

**Attachment B:
Pre-application Design Review**

- **Summary, dated June 11, 2012**
- **Minutes, May 29, 2012**
- **Reduced plan set, dated April 24, 2012**

MEMORANDUM TO THE FILE



From: Rebecca F. Bundy, Associate Planner

Subject: Summary of Tim Wolff Pre-application Design Review meeting with the Planning and Zoning Commission, May 29, 2012

Date: June 11, 2012

See the meeting minutes for further detail on the discussion.

Floor Area Ratio (FAR):

- The Commission agreed that the unenclosed, but roofed, interior courtyard could be excluded from the FAR calculation.
- The Commission agreed that the parking area to be excluded from the FAR calculation could include some circulation space, but not storage or other uses. They felt that about half of the proposed 480 square feet of circulation/storage could be exempt from the FAR calculation.
- The applicant will be more specific at Design Review about the stall size needed for his actual vehicles.

Alley:

- The applicant will need to determine whether the alley should be privately maintained or maintained by the City.
 - If City:
 - Alley will need improvements to City standards.
 - Alleys are snow plowed after city streets.
 - The garage across the alley in the right-of-way will need to be moved/removed.
 - If private:
 - Will need snow removal/storage plan.
 - Who will maintain rest of alley.
- The applicant will need to address alley functionality (garbage, parking, meters).
- If power is not undergrounded, the applicant will need to accommodate Idaho Power required swing radius for power line clearances.

Interior Courtyard:

- The applicant should address who will it serve?
- The applicant should address how it will be used?

Roof:

- The inverted gable roof is not explicitly allowed or prohibited in the code. The Commission agreed that it is similar enough to a regular gable and a shed roof, that it should be permitted.

- The Commission requested detailed lighting plans at Design Review that will clearly show that light is directed down and not sideways. The Commission suggested that the applicant consider step lighting rather than overhead soffit lighting.
- The applicant should consolidate roof penetrations, screen them and make sure they do not detract from the clean roof from.
- The applicant will look into whether an elevator overrun will be required and will address that.
- The Commission expressed concern about the height of the chimney and requested that chimney height be minimized at Design Review.

Other:

- While the City would like to see a 10 foot wide sidewalk, current code only requires 5 feet. The Commission would like to see a more detailed plan at Design Review for the sidewalk and landscaping at the front of the property.
- Although the code says that sidewalks shall be heated, that section of the code can receive exemptions. The Commission agreed that the sidewalk would not need to be heated, but that a detailed maintenance plan must accompany the Design Review application.
- A Signage Master Plan will be required at Design Review.
- The Commission felt that the ground floor entry alcove was too small and needed to be more generous.
- The applicant shall increase the window area on the front façade to meet the minimum 60% glazing to façade area ratio.

Design Review:

- The Commission requested as much detail as possible, including:
 - Color boards
 - Materials
 - Site plans
- The Commission will not require a model or computer simulation at Design Review.



REGULAR PLANNING AND ZONING COMMISSION MEETING
Tuesday, May 29, 5:30 pm
Ketchum City Hall, Ketchum, Idaho

Present: Co-Chairman Deborah Burns
Commissioner Steve Cook
Commissioner Rich Fabiano
Commissioner Jeff Lamoureux

Absent: Commissioner Mike Doty

Also Present: Joyce Allgaier, Planning Manager
Rebecca Bundy, Associate Planner
Paul Fitzer, City Attorney

Commissioner Burns opened the meeting at 5:30 pm.

1. PUBLIC COMMENT – This is an opportunity for the public to talk with the Commission about issues and ideas not on the agenda.

No public comment was provided.

2. Consideration upon the application of Wolff for Pre-App Design Review (DR) approval by Tim and Robin Wolff, at 171 East Avenue South (Ketchum Townsite Lot 7A, Block 22) to construct a new mixed-use building, consisting of 860 square feet of professional service office space and 1,480 square feet of parking garage/storage on the ground floor and 2,955 square feet of residential use on the second floor. The proposed building will be located on a 5,500 square foot lot in the Community Core (CC) Zoning District, Sub-district C. The applicant has chosen Type 3, Neighborhood Mixed-Use as the building type.

Rebecca Bundy stated that the applicant is before the commission for a pre-application discussion on his proposed project pursuant to Code Section 17.96.010, where uses, height, bulk and roof forms are addressed and would like guidance prior to developing drawings for the formal design review. Staff believes that most of the items in 17.96.010 are code compliant and suggested that the discussion should be on the following items:

- Floor area ratio calculation and what is included
- Allowance of the mixed-use building in the CC
- Confusing/conflicting language with respect to Building Type 3 requirements
- Proposed roof form
- Sidewalk widths and streetscape amenities, landscaping
- Alley improvements

Commissioner Fabiano reminded the applicant that the pre-app design review is just a dialog and the commission is not in the position to approve or deny any project at this time. The applicant's participation in this review process is appreciated and usually results in a better project.

Rebecca Bundy described the project and noted the following issues for discussion:

- There are four parking stalls that should be exempt from the FAR calculation
- It is appropriate to exempt the interior courtyard space
- If the applicant filled in the courtyard space with a building, he would be above the FAR of 1 and would have to satisfy community housing requirements
- The building is a 2-story structure, while 3 stories are allowed
- The code does not need interpretation on the rest of the project, as other provisions are clear
- There is a garage in the alley right of way that belongs to property across the alley (not associated with this project) which poses a challenge to maintaining the alley. Should the applicant wish to have city service the alley, then the alley would need to be improved by the applicant.

The Commissioners held a discussion with the applicant on the following:

- Sidewalks –The neighboring property to the applicant’s property was not required to install sidewalks because it was an interior remodel. The applicant believes that if he is required to install a sidewalk to the edge of the building and there is no landscaping, it will be a harsh setting. He stated that in the event 10’ sidewalks were required/determined to be necessary in that area, he would add the extra 5’ beyond what is stated in the specifications in the current code. Commissioners also indicated that they would like to see a landscaping plan for the front of the building especially that helps create a space that is pedestrian friendly and an attractive amenity for the streetscape.
- Parking – Staff believes the applicant has met the parking requirements. Commissioner Cook asked for a better presentation of the functionality of the alley and the parking.
- Alley – Commissioner Fabiano pointed out that there is a certain responsibility to improve the alleys. Commissioner Cook agreed and stated that if the applicant expects the City to maintain the alley, it will have to be brought up to City standards. He would also like to know what will happen in the alley with regard to utility meters, garages and garage setbacks.
- Trash – Trash location must be addressed and shown on the site plan.
- Commissioner Cook asked for documentation from Idaho Power with regard to the building’s encroachment toward or obstruction of the overhead power wires. Rebecca Bundy answered that Planning staff and the applicant have been in discussion with Idaho Power regarding undergrounding the wires. Commissioner Cook requested documentation of either a commitment that the wires would be underground, or a design for what is required for power line clearances.
- Commissioner Burns asked for information about the courtyard. Tim Wolff responded that the space is available for the tenants of the office spaces. Joyce Allgaier recommended a confirmation for the use of the courtyard to future tenants if the intent is to make the courtyard available to them.
- Commissioner Fabiano reminded the applicant that a possible location for the transit center is near the subject property. The applicant stated that if that happened, he would likely not undertake the project.
- The Commissioners discussed FAR and the exemptions for parking and storage. They agreed that the exemption should include area for parking and circulation around the parking, but not for extensive storage.
- Lighting plan – to be provided at Design Review.
- Roof - Commissioner Cook recommended keeping the chimney and any other mechanicals as low as possible so as not to compromise the roof form.
- Windows – The number of windows on the East Avenue façade needs to be increased to the required 60%.
- Sign – Sign master plan to be provided at Design Review.
- Material boards – to be provided at Design Review.
- Snow Storage – The applicant requested information with regard to heated sidewalks and will address the snow storage alternative.

- The applicant should consider making the entry alcove more generous.
- The commission will not require a computer simulation at Design Review.

Staff will meet with the applicant to discuss the next steps of the design review process. The applicant placed a deed restriction on the adjacent property to the north, requiring a five foot setback along the south property line, as a solution for perpetual light onto the property. Joyce Allgaier noted that this is an agreement between the two owners and that upon agreement by both could be removed. The applicant said that it is recorded on a deed for that lot. Staff will discuss this with the applicant.

3. CONSENT AGENDA

a. Findings of Fact

1. Cox Communications Design Review Approval

Commissioner Cook requested to change the wording from '48 square feet of "size"' to "area". He also requested it to be stated in the findings the applicant's offer to "close the lighting down at the close of business". Paul Fitzer, City Attorney, advised to build it into the approval.

Commissioner Cook motioned to approve, as amended, the Findings of Fact of the Cox Communications Design Review, seconded by Commissioner Lamoureux, unanimously approved. Commissioner Fabiano abstained from the vote.

5. STAFF COMMENTS AND CITY COUNCIL MEETING UPDATE

Joyce Allgaier noted the topics discussed at the City Council Meeting:

- Report from Jen Smith about the Events Commission and keeping the City Council up to date
- Report from Jen Smith about the contract with the City of Sun Valley to provide recreation services
- River Run upper parking lot agreement for Wagon Days staging area was approved

Commissioner Cook requested to meet with Council to get to know the new Council members. Mr. Cook also requested information about the status of the hotels that have been approved, including expiration of entitlements. Joyce will get back to the commission on these and also on enforcement follow up.

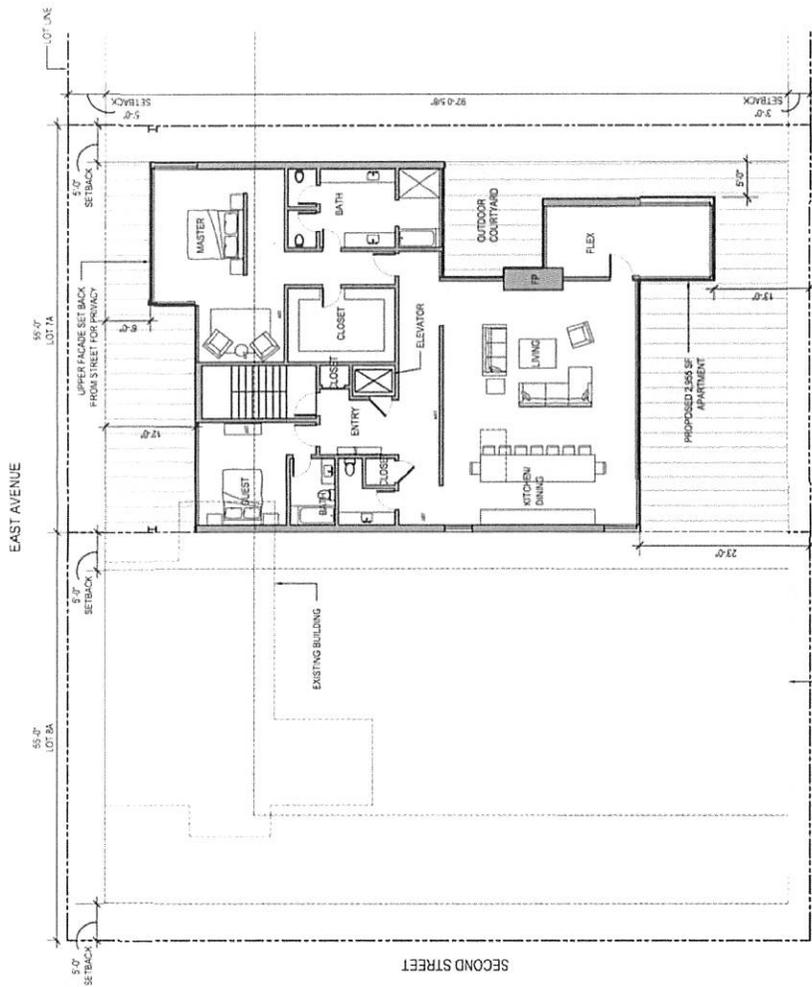
Joyce Allgaier informed the commission of the comprehensive strategy of zoning enforcement, including signs and banners. Rebecca Bundy outlined the sign enforcement efforts and results to date, including an inventory, outreach, and follow up.

Commissioner Fabiano motioned to adjourn the meeting, seconded by Commissioner Burns, unanimously approved.

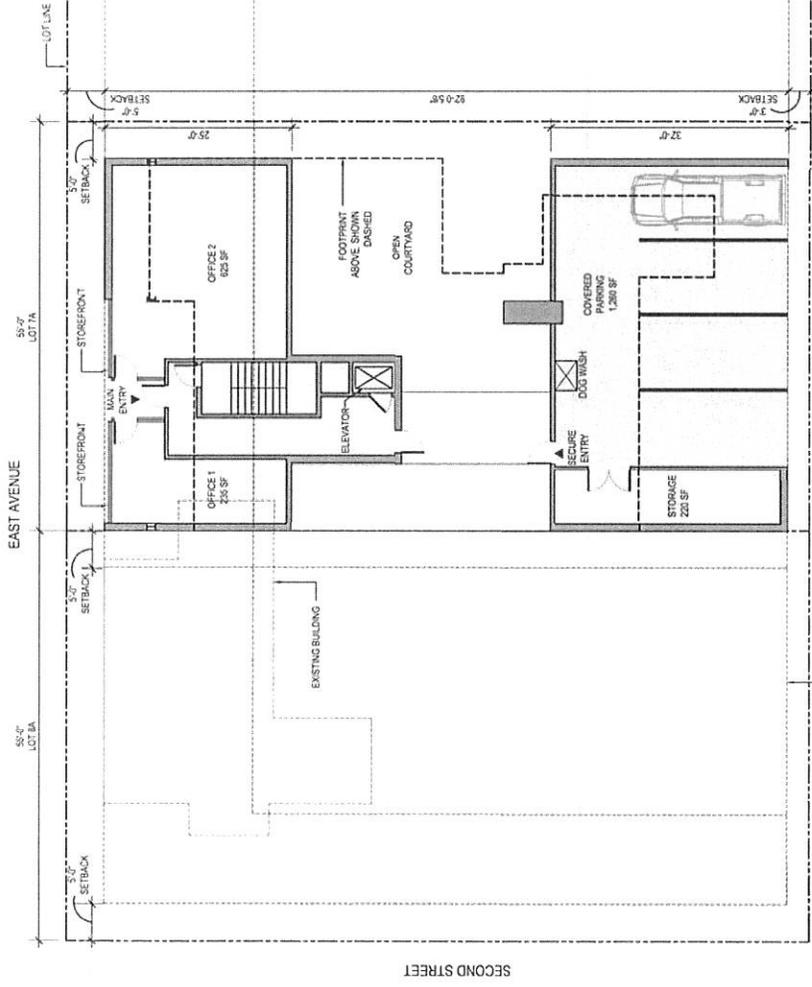
The meeting adjourned at 7:00pm.



 Co Chairman, Deborah Burns or
 Co Chairman, Rich Fabiano



UPPER LEVEL FLOOR PLAN
SCALE 1/16" = 1'-0"



STREET LEVEL FLOOR PLAN
SCALE 1/16" = 1'-0"

WOLFF MIXED USE DEVELOPMENT
APRIL 24, 2012
OLSON KUNDIG ARCHITECTS



- CHIMNEY
+42'-0"
- ROOF (HIGH POINT)
+55'-0"
- ROOF (LOW POINT)
+28'-0"
- T.O. PARAPET
+28'-0"

- FINISH FLOOR
0'-0" (+584.5 A.S.L.)
- EXISTING GRADE
0'-0" (+584.19 A.S.L.)

EAST ELEVATION (FROM EAST AVENUE)

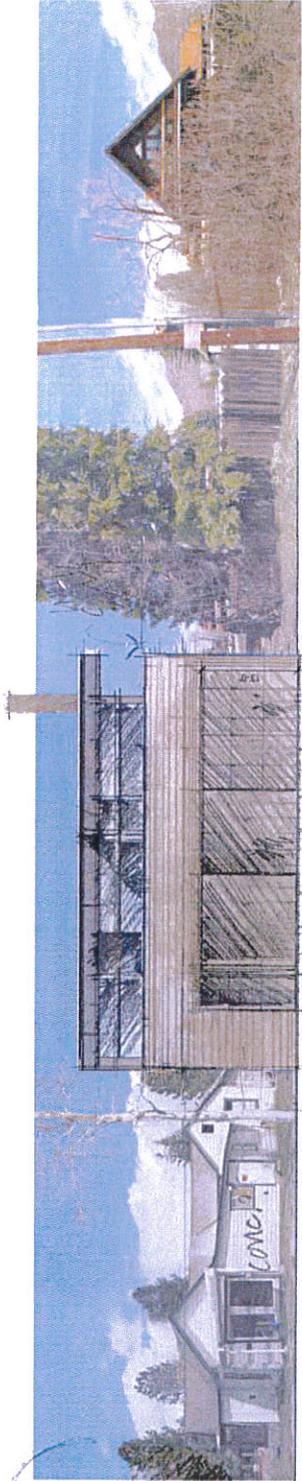


- CHIMNEY
+42'-0"
- ROOF (HIGH POINT)
+55'-0"
- ROOF (LOW POINT)
+28'-0"
- T.O. PARAPET
+28'-0"

- FINISH FLOOR
0'-0" (+584.5 A.S.L.)
- EXISTING GRADE
0'-0" (+584.19 A.S.L.)

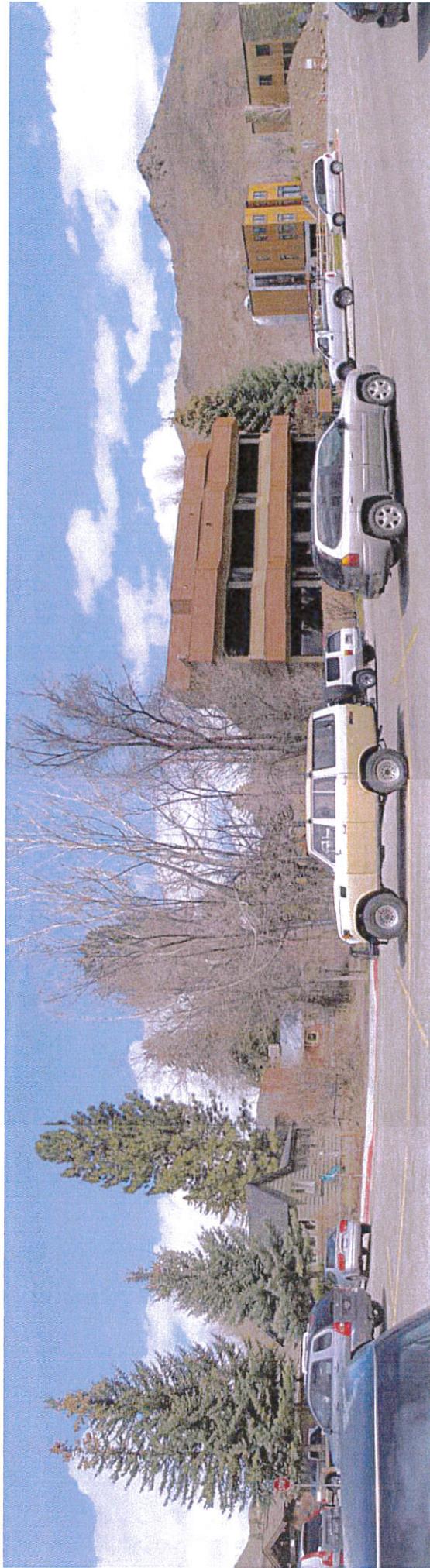
NORTH ELEVATION (FROM 2ND STREET) - SOUTH ELEVATION SIMILAR

WOLFF MIXED USE DEVELOPMENT
 APRIL 24, 2012
OLSON KUNDIG ARCHITECTS
1000 14TH STREET, SUITE 100, DENVER, CO 80202



WEST ELEVATION (FROM ALLEY)

- CHIMNEY
+41'-0"
- ROOF HIGH POINT
+55'-0"
- ROOF LOW POINT
+52'-0"
- TO PARAPET
+22'-0"
- FINISH FLOOR
0'-0" (+58' 1/8" S.L.)
- EXISTING GRADE
0'-0" (+58' 1/8" S.L.)

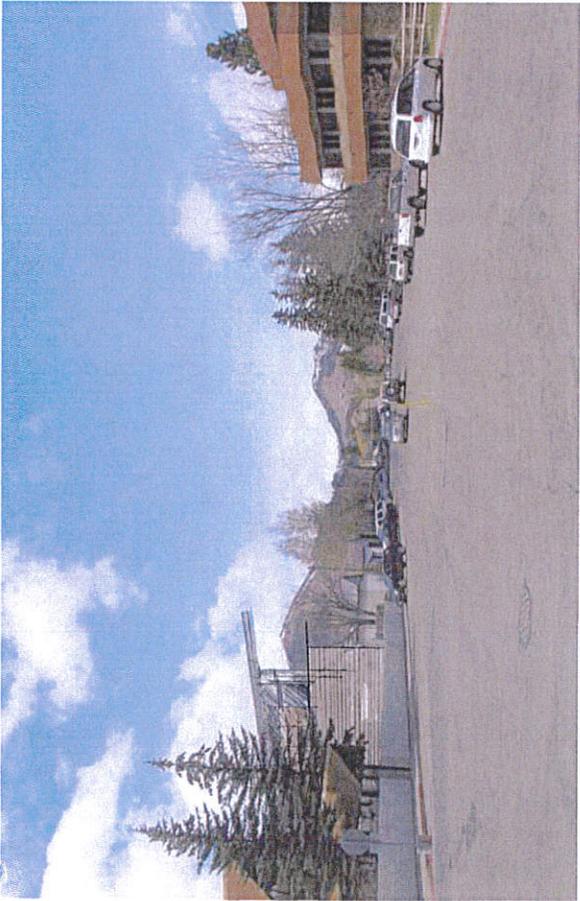


EAST STREET - EAST ELEVATION

WOLFF MIXED USE DEVELOPMENT
APRIL 24, 2012

OLSON KUNDIG ARCHITECTS

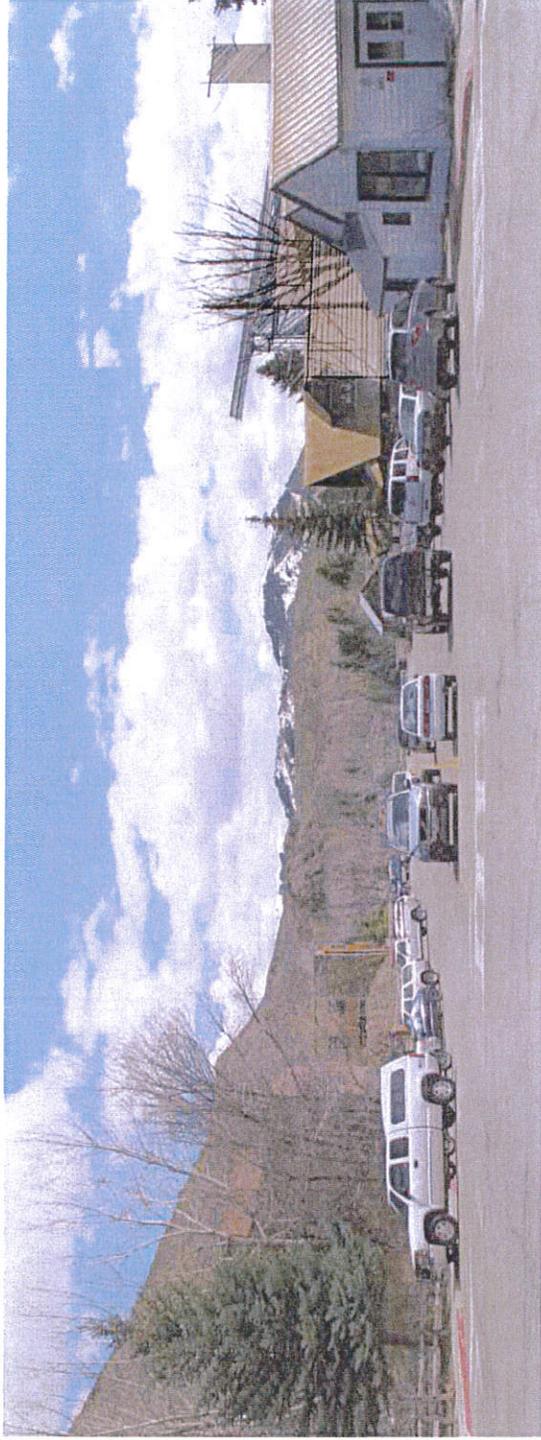
10 SOUTH AVENUE, SUITE 200, DENVER, COLORADO 80202 • TEL: 303.733.1111 • WWW.OLSONKUNDIG.COM



EAST AVENUE LOOKING NORTH



SECOND STREET LOOKING SOUTH EAST



EAST AVENUE LOOKING SOUTH

**Attachment C:
Comments**

- **From the public – none**
- **From Idaho Power, dated January 14, 2013**

Rebecca Bundy

From: Rubel, Bob <BRubel@idahopower.com>
Sent: Monday, January 14, 2013 4:28 PM
To: Rebecca Bundy
Cc: 'Chase Gouley'; Rubel, Bob
Subject: Tim Wolff-171 S East Ave, Ketchum

Rebecca-Chase with Ben Young Landscape Architects met with me a couple of weeks ago to discuss the Tim Wolff project that I have been working on for several months. He asked me to respond to the sixth item under Site Map section of the Design review concerning location and type of any electrical power transformers, switches and or sectors concerning this project.

As you may or may not know, the discussion of this project entailed relocating the overhead lines located in the alley behind this lot to an underground system. Power, cable and phone all have overhead lines in the alley. In able to accomplish this, we are looking at setting a sector and a padmount transformer on the adjacent lot to Tim's project which my understanding is owned by John Lee. The transformer will be located at the alley corner between Tim's and John's property while the sector will be located at the alley corner and 2nd St on John's property. The transformer will be sized to serve Tim's project, John Lee's building and the two lots across the alley from them if the underground project goes. We will locate the transformer a minimum of 2' off of the shared property line and depending on the set back in the alley, we will be a minimum of 2' off of the alley. We have additional clearances requirements on a transformer. We need 10 feet of clearance from any combustible wall on a building or any opening in a non-combustible wall like a door or window. If the wall is non-combustible rated, the clearance is 2 feet.

The locations for the devices is contingent on the adjacent property owner granting us an easement for these devices which we have verbally received. Let me know if you need anything else from me.

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[Bob Rubel](#)
Senior Distribution Designer
Idaho Power | Customer Operations

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