIENTED BUSINESS: An adult arcade, adult bookstore, adult novelty store, adult video store, adult cabaret, adult motel, adult motion picture theater, adult theater, escort agency, seminude model studio, or sexual encounter center.

**Blackfoot**

ADULT BOOKSTORE: Any premises in which the dissemination, sale or rental of books, magazines, newspapers, movie films, videotapes, devices, slides or other photographic or written reproduction showing specified sexual activities: a) human genitals in a state of sexual stimulation or arousal; and b) explicit acts of human masturbation, sexual intercourse or sodomy is conducted as a principal use of the premises, or as an adjunct to some other business activity, but which constitutes the primary or a major attraction to the premises. This definition does not apply to the availability for sale of any material displayed in such a way that only the name of the material appears to the public and does not include specified sexual activities on either cover of the material that is open to public viewing.

ADULT MOTION PICTURE THEATER: Any premises in which motion pictures, slides, videotapes or similar photographic reproductions showing specified sexual activities: a) human genitals in a state of sexual stimulation or arousal; b) explicit acts of human masturbation, sexual intercourse or sodomy are shown to an audience that pays a fee or other consideration for the viewing. Such a use is regarded as the principal use of the premises.

ADULT PERFORMANCES BUSINESS: Any premises in which primary entertainment consists of the actions or performances of actors, employees or other persons portraying conduct described in the definition of "adult bookstore", and in which such entertainment is the principal use of the premises or an adjunct to some other business activity, but which constitutes the primary or a major attraction to the premises, and wherein fees of any kind are charged, and where such entertainment is conducted on a regular basis. Such a use is to be regarded as a principal use for the purposes of the regulations contained in this title.

Sincerely,



Morgan Brim, Senior Planner/Current and Long-range Planning Manager

IN RE:	)	
	)	
411 East Sixth Street Penthouse	)	KETCHUM PLANNING AND ZONING
Community Core Design Review	)	COMMISSION - FINDINGS OF FACT,
Modification	)	CONCLUSIONS OF LAW AND DECISION
	)	
File Number: 13-083	)	

**BACKGROUND FACTS**

**OWNERS:** 411 East Sixth Street, LLC (Scott and Laura Jordan)

**REPRESENTATIVE:** Cliff Cunha, Webb Landscape, Inc.

**REQUEST:** Community Core Design Review modification for addition to and remodel of existing mixed-use building

**LOCATION:** 411 East Sixth Street (Meyer Office Building Condos)

**NOTICE:** None

**ZONING:** Community Core (CC), Subdistrict C – Urban Residential

**REVIEWER:** Rebecca F. Bundy, Senior Planner

**Regulatory Taking Notice: Applicant has the right, pursuant to section 67-8003, Idaho Code, to request a regulatory taking analysis.**

**GENERAL FINDINGS OF FACT**

1. This Design Review amendment has been continued on the record from the May 11, 2015 Planning and Zoning Commission meeting.
2. At the May 11, 2015 meeting, the Commission expressed concerns about safety, due to water overspray onto the sidewalk and the possibility of someone accidentally stepping into or having a stroller or wheelchair wheel end up in the water feature. Concern was also expressed regarding energy and water efficiency.
3. At the May 11 meeting, the applicant presented the Commission with an additional water feature proposal for the front door area. It includes a waterfall feature that would come out of the eastern wall of the entry alcove and a pool of water on the floor with a walking grate surface suspended above. That water feature would run on a separate circulation system from the “moat” on Sixth Street and Leadville Avenue and was intended to run year round. At the May 26, meeting, the applicant stated that both water features would be subject to conditions 7 and 12, limiting their operation to non-winter months and times when the air is above freezing.
4. On May 12, 2015, the applicant sent staff an email describing how he feels that the proposed design satisfies these concerns and containing additional drawings showing sections through the water feature. The applicant addressed the concerns as follows:

- **Safety**
  - **Splash/freezing concern** - this is a very important item, and we have addressed it two ways in our planning: the water feature is engineered to minimize water splashing (in all weather conditions) and we will utilize a temperature-sensitive control valve to automatically cut off the water flow when the temperature nears freezing.
  - **Person accidentally stepping in the water feature** - we engineered the feature to have a drop-off of not more than 6" (the height of a curb). I have attached drawings that were not available at the meeting to illustrate how the water feature steps down next to the current sidewalk, resulting in a maximum 6" drop. We have used this height as our standard to maintain a safety level equivalent to the sidewalks in the rest of Ketchum (and elsewhere). The same standard should be acceptable for wheelchair-bound residents and visitors, and if by some accident they were to put their wheel in the water feature, they would be at far less risk than if their wheel slipped off any of the curbs in town and toppled them into oncoming traffic.
  - **Visibility** - to further enhance the visibility of the water feature (for safety reasons) we have incorporated LED lighting into the design. While it is possible for a power outage to turn off these lights, the loss of street lights and traffic lights in town caused by the same power outage are more likely to be hazardous to pedestrians than our water feature immediately adjacent to our building.
  
- **Conservation of Natural Resources**
  - **Water** - it is true that any water exposed to air is subject to evaporation, including man-made water features, natural ponds, glasses of water, etc. The net loss of water to the atmosphere by evaporation in a water feature of this size is a fraction of the water used by many residents to water their lawns and gardens on a daily basis. This water feature also does not deposit pesticides or chemicals into the ground (as lawn maintenance can), which can leech into our rivers and water table. As a closed system, we estimate the water loss during our hottest months to be no more than the amount of water an average person uses during one shower per week.
  - **Electricity** - as a local business owner of a computer-based business, I am very aware of the power requirements of my devices (I am, after all, paying the electric bill). Both the pump and the LED lighting specified for this project are high efficiency, low draw devices. The power usage is less than that of a big screen TV, and contributes more to the public enjoyment of the town.
  
- **Visual**
  - **Appearance without running water** - as we know, Ketchum gets cold, and there will be portions of the year when the water feature cannot be running. We designed the water feature to have a strong, architectural appearance to complement the building with and without water, with and without lights. The design of the structure extends and enhances the visual appeal of the building, and the water enhances the visual appeal of the structure.

- **Miscellaneous**

- *There was a concern voiced about dogs (or people) urinating in the water feature. While that may happen, our planned filtration unit will prevent the water from becoming any concern to public health. As the owner of three standard poodles, I respect all leash and "pooper scooper" laws and etiquette, and expect my neighbors to do the same, whether we are in a park, on a sidewalk, or near a water feature. Same applies to people, and laws regarding public urination ANYWHERE should be adequate to protect the water feature from distasteful abuse.*

5. In his email to the Commission, the applicant has indicated that the "moat" may not be completed this summer and that he may choose to implement the previously approved landscaping as an interim measure. Staff suggests a condition of approval that, if the "moat" water feature is not completed by July 15, 2015, the applicant shall landscape the perimeter of the property on Sixth Street and Leadville Avenue per the approved Landscape Plan, L-1, dated October 21, 2013, by July 15, 2015. In addition, any approval for the "moat" shall be subject to the approval terms of Ketchum Municipal Code, Section 17.96.130; Terms of Approval.
6. The current design is essentially the same as was submitted for the May 11 meeting, with more exact detail as to the depth of the water feature below the adjacent sidewalk (maximum 6 inches) and drawings depicting the look of the feature when no water is flowing through it. The applicant has declined to add a lip or curb between the sidewalk and the water feature, and he addressed his reasons for that with the Commission at the May 26 meeting.
7. This project received Community Core Design Review approval from the Planning and Zoning Commission, with Findings of Fact signed on September 9, 2013. As a condition of design review approval #13-083, the Developer is required to landscape the property per the approved L-1 Street and Alley Landscape Plan, dated October 21, 2013.
8. Construction has been completed under Building Permit #13-083. Upon final inspection, Planning and Building Department staff found that the landscaping and irrigation along the sides of the building on Leadville Avenue and Sixth Street had not been completed. The general contractor submitted a letter stating that the landscaping could be completed at that time due to cold weather and requested to be allowed to place a security deposit with the City for said landscaping in order to receive final building permit approval.
9. To ensure completion of the landscaping, the City Council approved a security agreement from the developer in the amount of one and one half times the estimated cost of labor and materials for completion of the landscaping, for a total of \$6,442.50.
10. On April 21, 2015, the applicant submitted a proposal for a proposal for a water feature to replace their landscape design for the subject area. That design includes a recirculating water feature on private property along the Sixth Street and Leadville Avenue property lines. In addition, the applicant has applied for a right-of-way encroachment permit to remove and replace the concrete sidewalk on those street fronts. Existing curb and gutter will remain in place.
11. The proposed water feature would be similar to existing features located on the building's roof decks. The Public Works Director and Planning and Building Department staff inspected those

features on May 5, 2015 and found that those features did not splash onto the surrounding floor area under calm wind conditions. The Commission had the opportunity to visit the site prior to the May 11 meeting. The weather was wet and windy, and the water feature did splash onto the adjacent walking surfaces.

12. The applicant is proposing to operate the water feature with a smaller pump at night in order to minimize flow and splash potential.
13. The water feature will be indirectly lit by LED lighting fixtures that are fully shielded and compliant with Ketchum Municipal Code, Chapter 17.132, Dark Skies. The lighting will ensure that the water feature is readily visible at night.
14. The water feature as proposed complies with the Community Core Design Regulations, KMC Section 17.020.R, Landscaping.
15. The Public Works Director has reviewed and given her approval for the proposal with the following conditions:
  - Overspray from the water feature onto the sidewalk shall be minimized;
  - The water feature shall operate at lower flows from dusk to dawn, so that no water spill off the sides of the water feature;
  - It shall be the responsibility of the property owner to remove any overspray that results in ice build-up in the public right of way; and
  - If overspray into the right of way is deemed excessive by the Public Works Director, the City retains the right to require the property owner to take actions to mitigate the overspray issue.
16. Attachments to the May 11, 2015 staff report:
  - A. Applicant Submittal
    - Letter describing Proposed Landscape Improvements and Sidewalk Replacement Scottevest Building, 6<sup>th</sup> and Leadville, dated April 21, 2015
    - Email from Cliff Cunha, dated April 29, 2015
    - Site Plan
    - Renderings

#### **CONCLUSIONS OF LAW**

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code.
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning code, Title 17.
3. The Commission has authority to hear the applicant's Community Core Design Review Amendment Application pursuant to Chapter 17.64 and 17.96 of Ketchum Code Title 17.
4. The City of Ketchum Planning and Building Department provided adequate notice for the review of this application.

5. The project **does** meet the standards of approval under Chapter 17.64 and 17.96 of Zoning Code Title 17.

### DECISION

**THEREFORE**, the Ketchum Planning and Zoning Commission **approves** this Design Review Amendment Application this Monday, May 26, 2015, subject to the following conditions:

1. All requirements of the Fire, Utility, Building, Planning and Public Works departments of the City of Ketchum shall be met;
2. This Design Review Modification approval is based on the plans and information presented and approved at the meeting on the date noted herein. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
3. Overspray from the water features onto the sidewalk shall be minimized;
4. The water feature shall operate at lower flows from dusk to dawn, so that no water spills off the sides of the water feature;
5. It shall be the responsibility of the property owner to remove any overspray that results in ice build-up in the public right of way;
6. If overspray into the right of way is deemed excessive by the Public Works Director, the City retains the right to require the property owner to take actions to mitigate the overspray issue;
7. A temperature sensitive control valve shall be installed to automatically shut off water flow when the temperature dips below thirty-four (34) degrees;
8. The depth of the water feature's **hard bottom surface** shall be limited to, **at no point, more than** maximum six (6) inches below the adjacent **edge of sidewalk**;
9. The water feature shall be lit per the submitted drawings so that it is readily visible at night, **irrespective of whether it contains water**;
10. Water use shall be minimized by limiting overspray and by recirculating the water;
11. Electricity use shall be minimized by utilization of high efficiency pumps, high efficiency water heating **if used** for the entry water feature and LED lighting. Specifications shall be provided to staff for approval prior to installation of the water features;
12. The water features shall be shut off and drained during the winter months when temperatures routinely dip below freezing (November – February);
13. The water features shall be kept in a clean, orderly condition at all times;
14. If the "moat" water feature is not completed by July 15, 2015, the applicant shall landscape the perimeter of the property on Sixth Street and Leadville Avenue per the approved Landscape Plan, L-1, dated October 21, 2013, by July 15, 2015; and

15. Design Review Modification approval shall expire one (1) year from the date of the signature of the findings of fact, conclusions of law & decision, unless an extension is requested and granted per Chapter 17.96, Ketchum Municipal Code.

Findings of Fact **adopted** this 8<sup>th</sup> day of June, 2015.

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Steve Cook, Chairman  
Planning and Zoning Commission



**SPECIAL PLANNING AND ZONING COMMISSION MEETING**  
**Monday, May 11, 2015, 5:00 pm**  
**Ketchum Project Site Locations**

**Present:**           **Chairperson Steve Cooke**  
                          **Vice Chair Jeff Lamoureux**  
                          **Commissioner Betsy Mizell**  
                          **Commissioner Mike Doty**

**1. 5:00 PM - SITE VISIT AT 460 WOOD RIVER DRIVE – In regard to an application by Wes and Carole Armand, for approval of a Floodplain Development Permit for a residential addition in the Floodplain Overlay.**

The following features of the proposed project were viewed and discussed:

- The reason for the proposed addition was identified as providing single story living for an older couple;
- Wetland and floodplain locations were identified;
- Stakes were provided to show corners of the proposed addition;
- Pier locations were staked. Piers were located to avoid disturbance of the existing topography and allow conveyance of the existing seasonal stream;
- US Army Corps of Engineers approval was obtained for construction in a wetland;
- Fill in the floodplain at the proposed driveway was discussed. The applicant has provided a No Adverse Impact Statement from Galena Engineering;
- Wetland creation would disturb the existing mature riparian and wetland habitats more than protecting and preserving what is already there; and
- A portion of a deck on the far side of the existing house is proposed to be removed. Wetland vegetation will be reestablished at that location.

**Also Present:**   **Micah Austin, Planning and Building Director**  
                          **Rebecca Bundy, Senior Planner/Building and Development Manager**  
                          **Morgan Brim, Senior Planner/Current and Long-range Planning Manager**  
                          **Don Stamp, DJ Stamp Architects, Project Architect**  
                          **Trent Stumph, Sawtooth Environmental Consulting, LLC, Project Consultant**  
                          **Craig Johnson, Project General Contractor**  
                          **David Newcomb, Neighbor**

The Commissioners had no further questions and the special site visit was concluded at about 5:20 pm.

**2. 5:25 PM – SITE VISIT AT 411 EAST SIXTH STREET – In regard to an application by Scott and Laura Jordan for Design Review Modification to existing landscape approval in The Community Core (CC) Zoning District.**

Commissioner Doty recused himself from this site visit. The following features of the proposed project were viewed and discussed:

- The Commission viewed a water feature on the building’s roof deck that is similar in design to the proposed water feature;

- The weather was wet and windy, and the wind caused the water feature to splash onto the adjacent pavement;
- Cunha described the ability to reduce water volume to keep water from falling over the side edges of the proposed water feature, confining it only to the front edges perpendicular to the sidewalk surface, thus minimizing overspray during the evenings and on windy days;
- Cunha explained that the water feature will recirculate the water and that a reservoir would be provided to contain the water when it is not running;
- The proposed water feature location along Sixth Street and Leadville Avenue was identified;
- Proposed sidewalk replacement was discussed; and
- The new handrail, required as a Design Review condition of approval, was viewed.

**Also Present:** Micah Austin, Planning and Building Director  
 Rebecca Bundy, Senior Planner/Building and Development Manager  
 Morgan Brim, Senior Planner/Current and Long-range Planning Manager  
 Scott Jordan, Applicant  
 Cliff Cunha, Webb Landscape, Inc., Applicant’s Representative

**3. 5:45 PM – SITE VISIT AT 126 SADDLE ROAD** – In regard to an application by IEG Thunder Spring LLC., for Pre-application Design Review to build a nine (9) unit housing development.

The following features of the proposed project were viewed and discussed:

- Overall layout of the proposed nine residential units;
- Heights of each proposed building (demonstrated with story poles);
- View shed impacts to surrounding property owners; and
- Site access.

The Commissioners had no further questions and the special site visit was concluded at about 5:55 pm.

**Also Present:** Micah Austin, Planning and Building Director  
 Rebecca Bundy, Senior Planner/Building and Development Manager  
 Morgan Brim, Senior Planner/Current and Long-range Planning Manager  
 Robert Parker, Applicant  
 John Shelly, Project Architect  
 Ben Young, Project Landscape Architect  
 John Parten, General Manager, Thunder Spring HOA

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Steve Cook  
 Planning and Zoning Commission Chair



# Planning and Zoning

## Regular Meeting

480 East Avenue North  
Ketchum, ID 83340  
<http://ketchumidaho.org/>

~ Minutes ~

Meetings are Video Recorded

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Monday, May 26, 2015

5:10 PM

Ketchum City Hall

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**Commissioners Present:** Steve Cook, Chairperson  
Jeff Lamoureux, Vice Chairperson  
Erin Smith via phone  
Mike Doty  
Betsy Mizell

**Staff:** Micah Austin, Director of Planning and Building  
Morgan Brim, Senior Planner  
Rebecca Bundy, Senior Planner  
Rachel Martin, Planning Technician

1. **5:10 p.m. – SITE VISIT at 231 SUN VALLEY ROAD.** The Commission will convene for a site visit in regard to the application by Devin Piscitelli, for Pre-application Design Review to build a mixed use development.

Site visit minutes are adopted separately.

2. **5:30 p.m. RECONVENE AT KETCHUM CITY HALL, OPENING OF MEETING** Commissioner Steve Cook called the meeting to order at 5:38 pm.
3. **PUBLIC COMMENT - This is an opportunity for the public to speak with the Commission about issues and ideas not on the agenda.**  
Commissioner Cook asked for public comment. There was none.
4. **EST 5:35 p.m. CONSIDERATION upon the application of Devin Piscitelli for Community Core Pre-Application Design Review at 231 East Sun Valley Road (Ketchum Townsite Lot E 75' of Lot 8, Block 17) for a mixed-use development in the Community Core, Subdistrict C, Urban Residential zoning district.**

Morgan Brim, Senior Planner presented the project. The applicant is applying for a mixed use building with two residential units on the second and third floors and retail on the ground floor. The building height is 40 feet. The community core zone allows for 42 feet if the additional two feet add to the character of the building.

The lot coverage is 86% and the floor area ratio is 1.894%. The applicant will need to provide six hundred twenty eight square feet of community housing or pay an in-lieu fee.

Commissioner Cook stated that pre-application design review is a request for feedback. No decisions are made at the meeting.

The issues that staff found are first, the rear elevation, code asks for distinction between floors and not large flat areas. Staff is asking that the applicant to change the design in these areas. Second, emergency access, the alleyway has overhead utility lines. The Fire

Department has asked that the lines be undergrounded. Third, the bike rack should be more visible from the entrance way.

Brenda Moczygemba, Michael Doty Associates, presented the project to the Commission. EOS architects designed the project. Michael Doty Associated is working in tandem with EOS and has coached them through local codes.

The adjacent building to the west is non-conforming and is built into the front setback. The new building will add additional sidewalk to the Sun Valley Road elevation. One required ADA parking spot is provided onsite. Does it need to be van accessible or regular ADA?

The existing retaining wall in the back of the property is on the applicant's property. Brenda presented vicinity photos.

The applicant will provide two street trees, a planter box, one bike rack and a garbage receptacle on Sun Valley Road.

The residential entrances will be on the ground floor. The second floor will be living area for each residence; the third floor will be bedrooms, two roof decks one for each residential unit will be provided on the roof.

Commissioner Cook asked about the guardrail material, Brenda answered that they will be using steel posts.

The garbage enclosure will have shiplap wood siding; reclaimed brick will also be used as siding material.

The a portion of the roof extends over the forty foot height limitation an additional five and one half inches.

Commissioner Smith asked if five and one half inches is enough to make a visual impact and apply to the height exception in the code.

The east elevation facade is more bland. The applicant may want to add elements to the existing retaining wall to add interest and breakup the wall. Brick stack patterns could be used to accomplish this.

Morgan asked what the applicants concern would be with replacing the retaining wall. The applicant stated that cost was a factor in the design of the wall. Morgan suggested that the applicant come up with a design to break up the wall for design review. The deck guardrails will be plate steel.

Dark sky compliant recessed cans will be used under overhanging decks and sconces on the ground floor. Cable trellises will be used for vining vegetation.

Commissioner Cook asked for questions from the Commission.

Commissioner Smith asked about the off-site parking spaces. The parking spaces need to be twenty feet and are shown as eighteen feet. Brenda stated that this will be amended at design review.

Rebecca remarked that increased height with a step back cannot be used on this property because of the depth of the lot. A described noncompliant lighting fixture may be used if it is shielded by a building overhang.

Commissioner Cook asked for public comment, there was none.

Commissioner Smith suggested that the existing retaining wall remain and be painted darker to break up the north façade.

Commissioner Cook suggested that the applicant paint a mural on the wall and use transition of color and materials. He asked if the applicant can use vines in the back of the building as well of the front. He asked about rooftop mechanical.

A hot tub and outdoor grill area and planters will be provided on each of the roof decks. All mechanical will be on the second floor and will not be exposed.

Commissioner Mizell asked about landscaping.

Brenda replied that there are few opportunities for landscaping beyond the street front vines and a street level planter box.

Commissioner Cook asked about the alley power lines.

Morgan answered that a meeting with staff can be arranged before design review to iron out this issue.

Brenda stated that the state of the alley is in question as well. Who will repave the alley? Morgan stated that Public Works will need to weigh in on the alley.

Commissioner Cook asked about drainage from the roof and the impact of drainage on the retaining wall.

Brenda stated that Benchmark will do drainage calculations and they will be provided at design review.

Commissioner Lamoureux asked about snowmelt and snow storage.

Brenda stated that his information will be provided at design review.

Rebecca Bundy, Senior Planner stated that in the future energy use for snowmelt will need to be offset by other green building practices. Currently this is not the standard.

The applicant shows one large retail space, this could change.

Commissioner Lamoureux asked if the bike rack requirement is two per use, if so, the applicant would need racks for four bikes. Racks for only two bikes are shown on the plans.

Morgan will check this regulation for design review.

Commissioner Cook stated that pre-application feedback is non-binding.

Commissioner Smith requested a rendering of the north wall in design review.

**5. EST 6:15 p.m. CONSIDERATION upon the application of Scott and Laura Jordan for Design Review Modification to existing landscape approval at 411 East Sixth Street in The Community Core (CC) Zoning District. Continued from May 11, 2015.**

Rebecca Bundy, Senior Planner stated that this item is continued from the last meeting of May 11, 2015. The Applicant is applying to install a water feature in place of approved landscaping between the public right of way and the building.

The Applicant will install a recirculating pump; LED lighting and temperature controls will reduce energy usage. Per design review approve, the landscaping is required to be finished by July 15, 2015 and may be installed as a temporary fix before the water feature is installed.

The renderings are not to scale. The feature will never be more than six inches below the sidewalk. The Applicant would like the feature at the entry to run year round. The moat would only run during the warmer months.

Rebecca asked the commission for questions. There were none.

Cliff Cunha, Webb Landscaping, stated that there will be only a six inch drop from the sidewalk to the bottom of the moat. Water will run parallel to the street. In the winter the troughs will be drained and lit for safety.

Commissioner Mizell asked if the water that runs all year will be hearted.

Mr. Cunha stated that he wants to talk the applicant out of the winter feature, 34 degrees is the threshold.

Commissioner Mizell asked if there is stone that will have algae or bacteria buildup. Mr. Cunha replied that the fountain will not have any loose stones, he stated that the fountain can be cleaned to keep it clear and the water will be flushed annually.

Commissioner Smith asked about Lyme scale. Mr. Cunha stated that anti-Lyme agents can be used to remove Lyme. The feature on the roof deck has not developed any Lyme.

Commissioner Smith is comfortable with the six inch height difference from the sidewalk.

Commissioner Cook requested rewording some conditions. Commissioner Smith made a motion to approve with modifications to:

- Condition nine to read "shall be lit year round whether or not it contains water".
- Condition twelve to add that the door feature be turned off when the temperature drops below thirty four degrees Fahrenheit. The entire system will be drained in the winter.
- Commissioner Cook requested that condition three state that no overspray shall occur. Mr. Cunha stated that it is not possible to promise no overspray. There are sprinkler systems all over town that spray water on the sidewalk. He then asked if there is a standard that states irrigation cannot spray into the right of way. He will do his best to insure no overspray but cannot promise that there will be no overspray. Rebecca stated that the temperature sensor will ensure that there is no ice on the sidewalk. The commission decided not to add the additional language to condition three.
- Commissioner Lamoureux suggested that condition eight state that there will be no more than a six inch drop the sidewalk to the hard surface of the water feature referring to the depth of water feature.

Rebecca stated that if the applicant needs more time to complete the feature, they can apply for a one year extension of design review approval administratively and a third year from the commission.

**Motion to approve the application of Scott and Laura Jordan for Design Review Modification to existing landscape approval at 411 East Sixth Street in The Community Core (CC) Zoning District to May 26, 2015**

<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	Erin Smith
<b>SECONDER:</b>	Betsy Mizell
<b>AYES:</b>	Jeff Lamoureux, Vice Chairperson, Erin Smith, Betsy Mizell
<b>RECUSE:</b>	Michael Doty, Steve Cook, Chairperson

**6. EST 7:45 p.m. WORKSESSION, Code Rewrite Phase II**

Morgan presented the work session and stated that the topic for discussion is adult oriented business. He stated that adult oriented business must be allowed somewhere in the city. The commission agreed to allow adult oriented businesses in the LI-2 zone. The state restricts adult oriented businesses within 2500 feet of all churches and schools. Staff feels that because of this buffer the LI-2 zone is appropriate. If a proprietor wanted to locate elsewhere they can apply for a code amendment or rezone.

Commissioner Lamoureux stated that the LI-2 zone does allow residential, and isn't appropriate for adult business.

Commissioner Doty asked about the LI-1 zone, which is smaller and more restrictive for residences.

Commissioner Lamoureux asked if the 2500 foot distance requirement changes, do we want adult business in LI-2?

Commissioner Doty asked about residential in the LI-1.

Rebecca stated that the residential requirements are the same in LI-1 and LI-2.

Commissioner Mizell asked about hours of operation.

Morgan stated that any existing regulations in the zone would apply.

Commissioner Cook suggested that staff refer to legal counsel on the subject and return to the commission.

Morgan stated that June 22<sup>nd</sup> will be another work session and staff will return with answers to these questions and to discuss design regulation work session.

Micah Austin, Director and Planning and Building asked what exactly the attorney should review.

Commissioner Lamoureux stated that the definition was still a question and would like to see one that fits the community's unique culture.

Micah recapped that the commission wants the narrowest definition allowed by state law. The commission agreed.

**7. EST 7:45 p.m. CONSENT AGENDA****a. FINDINGS OF FACT****i. Armand Floodplain Development Permit – Approval**

Staff took notes of changes to the findings of fact.

<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	Jeff Lamoureux, Vice Chairperson
<b>SECONDER:</b>	Erin Smith
<b>AYES:</b>	Steve Cook, Chairperson, Jeff Lamoureux, Vice Chairperson, Michael Doty, Erin Smith, Betsy Mizell
<b>RECUSE:</b>	None

**b. APPROVAL OF MINUTES****i. May 11, 2015****ii. May 11, 2015 Site Visits**

The May 11, 2015 site visit minutes are not available. Staff took notes of changes to the May 11, 2015 minutes.

**Motion to approve May 11, 2015 minutes with changes.**

<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	Jeff Lamoureux, Vice Chairperson
<b>SECONDER:</b>	Michael Doty
<b>AYES:</b>	Steve Cook, Chairperson, Jeff Lamoureux, Vice Chairperson, Michael Doty, Erin Smith, Betsy Mizell
<b>RECUSE:</b>	None

**8. FUTURE PROJECTS AND NOTICING REQUIREMENTS**

Morgan stated that 231 Sun Valley Road will be returning in approximately a month with a design review application. Should noticing be expanded? The commission answered no.

Commissioner Cook asked about Thunder Springs, Morgan answered that the applicant has requested a work session to discuss unfulfilled Development Agreement obligations.

Commissioner Lamoureux asked for building height information at that time.

Commissioner Smith asked that all the history on requirements be provided.

Morgan asked about noticing requirements for Foxhole subdivision. The commission answered that no changes to the required noticing are requested.

Rebecca stated that staff had received a waterways design review application on Warm Springs Creek for a new residence, the notice requirement is adjacent property owners. The commission answered that no changes to the required noticing are requested.

**9. STAFF REPORTS & CITY COUNCIL MEETING UPDATE**

Micah stated that the Joint meeting with the Planning Commission and Zoning and City Council is June 1<sup>st</sup> at 4pm. He stated that Suzanne Frick, City Administrator suggested paring down the agenda from the six items suggested. The commission will prioritize the items.

The commission discussed the order of the agenda.

Rebecca stated that the Limelight Hotel will apply for the building permit on May 27th. The drawings will be uploaded on Thursday, May 28<sup>th</sup>. A town hall meeting will be held on May 27<sup>th</sup>. Thursday, May 28<sup>th</sup> at 9am there will be a right of way standards and riparian setbacks meeting for the public.

Betsy asked about the Auberge Hotel

Micah stated that they are to date with their requirements to this point and have submitted the required traffic mitigation plan. The building permit must be received by October 2015.

**10. Commission reports and ex parte discussion or disclosure**

No comments

**11. ADJOURNMENT**

**Motion to adjourn at 8:08 p.m.**

<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	Michael Doty
<b>SECONDER:</b>	Jeff Lamoureux, Vice Chairperson
<b>AYES:</b>	Steve Cook, Chairperson, Jeff Lamoureux, Vice Chairperson, Michael Doty, Erin Smith, Betsy Mizell
<b>RECUSE:</b>	None

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Steve Cook, Chairperson  
Planning and Zoning Commission



**SPECIAL PLANNING AND ZONING COMMISSION MEETING**  
**Tuesday, May 26, 2015, 5:00 pm**  
**Ketchum Project Site Visit**

**Present:**           **Chairperson Steve Cooke**  
                          **Vice Chair Jeff Lamoureux**  
                          **Commissioner Betsy Mizell**  
                          **Commissioner Erin Smith**  
                          **Commissioner Mike Doty (In attendance, but recused himself at the beginning of site visit)**

**5:10 p.m. – SITE VISIT at 231 SUN VALLEY ROAD. The Commission will convene for a site visit in regard to the application by Devin Piscitelli, for Pre-application Design Review to build a mixed use development.**

The following features of the proposed project were viewed and discussed:

- Site layout;
- Parking areas, onsite and on-street;
- Landscaping;
- Bicycle parking;
- Building design;
- Alleyway design;
- Underground utility lines; and
- Rear retaining wall design.

**Also Present:**   **Micah Austin, Planning and Building Director**  
                          **Morgan Brim, Senior Planner/Current and Long-range Planning Manager**  
                          **Brenda Moczygemba, Architect with Michael Doty Associates**

The Commissioners had no further questions and the special site visit was concluded at about 5:20 pm.

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Steve Cook  
Planning and Zoning Commission Chair